

**Attachment A-Exhibit 1: Recommended Redmond Zoning Code and Redmond Municipal  
Code Periodic Cleanup – Minor Corrections 2018 - 2019**

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**RZC 21.08.070 RIN (Residential Innovative) Single-Family Urban Residential**

A. Purpose. The RIN Single-Family Urban Residential zone is intended to promote single-family housing consisting of smaller dwelling units to respond to changing household sizes and ages. It will provide opportunities for households of various sizes, ages, and incomes to live in a neighborhood by promoting diversity in the size, type, and price of new single-family homes. Also, this zone will blend new development with existing residential development to help maintain neighborhood character, particularly in neighborhoods with a predominance of small to moderately sized homes. The zone will help to provide appealing and active streetscapes that promote a more walkable and enjoyable neighborhood experience. The density allowed within the zone shall be four to five dwelling units per gross acre depending on the size of the site and the size of dwellings proposed.

B. Regulations Common to All Uses.

Table 21.08.070A Regulations Common to All Uses			
	Regulation	Site area of 30,500 square feet or greater	Site area less than 30,500 square feet
Minimum	Average Lot Size	4,000 square feet	7,000
	Required Density	80 percent of net acres	80 percent of net acres
	Lot Width Circle	35 feet	40 feet
	Lot Frontage	20 feet	20 feet
	Setbacks		
	Front	15 feet	15 feet
	Garage	18 feet	18 feet
	Side / Interior (each side)	5 feet / 10 feet	5 feet / 10 feet
	Side Street	15 feet	15 feet
	Rear	10 feet	10 feet
	Alley	4 feet	4 feet
	Lake Sammamish	35 feet	35 feet
	Building Separation	15 feet; 10 feet for cottages, size-limited dwellings, small-lot short plats, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units.	15 feet; 10 feet for cottages, size-limited dwellings, small-lot short plats, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units.
	Open Space	20 percent of total lot area	20 percent of total lot area
Maximum	Density	5 units per acre, except when participating in cottage housing or programs with bonus density provisions	4 units per acre, except when participating in cottage housing or programs with bonus density provisions
	Lot Coverage for Structures	35 percent of total lot area	35 percent of total lot area
	Impervious Surface	65 percent of total lot area	60 percent of total lot area
	Building Height	25 feet; 30 feet in Shoreline Jurisdiction	25 feet; 30 feet in Shoreline Jurisdiction
	Drive-through	n/a	Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Special Regulations table below.
	<b>Smaller dwelling units</b>	<b>See RZC 21.08.360</b>	<b>n/a</b>

RZC Article I

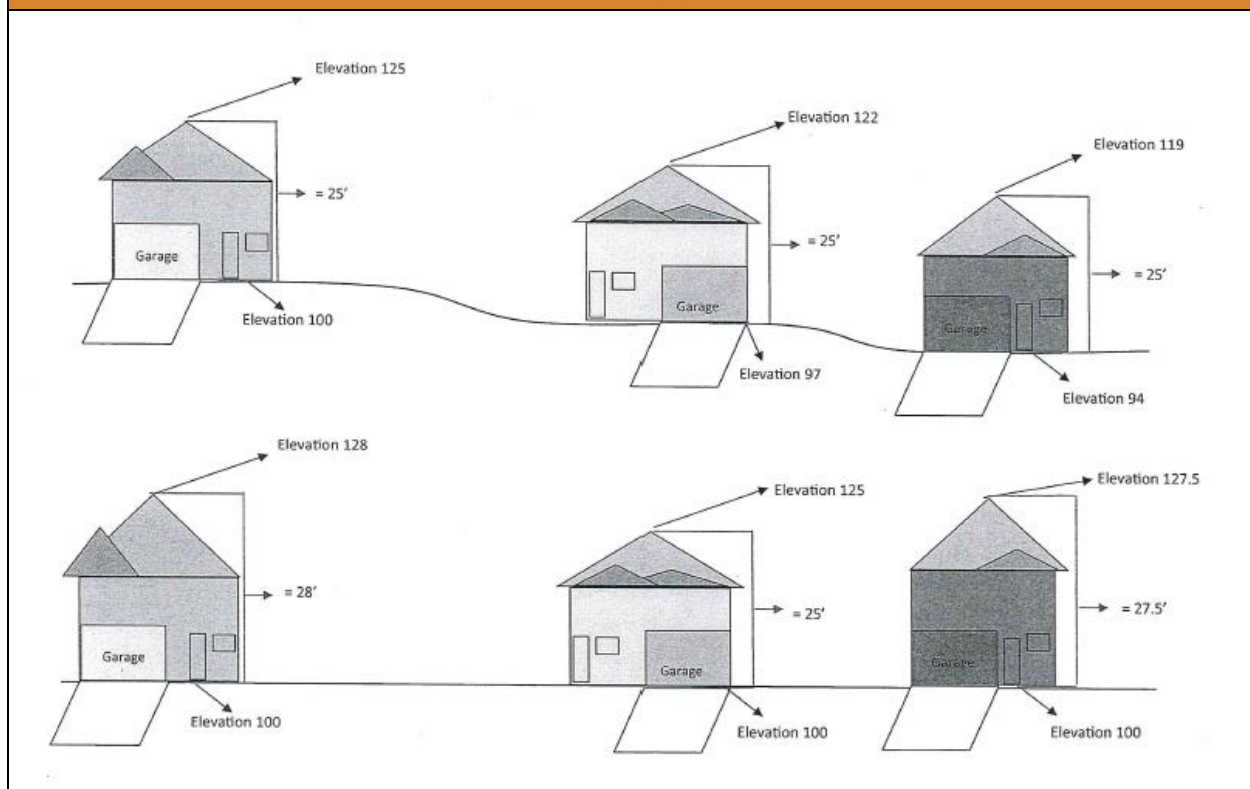
21.08 Residential Regulations

**21.08.180 Residential Development and Architectural, Site, and Landscape Design Regulations**

**C. Variety and Visual Interest in Building and Site Design.**

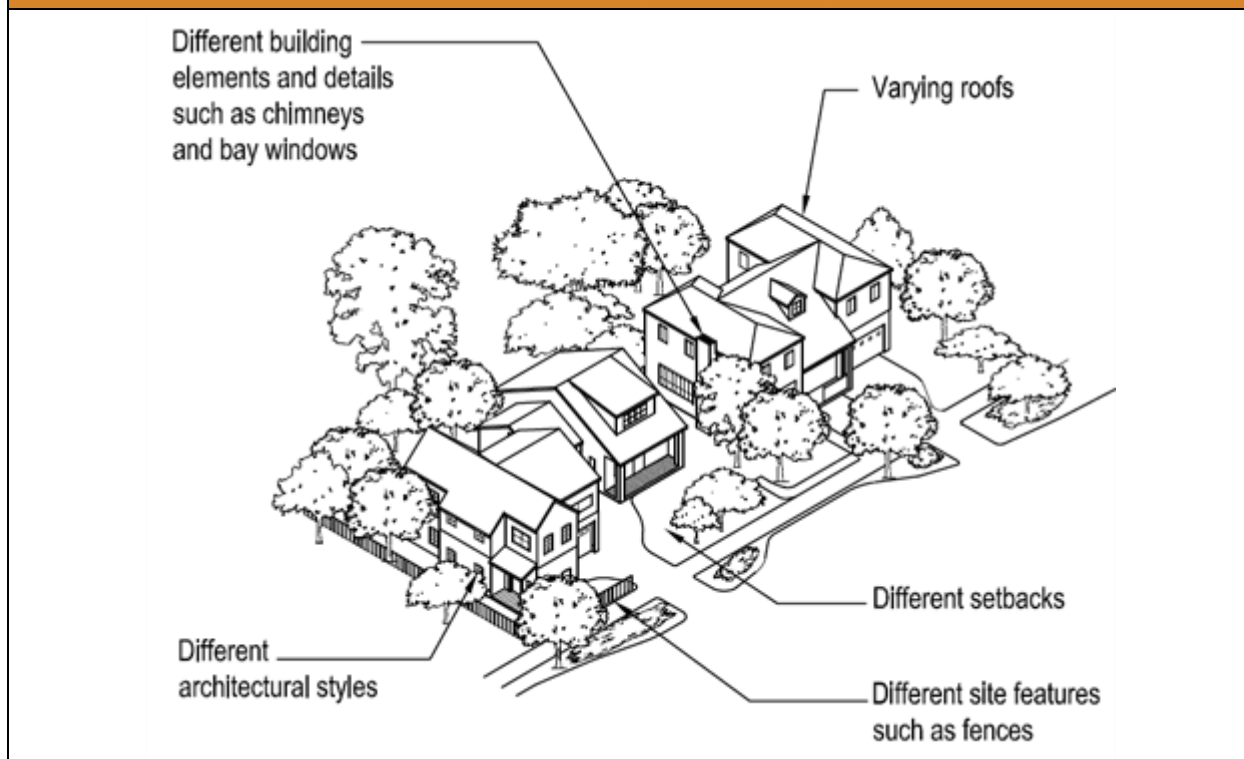
1. Purpose. The purpose of this section is to:
  - a. Promote building and site design that is consistent with the neighborhood character of each of the City's residential neighborhoods; and
  - b. Provide variety and visual interest by using various combinations of building elements, features and treatments and variation in site design elements while remaining consistent with neighborhood character.
2. Design Criteria.
  - a. Variety in Building Design.
    - i. The same combination of building elements, features and treatments shall not be repeated for more than 20 percent of the total dwelling units in any new residential development. Dwelling units with the same combination of features and treatments shall not be located side by side with each other or directly across a street from each other.
    - ii. Dwelling units in developments of five or more lots may have the same combination of features as long as the details are varied to achieve visual interest. Dwelling units in developments of less than five lots shall not repeat the same combination of primary and secondary features. The development of a new dwelling unit on a single lot shall not repeat the same design of an existing home that is located side by side with it or directly across a street from it.
    - iii. In making the determinations required in subsections C.2.i and C.2.ii, of this section, architecture within new residential developments will be evaluated by the Administrator as a combination of at least three primary features and at least three secondary features per dwelling unit. The primary features may include:
      - A. Variation in structure height by a minimum of at least 10 percent;
        1. For the purposes of this section, building height shall be measured from the main ground floor living space elevation that is street facing or a street facing garage elevation, whichever is lower to the height roof elevation point visible from the street, as depicted in Figure #.
      - B. Varying roof pitch, shape, and orientation between adjacent structures;
      - C. Variation in structure width of greater than five feet;
      - D. Variation in dwelling unit type or size by a minimum of at least 10 percent;
      - E. Variation in garage orientation (i.e., front, side, alley, detached);

**Figure #**  
**Measuring Building Height**  
*(Insert new figure)*



2. Secondary features may include:
  - A. Variation in setbacks from the street of greater than four feet;
  - B. Entry enhancement and differentiation;
  - C. Variation in building materials, colors, and detailing;
  - D. Façade articulation and modulation;
  - E. Visible window trim and mullions
- iv. Other secondary building elements, treatments, features, or site designs which meet or exceed the intent of this section may be approved by the Administrator.

**Figure 21.08.180A**  
**Variety in Building and Site Design**

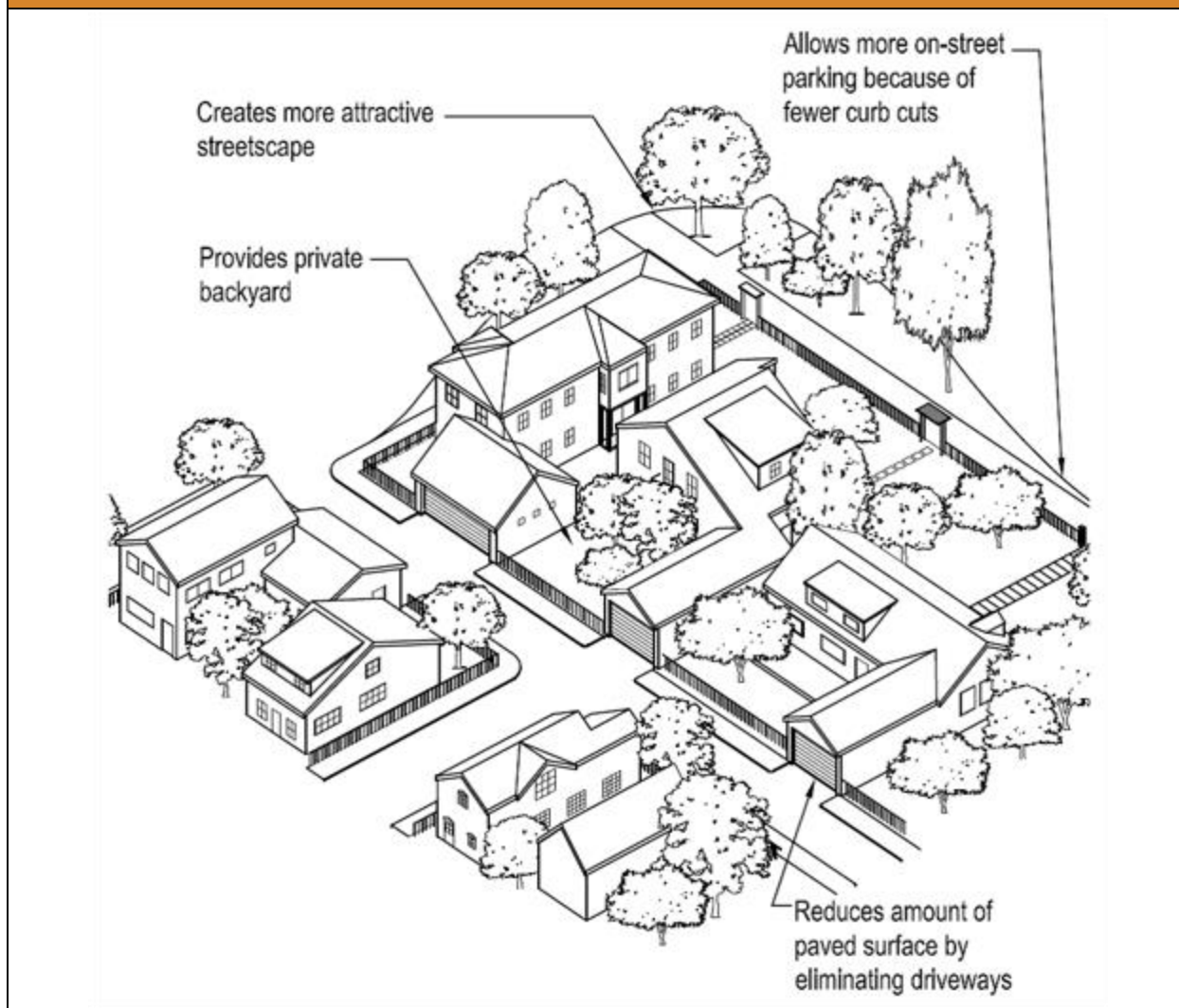


C.

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- b. Variety in Site Design. Variation in site design shall be achieved through the use of various site planning methods and techniques. Examples of techniques to provide variety in site design include, but are not limited to:
  - i. Variation in lot sizes or orientation;
  - ii. Variation in type of driveway (shared or not shared);
  - iii. Alleys (See Figure 21.08.180B below.);
  - iv. Variation in landscape design; and (v) Other similar site design features which achieve variety and visual interest and meet or exceed the intent of this section may be approved by the Administrator.

Figure 21.08.180B  
Benefits of Alley Access



### **21.08.180.D.2.b Building Orientation**

#### **D. Building Orientation.**

1. Purpose. The purpose of this section is to:
  - a. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
  - b. Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
  - c. Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street. (See Figure 21.08.180C below.)
2. Design Criteria.
  - a. Setbacks on Arterials. With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located. In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:
    - i. Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.
    - ii. All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
    - iii. All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
      - A. This setback shall be measured from the edge of the proposed right-of-way.
      - B. Multistory vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
      - C. The multistory vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.



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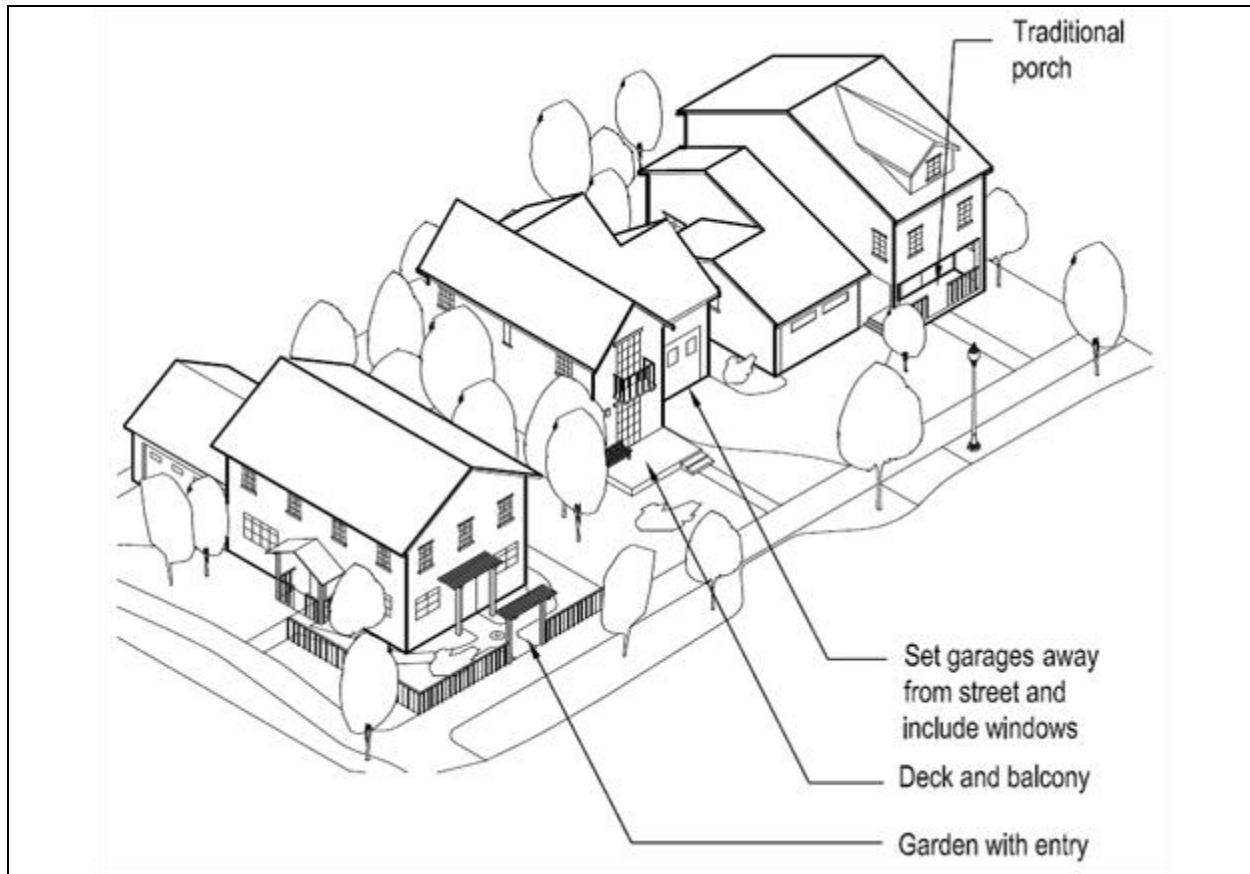
- D. The multistory vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180.F.2.vii, Vegetation for the North Redmond Wedge Subarea Common Areas.
- E. The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
- iv. Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.
- b. Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:
  - i. Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
    - A. The front elevation of the first floor living space is equal or lesser distance to the front property line from the garage door and has a covered front exterior entry way that is a minimum of five feet proud of the garage door; or
    - B. The front elevation of the first floor living space is five feet or greater distance forward (closer to the front property line) from the front elevation of the garage door; or
    - C. The front elevation of the second story of a proposed home is projected over the front elevation of the garage door by no less than five feet and is at minimum the width of the garage door and the front elevation of the first floor living space is equal or lesser distance to the front property line from the garage door.
      - 1. For the purposes of this section, the front street elevation may be measured from the forward most column of a covered porch when the surface wall of the ground floor living space is recessed no more than four feet from the

garage, and a second story projection of a least five feet is provided above the garage.

- ii. Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet. The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- c. Garage Doors. On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- d. Transition Areas. In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets the intent of this section. The transition area may consist of a combination of landscape and structural elements.
- e. Alleys. There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.
- f. Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.

**Figure 21.08.180C**  
**Building Orientation – Three Options for Providing Living Space Oriented Toward the Street**

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup



### **21.08.180.D.2.d Building Orientation**

#### **D. Building Orientation.**

1. Purpose. The purpose of this section is to:
  - a. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
  - b. Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
  - c. Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street. (See Figure 21.08.180C below.)
2. Design Criteria.
  - a. Setbacks on Arterials. With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located. In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:
    1. Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.
    2. All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
    3. All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
      - A. This setback shall be measured from the edge of the proposed right-of-way.
      - B. Multistory vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
      - C. The multistory vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.

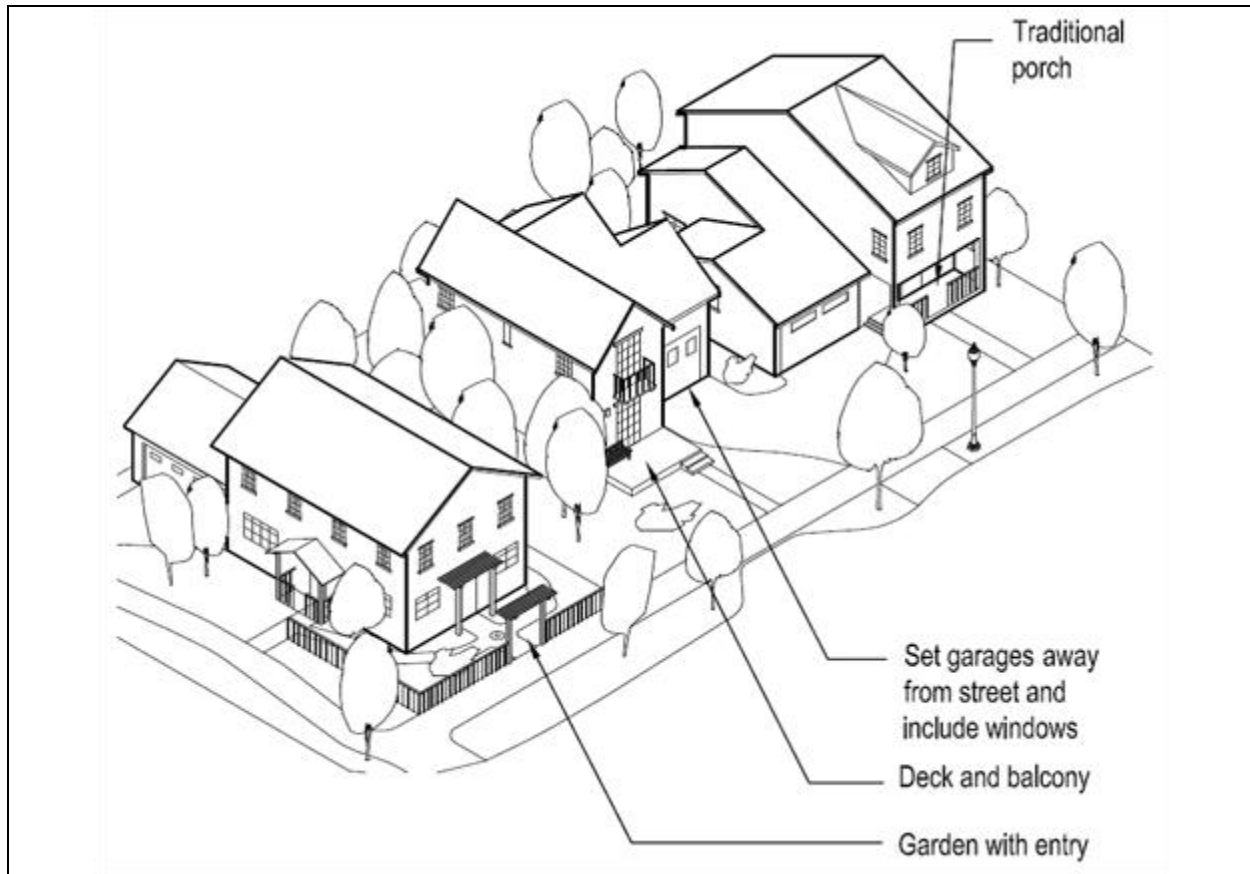
## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

- D. The multistory vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180.F.2.vii, Vegetation for the North Redmond Wedge Subarea Common Areas.
- E. The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
- 4. Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.
- b. Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:
  - 1. Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
  - 2. Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet. The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- c. Garage Doors. On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- d. Transition Areas. In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets the intent of this section. The transition area may consist of a combination of landscape and structural elements.
  - 1. For the purpose of this section, the following are examples of acceptable transition areas. Elements of the following examples may be expanded upon or combined to meet the intent of this code section.

- A. A porch or patio design which is a combination of dimensions equaling no less than 80 square feet and a minimum of five feet in depth, excluding the passive area required for foot traffic to access the entry and in combination with landscaping and/or walkway; or
  - B. A walkway from entry of the home to adjacent pedestrian street access of no less than 3' in width and framed with a minimum of 2' of landscaping on either side; or
  - C. A front yard garden that is a combination of dimensions equaling no less than 80 square feet and a minimum of five feet in depth with separate entry such as a low fencing or arbor; or
  - D. When the front ground floor elevation of the home does not have a street facing entry, a patio or outdoor living space area may be installed that is a combination of dimensions equaling no less than 80 square feet and minimum of five feet in depth and framed with landscaping on a least two sides; or
  - E. An arbor in combination with the methods outlined in item B above.
- e. Alleys. There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.
  - f. Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.

**Figure 21.08.180C**  
**Building Orientation – Three Options for Providing Living Space Oriented Toward the Street**

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup



**21.08.260 Attached Dwelling Units**

A. **Purpose.** The purpose of this section is to:

1. Enhance opportunities for ownership housing;
2. Reduce development costs related to construction and the provision of utilities, which in turn may help to reduce housing prices in support of affordability goals;
3. More effectively set aside critical areas and natural resources as open space than would otherwise be allowed through the subdivision process; and
4. Achieve the planned density for a site that may not otherwise be met due to environmental and other physical constraints.

B. **Applicability.**

1. Generally. Unless otherwise specified in subsections B.2 and B.3 of this section, attached dwelling units are allowed through a conditional use permit process in zones R-4 through R-6. Attached dwelling units are allowed outright in zones R-8 through R-30, unless otherwise provided in subsections B.2 and B.3.
2. Willows/Rose Hill Neighborhood.
  - a. Two-unit attached dwelling units are an allowed use on individual lots in Single-Family Urban zones in the Willows/Rose Hill Neighborhood, provided that a minimum of 70 percent of the total dwelling units within the single-family portion of each residential subarea of the Willows/Rose Hill Neighborhood shall remain detached single-family dwellings.
  - b. Three-unit attached dwelling units and four-unit attached dwelling units may be allowed as part of a preliminary plat application in Single-Family Urban zones only as part of the demonstration project provided for in Policy N-WR-E-4 of the Redmond Comprehensive Plan to evaluate compatibility with the Willows/Rose Hill Neighborhood.
3. Bear Creek, Education Hill, Grass Lawn, North Redmond, Southeast Redmond, and Overlake Neighborhoods.
  - a. Two-unit attached dwelling units are an allowed use on individual lots in Single-Family Urban zones.
  - b. Three-unit attached dwelling units and four-unit attached dwelling units are allowed on individual lots in Single-Family Urban zones, with public notification and at least one neighborhood meeting required. The public notification and neighborhood meeting are not required in R-8 zones.
  - c. Attached dwelling units are not an allowed use in the North Redmond Wedge Subarea.

C. **Requirements.** Attached dwelling units are subject to all of the land use, density, site requirements, and development standards of the underlying zone with the following exceptions:

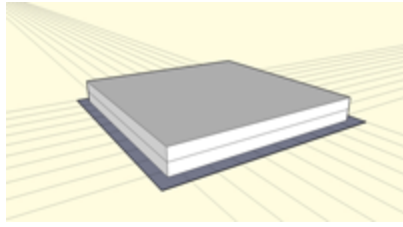
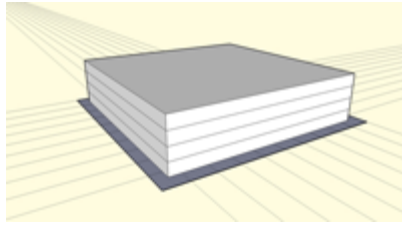


## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

1. Minimum Lot Size. The minimum lot size for attached dwelling units in R-4, R-5, ~~and~~ R-6, and RIN zones shall be based on a percentage of the average lot size of the underlying zone as presented in the zone use chart for the residential zone. (See RZC 21.08.020 through 21.08.140.)
  - a. The minimum lot size for a two-unit attached dwelling unit is equal to 150 percent of the average lot size for the underlying zone.
  - b. The minimum lot size for a three-unit attached dwelling unit is equal to 200 percent of the average lot size for the underlying zone.
  - c. The minimum lot size for a four-unit attached dwelling unit is equal to 250 percent of the average lot size for the underlying zone.

### 21.10.060 Bear Creek (BC), Valley View (VV), and Trestle (TR) Zones

- A. **Purpose.** The convenience commercial areas of Downtown include the [Valley View](#), [Trestle](#), and [Bear Creek](#) zones. These three zones are located at the major entrances to the Downtown to serve shoppers conveniently from both within and outside the neighborhood. These zones are intended to provide for everyday, basic shopping needs and services, such as groceries, pharmacies, and other convenience retail goods and services that are easily accessed by pedestrians, bicyclists, and motor vehicles. Land uses and redevelopment in the area should be compatible with shopping and service needs of the community and surroundings, as well as with the long-term Downtown vision of encouraging a more pedestrian-supportive, mixed-use environment in these zones.
- B. **Maximum Development Yield.**

Table 21.10.060A Maximum Development Yield				
Allowed	Base	Maximum		
Height	2 stories	4 stories	Example of a 2-story building	Example of 4-story building
Lot Coverage	80 percent	80 percent		
These are office building examples using Transfer Development Rights or GBP to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.				

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

Table 21.10.060B Regulations Common to All Uses		
Regulation	Standard	Notes and Exceptions
Other Standards		
Minimum Building Height	n/a	
Maximum Building Height without TDRs or GBP	2 Stories	A. The maximum height may be increased to four stories when the site's development plan can demonstrate the goals and objectives outlined in Comprehensive Plan Policy DT-37, and the design guidelines outlined in RZC <a href="#">21.62.020</a> , <del>G.2.c</del> are met through the site plan entitlement process.
Maximum Building Height with TDRs or GBP	3 Stories	A. One floor of additional height may be achieved with the use of Transfer Development Rights. See RZC <a href="#">21.10.160</a> , <i>Using Transfer Development Rights</i> (TDRs), or through compliance with RZC <a href="#">21.67</a> , <i>Green Building and Green Infrastructure Incentive Program</i> (GBP).
Maximum Height Within <a href="#">Shorelines</a> (SMP)	35 feet	A. This height limit is restricted to that portion of the building physically located within the Shoreline Jurisdiction. (SMP) B. The maximum height of <a href="#">structures</a> , including bridges, that support a <a href="#">regional light rail transit system</a> may be higher than 35 feet but <a href="#">shall</a> be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)
Maximum <a href="#">Lot</a> Coverage	80 percent	A. For residential development without ground floor commercial/office, lot coverage shall be governed by the Downtown Residential Densities Chart. B. Lot coverage percentage equals: The total site area measured to the property line, less pedestrian systems measured to the curb line, on-site sidewalks, landscaping, and plazas, divided by the site area measured to the curb line.
Base FAR Without TDRs	1.25	A. Maximum FAR without TDRs or GBP for nonresidential space is 1.25. Residential space within a mixed-use building is exempt from TDR or GBP requirements. See RZC <a href="#">21.10.160</a> , <i>Using Transfer of Development Rights</i> (TDRs), and RZC <a href="#">21.67</a> , <i>Green Building and Green Infrastructure Incentive Program</i> (GBP). B. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs or GBP, provided that other site requirements can be met.
Allowed Residential Density	Depends on Lot Size	A. See RZC <a href="#">21.10.130</a> .B, Downtown Residential Densities Chart.
Drive-through	n/a	A. Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Basic Development Standards table below.

RZC Article I

21.12 Overlake Regulations

**RZC 21.12 Overlake Regulations**

**21.12.010 Overlake Village Purpose**

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The purposes of the Overlake Village regulations are to:

- A. Implement the vision and policies for Overlake Village zones set forth in the Redmond Comprehensive Plan;
- B. Encourage a broad mix of multifamily residential and commercial uses and amenities in order to achieve a vibrant, engaging environment and a true urban center;
- C. Provide for pedestrian-friendly and activating commercial uses on the ground floor of development located along arterials, while allowing residential uses on the ground floor of development along local streets;
- D. Include housing in all future development;
- E. Promote compact, walkable development forms that are conducive to transit use;
- F. Provide improved connections for nonmotorized and local vehicular travel;
- G. Encourage use of environmentally sustainable site design and building features;
- H. Encourage inclusion of retail, restaurants, professional offices, services, and entertainment uses to meet needs of residents and employees, enliven the area after working hours, and contribute to a sense of place; and
- I. Allow additional building height and density where appropriate through an incentive program to facilitate provision of public and private infrastructure, green buildings, affordable housing, tree retention, and open space, while still achieving sustainable, transit-supportive densities.

Effective on: 4/28/2012

**21.12.020 OV Master Planning**

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- A. Master Plans are required in Overlake Village for all developments encompassing at least three acres and optional for sites under three acres. When a Master Plan has been approved by the City, site requirements and other development standards and regulations shall be administered on the basis of the area controlled by the approved Master Plan ("Plan Area"), rather than on a site-by-site basis, provided the approved Master Plan demonstrates the ability to comply with the requirement in question. For example, in the case of a development application for a site that is part of an area controlled by an approved master plan, if the plan designates the maximum lot coverage of structures and such areas are sufficient to meet maximum lot coverage requirements applied to the entire Plan Area, then an individual site plan need not demonstrate compliance with maximum lot coverage requirements.
- B. Developments completing a Master Plan may increase the height of 50 percent of the buildings in the development by one floor.

Effective on: 4/16/2011

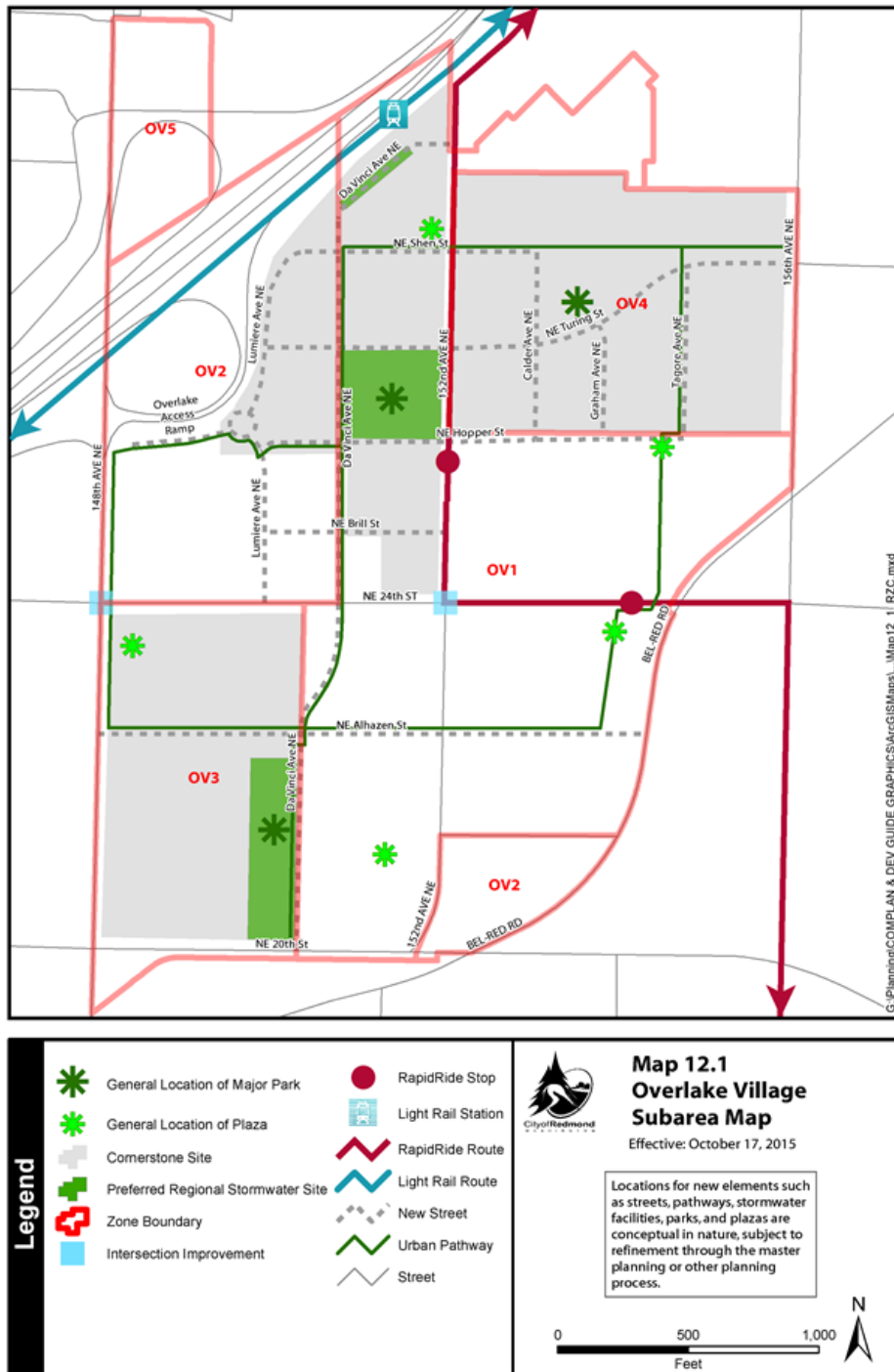
**21.12.030 OV Subarea Map**

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## **Amendments to Redmond Zoning Code – Periodic (2018) Cleanup**

- A. Preferred land uses and development patterns are designated by five zones, the boundaries of which are delineated on the City's zoning map and the subarea map below.
- B. Locations for new elements, such as streets, pathways, stormwater facilities, parks, and plazas, are conceptual in nature, subject to refinement through the master planning or other planning process.

Map 12.1  
Overlake Village Subarea Map



Note: Online users may click the map for a full-size version in PDF format.

(Ord. 2803)

Effective on: 10/17/2015

## 21.12.035 Regulations Common to All Uses

- A. Drive-through facilities are prohibited in all OV zones except where expressly permitted in the Allowed Uses and Basic Development Standards tables in RZC 21.12.040, 21.12.050, 21.12.060, 21.12.070, and 21.12.080

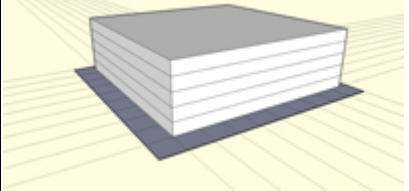
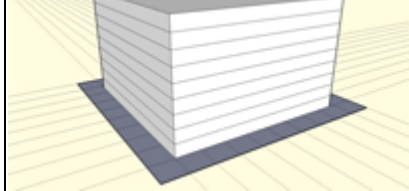
(Ord. 2652)

Effective on: 4/28/2012

## 21.12.040 OV Zone 1

- A. **Purpose.** Zone 1 encompasses a majority of the eastern half of Overlake Village, including both sides of 152nd Avenue NE. Residential uses are emphasized here as part of mixed-use developments. The land within this zone offers a strong opportunity to attract residents to this area due to its location within the core and proximity to transit options and the employment center to the north.

- B. **Maximum Development Yield.**

Table 21.12.040A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 1. To use the chart, first read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted. The following headings are used in the table:

1. § = section number
2. Use = Land use
3. Max. FAR = Maximum floor area ratio
  - a. Base = Maximum FAR without any incentives applied
  - b. w/TDRs or GBP = With transferred development rights (TDRs) or green building and green infrastructure incentive program (GBP)
  - c. w/50% Res. = With 50 percent residential
  - d. w/IP = With incentive program
4. Min. Res. Floor Area = Minimum Residential Floor Area
5. Max. Height = Maximum Height
  - a. Base = Maximum height without any incentives applied

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

- b. w/TDRs or GBP = With transferred development rights (TDRs) or green building and green infrastructure incentive program (GBP)
- c. w/IP = With incentive program
- 6. Max. ISR / Min. LSR = Maximum impervious surface / minimum landscaped area
- 7. Parking Ratio = Parking ratio for the use
- 8. Special Regulations = Special regulations that apply to the use

Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4	50%	5; 6; 8	85% / 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential					Bed (0.75, 0.75)	
3	Dormitory					Bedroom (0.5, 1.0)	
4	Residential suite						
5	Housing Services for the Elderly	2.5; 2.5; 2.5; 4	50%	5; 6; 8	85% / 15%	See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental or service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 square feet gross floor area in a single use.</p> <p>D. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, provides services to buildings and dwellings, OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p>



# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							<p>F. Maximum building height of 9 stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.35	50%	4; 5; 8	85% / 15%	Rental room (1.0, 1.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Warehouse and storage services not permitted.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation					1,000 sq ft gfa (2.0, 3.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
11	Rapid charging station						
12	Battery exchange station					Adequate to accommodate peak use	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</p>
13	Communications and Information	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a software publisher or telecommunications and broadcasting; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for other publishing uses not listed above.</li> </ol> <p>C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
14	Local Utilities		0%			Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
15	Regional Utilities						A. Requires a conditional use permit. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
16	Large Satellite Dishes / Amateur Radio Tower						A. See RZC 21.56, <i>Wireless Communication Facilities</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
17	Wireless Communication Facilities						A. See RZC 21.56. Wireless Communication Facilities, for specific development requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
Arts, Entertainment, and Recreation							
18	Arts, Entertainment, and Recreation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	Adequate to accommodate peak use	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
19	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
20	Education, Public Administration, Health Care, and other Institutions, except those listed below	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	See Special Regulations	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
21	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if less than 51 percent of a business’s transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements. B. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone.

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

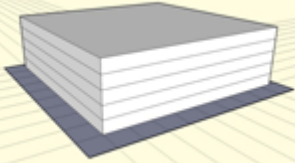
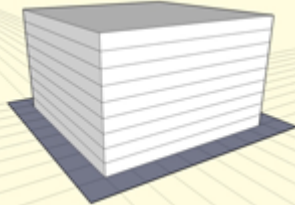
Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
22	Religious Institutions					Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). C. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way. D. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas. E. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP) F. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet. G. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
Construction-Related Businesses							
23	Construction-Related Businesses	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
Other							
24	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access. B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures. F. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
25	Vending carts			1; 1; 1	85% / 15%		
<b>TABLE NOTES:</b> A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date							

(Ord. 2803; Ord. 2836; Ord 2919)

Effective on: 4/14/2018

## 21.12.050 OV Zone 2

- A. **Purpose.** Two portions of Overlake Village are included in [Zone 2](#): the land northwest of the NE 24th Street/~~151st~~[DaVinci](#) Avenue NE intersection, and the area southeast of the NE 21st Street/152nd Avenue NE intersection. Commercial uses are emphasized here as part of mixed-use developments. These land areas are not as desirable for exclusively residential development due to their location along major arterials or near SR 520 and as such less housing is required in these areas than in Zone 1.
- B. **Maximum Development Yield.**

Table 21.12.050A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 2. To use the chart, first read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC [21.76.020](#), *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.050B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR	Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4.0	25%	5; 6; 8	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	Maximum building height of nine stories may be achieved through RZC <a href="#">21.12.170</a> , <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

Table 21.12.050B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Parking requirements are as follows: 1. Multifamily housing for senior citizens: Unit (0.5, 2.0) 2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0) 3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0) 4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25) C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
General sales or services							
6	General Sales or Services	0.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. The following uses are not permitted: 1. Gasoline service; 2. Outdoor automobile sales, rental or service; 3. Rental storage and mini-warehouses. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use residential developments. C. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070.K, <i>Conditional Use Permit</i> D. Shall be considered a transitional use if: 1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for business support services. E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. F. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. G. Parking standards for restaurant uses: 1. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0) 2. Take-out restaurant: 1,000 SF GFA (10.0, 10.0) H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.	25%	4; 5; 8	85%; 15%	Rental room (1.0, 1.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 9	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may increase to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, emissions, vibrations, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. D. Maximum building height of 9 stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
12	Battery exchange station						
13	Communications and Information					A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements. D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
14	Local Utilities		Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.			
15	Regional Utilities						
16	Wireless Communication Facilities	A. See RZC 21.56, <i>Wireless Communication Facilities</i> , for specific development requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.					
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	0.36; 0.41;	25%	4; 5; 8	85%; 15%	Adequate to accommodate peak use	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.



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Table 21.12.050B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
18	Natural and other recreational parks	0.41 <sup>A</sup> ; 0.55 <sup>B</sup>				1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care and other Institutions, except those listed below	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	See Special Regulations	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if less than 51 percent of a business’s transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. B. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone. C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
21	Religious Institutions					Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0) A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments). C. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way. D. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas. E. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP) F. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet. G. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . H. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.	
Construction-Related Businesses							

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

Table 21.12.050B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
22	Construction-Related Businesses	0.36; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
Other							
23	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
24	Vending carts			1; 1; 1	85%; 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>
<b>TABLE NOTES:</b> <p>A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater</p> <p>B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date</p>							

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

Effective on: 4/14/2018

### 21.12.060 OV Zone 3

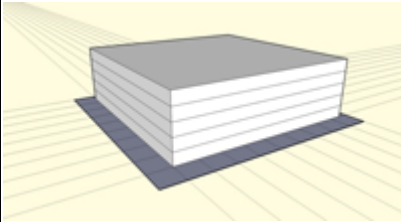
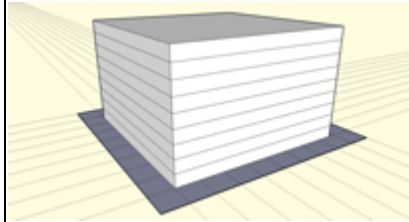
- A. **Purpose.** Zone 3 encompasses a majority of the southwest quadrant of the Overlake Village, except for the land bordering 152nd Avenue NE. Regional retail is emphasized here as part of mixed-use developments. This land area has the highest visibility and is located along this zone's highest trafficked corridors.
- B. **Maximum Development Yield.**

Table 21.12.060A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		



## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

**Table 21.12.060A  
Maximum Development Yield**

	Base	Bonuses Available, and Quantity	Max.		
					

**C. Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 3. To use the chart, first read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

**Table 21.12.060B  
Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4.0	25%	5; 6; 9	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	<p>A. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>B. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	
<b>General sales or services</b>							
6	General Sales or Services	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 SF GFA (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>Gasoline service;</li> <li>Outdoor automobile sales and service; and</li> <li>Rental storage and mini-warehouses.</li> </ol>

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							<p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Automobile rental requires a conditional use permit (see RZC 21.76.070.K, <i>Conditional Use Permit</i>) and must comply with the following provisions:</p> <ol style="list-style-type: none"> <li>Shall not abut any residential zone.</li> <li>Rental uses operating in mixed-use developments are limited to eight rental vehicles at any given time in existing parking spaces; additional vehicles may be stored on-site in a building or elsewhere given submittal and approval by the Technical Committee of a vehicle storage plan.</li> <li>Vehicle display area shall be outside of required parking and landscape areas.</li> <li>Vehicles shall be stored on paved surfaces.</li> <li>Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.</li> <li>Outdoor loudspeaker systems are prohibited.</li> <li>Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>Vehicle repair shall be conducted indoors.</li> </ol> <p>D. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p> <p>E. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>F. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.35	25%	4; 5; 9	85%; 15%	Rental room (1.0, 1.0)	
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of <a href="#">gross floor area</a> for the retail components of mixed-use developments.</p>
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Warehouse and storage services not permitted.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p>

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if:</p> <p>1. Business is a software publisher or telecommunications and broadcasting; OR</p> <p>2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above.</p> <p>C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p>
11	Rapid charging station					Adequate to accommodate peak use	
12	Battery exchange station						
13	Communications and Information					1,000 sq ft gfa (2.0, 3.0)	
14	Local Utilities	0%		4; 5; 9	85%; 15%	Adequate to accommodate peak use	Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
15	Regional Utilities						
16	Wireless Communication Facilities						See RZC 21.56, <i>Wireless Communication Facilities</i> .
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	Adequate to accommodate peak use	
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	See Special Regulations	Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if less than 51 percent of a business’ transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>B. Provisions for day care centers:</p>

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

Table 21.12.060B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							<ol style="list-style-type: none"> <li>Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>Play equipment shall be located no less than 10 feet from any property line.</li> <li>Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol>
21	Religious Institutions					Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</li> <li>Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>Steeple, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</li> <li>Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</li> <li>A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> </ol>
Construction-Related Businesses							
22	Construction-Related Businesses	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<ol style="list-style-type: none"> <li>Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</li> <li>Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</li> </ol>
Other							
23	Kiosk						<ol style="list-style-type: none"> <li>Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</li> </ol>
24	Vending carts			1; 1; 1	85%; 15%		<ol style="list-style-type: none"> <li>Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</li> <li>Structures shall be secured to prevent tipping and endangering public safety.</li> <li>Maximum size is six feet wide by ten feet long.</li> <li>Administrative design review required for structures.</li> </ol>
<b>TABLE NOTES:</b> A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date							

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

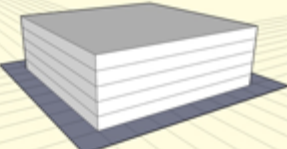
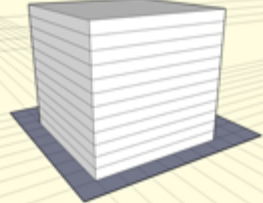
Effective on: 4/14/2018

## 21.12.070 OV Zone 4

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

A. **Purpose.** **Zone 4** provides for redevelopment of a unique 28-acre, sloped site located at the core of the Overlake Village. This site is intended to provide a compact, mixed-use development with substantial residential development, as well as employment, retail and services, which are integrated with a major urban neighborhood public park that provides a central gathering place through plazas and green spaces. The substantial residential component is intended to achieve a site that is active during the day and during the evening, supports retail and other commercial space that is developed on the site, and supports the site as a transit-oriented place. For that reason, a 50 percent minimum residential floor area requirement is established. With its central location and proximity to major employers, the site is well-suited for pedestrian- and transit-supportive development. The design and development of this district will be controlled by a Master Plan. The Master Plan ensures that development here carries out the vision for Overlake.

### B. Maximum Development Yield.

Table 21.12.070A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	2.9	TDRs or GBP: 0.05 Incentive Program: 2.25	5.2	Example of a 5-story building with FAR = 2.9	Example of 9-story building with FAR = 5.2
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 6 stories	12 stories		

C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 4. To use the chart, first read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.070B Allowed Uses and Basic Development Standards						
§	Use	Max. FAR  Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)
Special Regulations						
<b>Residential</b>						
1	Multifamily Structure	2.5; 2.5; 4.0	50%	5; 6; 12	85%; 20%	Unit (1.0, 2.25) plus 1 guest space per 4 units for
2	Mixed-Use Residential					A. An applicant may use an alternate method to calculate the 50 percent minimum residential floor area requirement for a proposed Master Plan. If used, the alternative method shall be described in a Development Agreement for the proposed Master Plan, and shall meet the

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

**Table 21.12.070B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
3	Dormitory					projects of 6 units or more Bed (0.75, 0.75)	intent of the 50 percent residential floor area requirement, which is described above in RZC 12.12.070.A, <i>Purpose</i> . B. 2. Height not to exceed 125 feet through Overlake Village Incentive Program.
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	A. Height not to exceed 125 feet through Overlake Village Incentive Program. B. Parking requirements are as follows: 1. Multifamily housing for senior citizens: Unit (0.5, 2.0) 2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0) 3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0) 4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25) C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
<b>General sales or services</b>							
6	General Sales or Services	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. The following uses are not permitted: 1. Gasoline service; 2. Outdoor automobile sales, rental and service; and 3. Rental storage and mini-warehouses. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Limited to less than 75,000 square feet gross floor area in a single use. D. Height not to exceed 126 feet through Overlake Village Incentive Program. E. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments. F. Parking standards for restaurant uses: 1. Sit-down restaurant: 1,000 sq ft gfa (9.0, 9.0) 2. Take-out restaurant: 1,000 sq ft gfa (10.0, 10.0) G. Parking for the following uses may be reduced as described below provided the Technical Committee finds there is sufficient data and analysis upon which the reduction is based to demonstrate that adequate parking will be provided, including shared parking: 1. Parking for sit-down and carry-out restaurants may be reduced to not less than two (2) spaces per 1,000 square feet gross floor area; 2. Parking for restaurants, cafes or delis with less than 750 square feet gross floor area may be reduced to zero spaces.
7	Hotels, Motels and Other Accommodation Services	.4; .47; 1.2	50%	4; 5; 12	85%; 20%	Rental room (1.0, 1.0)	Height not to exceed 135 feet through Overlake Village Incentive Program.
8	Marijuana retail sales	.4; .47; 1.0	0%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. Wholesale trade establishments and warehouse and storage services not permitted.

# Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

**Table 21.12.070B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
							B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Height not to exceed 126 feet through Overlake Village Incentive Program.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	Height not to exceed 126 feet through Overlake Village Incentive Program.
11	Rapid charging station					Adequate to accommodate peak use	A. Height not to exceed 126 feet through Overlake Village Incentive Program. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
12	Battery exchange station						
13	Communications and Information		0%	1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Height not to exceed 126 feet through Overlake Village Incentive Program.		
14	Local Utilities			Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> B. Height not to exceed 126 feet through Overlake Village Incentive Program.		
15	Regional Utilities						
16	Wireless Communication Facilities			See RZC 21.56. <i>Wireless Communication Facilities</i> , for specific development requirements.			
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	Adequate to accommodate peak use	Height not to exceed 126 feet through Overlake Village Incentive Program.
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	See Special Regulations	A. Religious institutions not permitted. B. Height not to exceed 126 feet through Overlake Village Incentive Program. C. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone. B. Height not to exceed 126 feet through Overlake Village Incentive Program.
Construction-Related Businesses							



## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

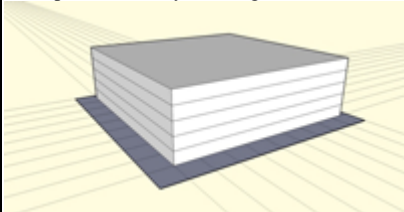
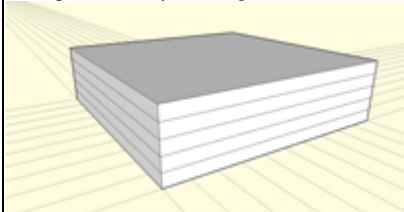
Table 21.12.070B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
21	Construction-Related Businesses	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. Shall include a showroom open to the general public. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Height not to exceed 126 feet through Overlake Village Incentive Program.
Other							
22	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
23	Vending carts			1; 1; 1	85%; 15%		B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures.

(Ord. 2642; Ord. 2803; Ord 2836; Ord. 2919)

Effective on: 4/14/2018

### 21.12.080 OV Zone 5

- A. **Purpose.** Zone 5 is located north of the SR 520 interchange and encompasses approximately 1.7 acres of the Overlake Village. Commercial uses are emphasized here due to the site's location next to the freeway interchange, highly trafficked arterial, and the immediately surrounding employment campuses. Residential uses are permitted but not required.
- B. **Maximum Development Yield.**

Table 21.12.080A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	Incentive Program: 1.3	5	Example of a 5-story building with FAR = 3.7	Example of 5-story building with FAR = 5
Height	5 stories	None in this example	5 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 5. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted



## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

uses may require permit approval. See RZC [21.76.020](#), *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.080B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 4.0	0%	5; 5; 5	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	<p>A. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>B. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental and service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 sq ft gross floor area in a single use.</p> <p>D. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, or provides services to buildings and dwellings; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC <a href="#">21.12.140</a>, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>F. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 sq ft gfa (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 sq ft gfa (10.0, 10.0)</li> </ol> <p>G. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.35	0%	4; 5; 5	85%; 15%	Rental room (1.0, 1.0)	

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**Table 21.12.080B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
8	Marijuana retail sales	.36; .41; .55	0%	4; 5; 5	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft (2.0, 3.0)	A. Wholesale trade establishments and warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . Requires a conditional use permit. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . See RZC 21.56. Wireless Communication Facilities for specific development requirements.
11	Rapid charging station					Adequate to accommodate peak use	
12	Battery exchange station						
13	Communications and Information					1,000 sq ft gfa (2.0, 3.0)	
14	Local Utilities						
15	Regional Utilities						
16	Wireless Communication Facilities						
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.36; .41; .55	0%	4; 5; 5	85%; 15%	Adequate to accommodate peak use	
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and	.36; .41; .55	0%	4; 5; 5	85%; 15%	See Special Regulations	A. Religious institutions not permitted. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.

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Table 21.12.080B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR  Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
	other Institutions, except those listed below						
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>B. Provisions for day care centers:</p> <ol style="list-style-type: none"> <li>1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>2. Play equipment shall be located no less than 10 feet from any property line.</li> <li>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol>
<b>Construction-Related Businesses</b>							
21	Construction- Related Businesses	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
<b>Other</b>							
22	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
23	Vending carts			1; 1; 1	85%; 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

Effective on: 4/14/2018

### 21.12.090 OV Floor Area

- A. All legal lots are allowed the greater of either the maximum allowed FAR or 10,000 square feet of buildings provided all other applicable site requirements are met.
- B. The FAR for nonresidential and residential uses within a given development are individually calculated and maybe added together for a cumulative total, provided that the respective maximum FAR for each use is not exceeded, unless otherwise provided for.
- C. Floor area ratio calculations shall be based on the gross site area prior to any provision of space for public amenities.
- D. *Repealed.*

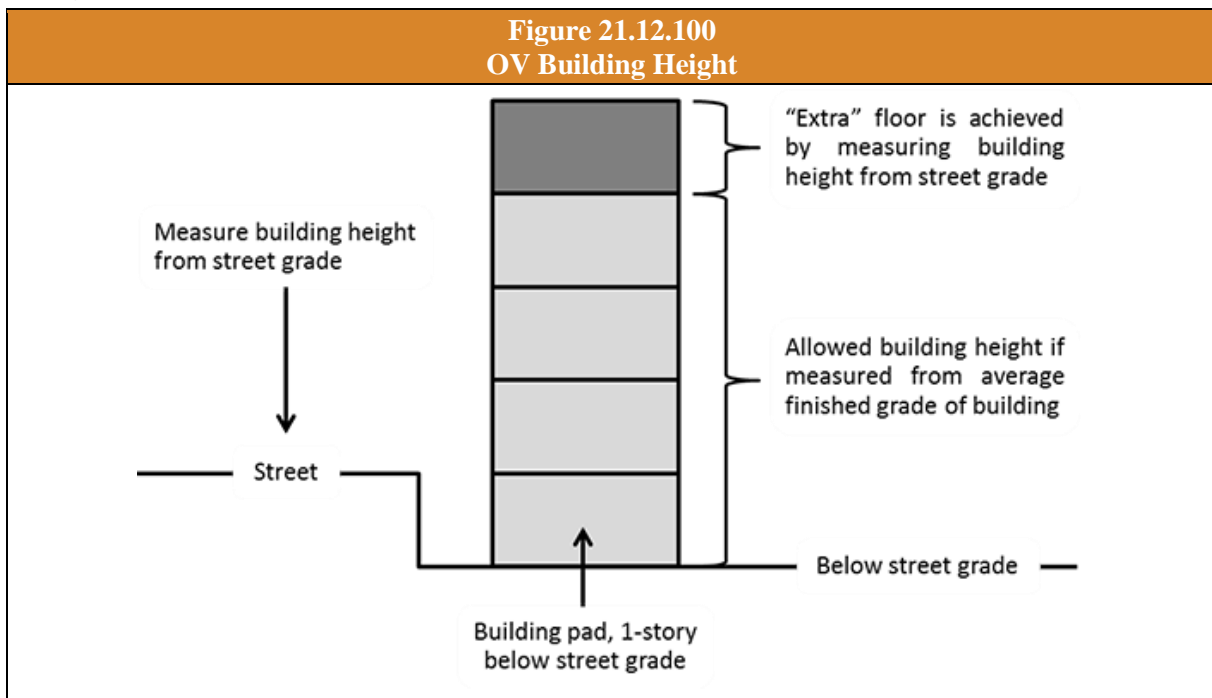
(Ord. 2709)

Effective on: 10/26/2013

### 21.12.100 OV Building Height

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

- A. **Height Tradeoff.** The maximum building height on a site may be exceeded when building height reductions are required at building edges, along a street or park, to achieve better design and stepped building height through the land use permit process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without use of bonuses or transfer of development rights) shall not exceed the floor area that was removed or omitted to create the stepped building facade and shall not exceed one additional floor above the prescribed maximum building height.
- B. In areas where an adjacent public or private street will be more than one story above the ground floor elevation of a building because of topography (such as the southwest corner of NE 90th Street and Redmond-Woodinville Road), building height may be measured from the grade of the higher public or private street, instead of from average finished grade of the building. Building height as measured from the grade of the public or private street shall not exceed maximum building height (including bonuses, if any), and the entire site shall comply with applicable FAR limits. See Figure 21.12.100, *OV Building Height*, below.



- C. To achieve an appropriate transition between major public streets and development interior to Zone 4, maximum building height within 50 feet of the rights-of-way of 152nd Avenue NE and 156th Avenue NE shall be six stories measured from the closest edge of the property to the right-of-way. Bonuses or transferred development rights may not be used to exceed this limit.

Effective on: 4/16/2011

### 21.12.110 OV Parking Standards

- A. Developments may provide parking in excess of the maximum allowed parking standard shown in RZC 21.12.040 through 21.12.080, OV Zones 1 through 5, provided the excess parking is also available at all times to the general public, and there is signage at the facility to inform users which parking stalls are available for public use.

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

- B. Alternative parking standards may be specified in a City-approved Master Plan or site plan when a change is supported by the Overlake Parking Management Plan, a City review of parking in one or more Overlake zones, or a property owner-initiated parking analysis.
- C. Curbside parking on public streets within a development site may count toward up to 25 percent of the required off-street parking. When all or part of the street right-of-way is dedicated by the development site property owner or a predecessor in title, curbside parking shall be fully counted toward satisfaction of the off-street parking requirement. Curbside parking on 152nd Avenue NE or 156th Avenue NE shall not be counted toward off-street parking. Curbside parking on private streets that are part of the development site shall be fully counted toward satisfaction of the required off-street parking requirement. (Ord. 2642)

Effective on: 4/16/2011

### 21.12.120 OV Residential Usable Open Space

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- A. **General Requirement.** The minimum residential usable open space requirement establishes the minimum percentage of a development that must be set aside to provide usable open space for residents. Every development that includes residences shall provide usable open space in an amount equal to or greater than 6.25 percent of the gross residential floor area.
- B. **Alternatives for configuration of the total amount of usable open space.**
  - 1. Common open space is open space that is open to all residents. It includes landscaped courtyards or decks, gardens with pathways, children's play areas, and other multipurpose recreational or green spaces. Except for rooftop open space, it may be used to meet 100 percent of the usable open space requirement.
  - 2. Common open space shall be large enough to provide functional leisure or recreational activity as determined by the Technical Committee. The average minimum dimension shall be 20 feet, with no dimension less than 12 feet.
  - 3. Private open space is open space that is not open to all residents. It includes balconies, patios, and other multi-purpose recreational or green spaces. It may be used to meet up to 50 percent of the usable open space requirement. Private open spaces shall be at least 50 square feet, with no dimension less than five feet.
  - 4. Rooftop open space may be used to meet up to 50 percent of the usable open space requirement, except for rooftop open space described in subsection (5) below.
  - 5. In some circumstances, a rooftop may be accessible from street grade because of significant slopes on a site. In such instances, rooftop open space built at street grade and open to the general public may be used to meet 100 percent of the usable open space requirement.
- C. **Combining Usable Open Space and Pedestrian Access.** Parking areas, driveways, and pedestrian access other than pedestrian access required by Washington State Rules and Regulations for Barrier-Free Design shall not be counted as usable open space, except any pedestrian path or walkway traversing through the open space if the total width of the common usable open space is 18 feet or wider.

Effective on: 4/16/2011

### 21.12.130 OV Landscaping

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- A. **General Requirement.** All setbacks, buffers, open spaces, pervious surfaces, plazas, parks, site and building entrances, pedestrian walkways, service areas, and parking lots shall be landscaped with plant materials. Existing vegetation may be maintained and applied toward this

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

standard if the existing vegetation meets the landscaping requirements of this section, is healthy, and is likely to survive development. The requirements specified in [RZC 21.32, Landscaping](#), shall apply except to the extent that they conflict with landscaping practices appropriate to an urban center. In addition, supplemental landscaping requirements for Overlake Village are defined below.

- B. Plantings Along Streets.** At a minimum, planting strips along streets shall include street trees per the City's standards for type and species. Where space allows, planting areas should include other vegetation suitable for an urban setting. Tree planting pits on streets that include Furniture Zones per [RZC 21.12.150, OV Street Cross Sections](#), shall be covered with cast-iron tree grates of a type that meets ADA requirements.
- C. Open Space and Plazas.**
1. Plazas and common usable open spaces shall be landscaped to create visual interest by providing a variety of colors, heights, and forms of foliage; soften building edges; and reduce the impact of elements such as noise or wind.
  2. The quantity of trees, shrubs, and other plant materials shall be designed to meet the size and function of the plaza or open space.
- D. Zone 5 Buffers.**
1. Properties in Zone 5 shall provide a landscape buffer at least 20 feet in width along street frontages where any portion of the street bordering the development site borders a residential zone within a neighboring jurisdiction.
  2. The buffers shall be planted with the following materials:
    - a. Minimum of one tree per 200 square feet of buffer area. No more than 40 percent of trees may be deciduous.
    - b. Evergreen shrubs, a minimum of five gallon in size. The area covered by the shrubs shall equal at least one-third of the buffer frontage.
    - c. Groundcover plantings to cover the ground within three years.
    - d. Plant materials shall be drought tolerant and at least 50 percent native species by area.
    - e. Trees and other plant materials required by this section shall be located so that they effectively buffer the development from bordering residential properties. The buffer need not completely obscure the development; rather it should screen it.
  3. Up to 20 percent of the buffer area may be used for streets, driveways, utility crossings, trails, or ground level features such as patios. Other structures may not be placed in required buffers.
  4. Buffers may be counted towards required open space, required pervious surfaces, setbacks, and other requirements in the Use and Bulk Regulations that they meet.
  5. Buffers may include landscaped on-site stormwater management BMPs such as bioretention or rain gardens.

(Ord. 2858)

Effective on: 12/17/2016

### 21.12.140 OV Transitional Use Requirements

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- A. Purpose.** The purpose of this section is to provide for the transition of properties consistent with the adopted vision and plan for Overlake Village as a multistory mixed-use/residential urban neighborhood.



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This section is intended to ensure fairness to existing uses and property owners while also recognizing that the eventual redevelopment of these properties is consistent with and carries out the City's adopted goals, policies, and plans.

- B. Transitional uses indicated in the Use and Bulk Regulation Tables in RZC 21.12.040 (*OV Zone 1*), 21.12.050 (*OV Zone 2*), 21.12.060 (*OV Zone 3*), and 21.12.080 (*OV Zone 5*) shall:
1. Only be located within the building footprint existing on any property as of December 11, 2007;
  2. Not exceed 25,000 square feet gross floor area; and
  3. Together with other transitional uses on the property, not comprise more than 70 percent of the total floor area for the buildings existing on the property under the ownership of record as of December 11, 2007.
- C. The desirability of allowing transitional uses to continue shall be reviewed prior to December 12, 2012, and every five years after that, at a minimum, in order to determine whether allowing such uses to continue is compatible with the vision for Overlake. Unless City Council amends these regulations to prohibit transitional uses as the result of the review, the uses shall continue for an additional five years. If City Council amends these regulations to prohibit the transitional uses, all such uses with a Redmond business license located in Overlake Village zone at the time of the amendment shall become legal nonconforming uses. A transitional use located within Overlake Village zone that becomes a legal nonconforming use shall be allowed to expand consistent with the conditions outlined in (B) above. If a legal nonconforming use vacates the premises in which it is located, the use may be replaced by any other transitional use that was allowed by the code as adopted on December 11, 2007.

Effective on: 4/16/2011

### 21.12.150 OV Street Cross Sections

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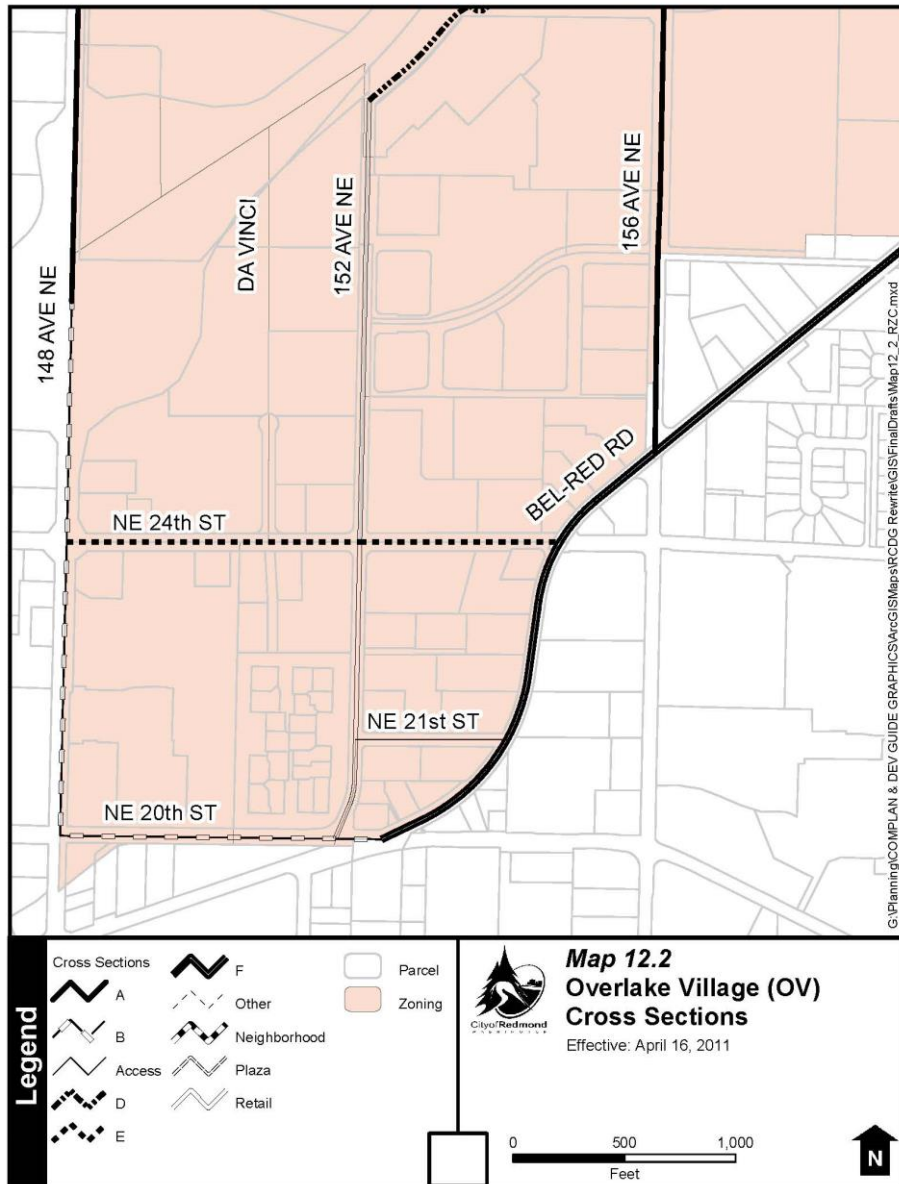
#### A. Guidelines for Application.

1. The Technical Committee shall review and approve each component of the street cross section on a project-by-project basis and has the authority to alter street cross section widths and uses, including utility locations.
2. Street cross section widths apply at the middle of the block.
  - a. The widths and existence of each component may vary at intersections, as determined by the Technical Committee.
  - b. Intersection design shall be based upon the Pedestrian System Plan, and Bicycle System Plan, and Design Guidance chapters of the Transportation Master Plan; the Bicycle Facilities Design Manual; the City's Construction Specifications and Design Standards for Streets and Access; and any corridor study adopted by the City Council for the street(s) in question.
3. Provisions of medians and left turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes and collision history, and using recognized engineering standards, such as those published by AASHTO, ITE, or other recognized authority.
4. Utilities, such as power, telephone, and cable, shall be placed under the sidewalk.
5. When designing multimodal corridors refer to the Modal Corridors section of Transportation Master Plan. Corridors shall support all modes.
6. Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable

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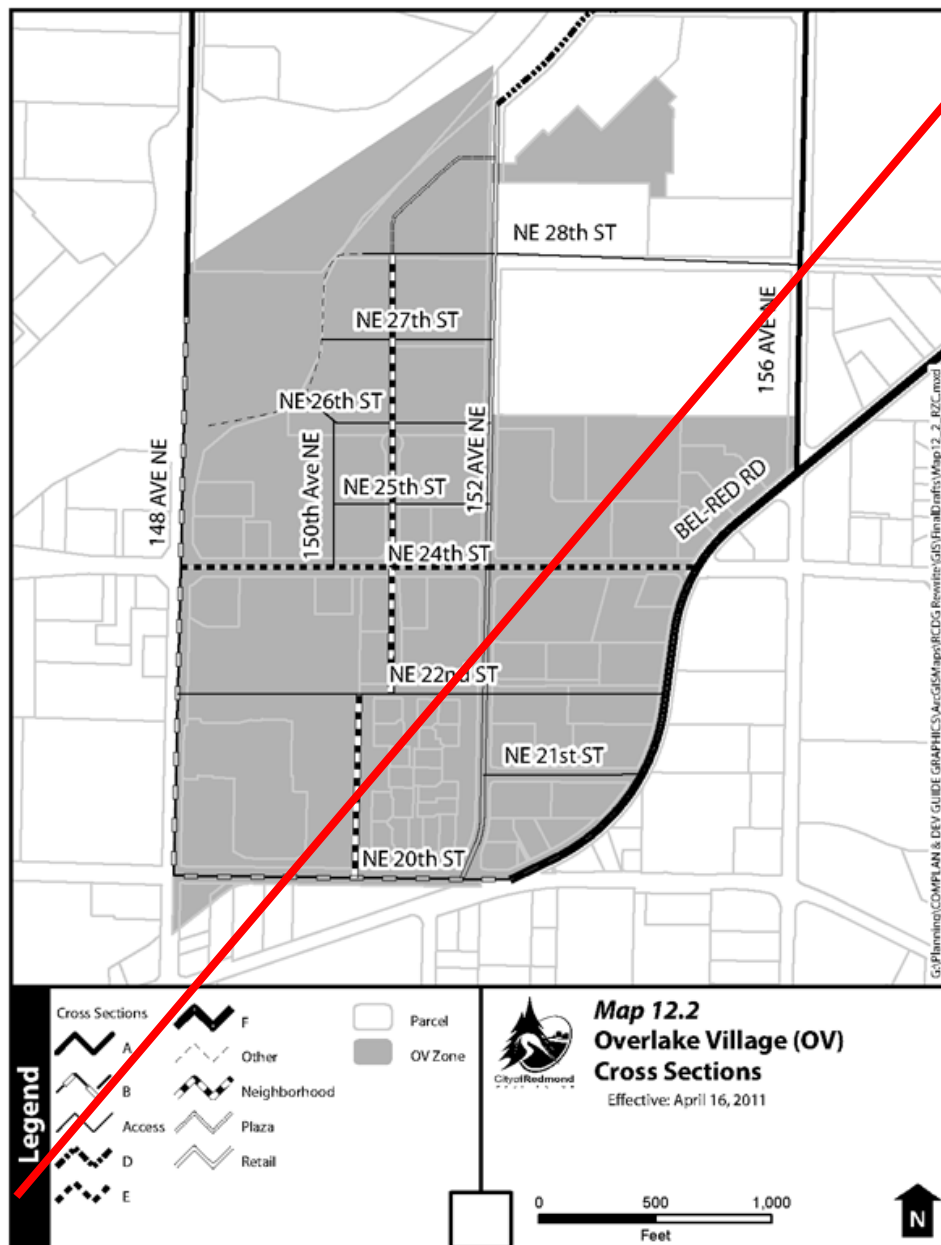
requirements are met. No other structures, including accessory structures, are permitted in setback areas.

**Figure 21.12.150A**  
**Overlake Village (OV) Cross Section**  
*(insert the following map)*



*(Repeal the following map)*





Note: Online users may click the map for a full-size version in PDF format.

## B. Site Requirements by Cross Section.

1. The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2, Overlake Village (OV) Cross Sections. Other street cross sections are described in the table in subsection (2) of this section.

Figure 21.12.150B  
Illustrative OV Cross Section

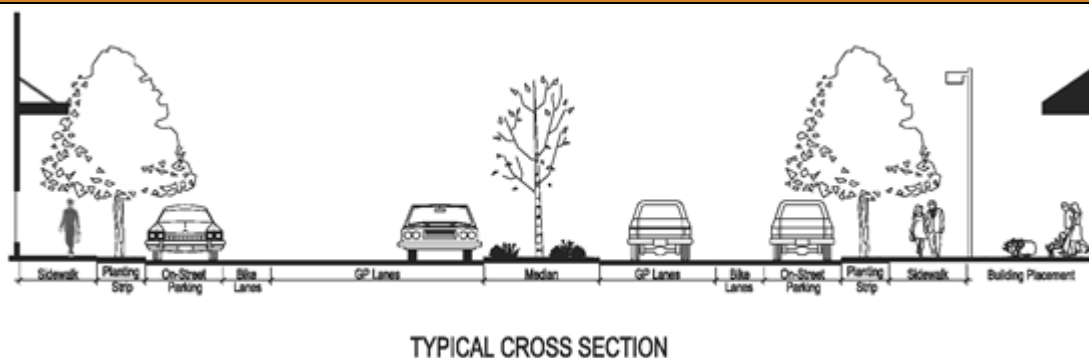


Table 21.12.150A  
Site Requirements by Cross Section

Standard	Cross Section			
	A	B	E	F
Right of Way Geometry				
Total right-of-way	90	86	82	89
Sidewalk	8 (SB/WB); 12 (NB/EB)	8 (Both Sides)	8 (Both Sides)	6 (Both Sides)
5-Foot Planting Strip or 4-Foot Furniture Zone with Tree Grates	5 (Both Sides)	5 (Both Sides)	5 (Both Sides)	5 (Both Sides)
On-Street Parking	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)
Bike Lane	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)	5.5 (Both Sides)
GP Lanes	24 (Both Sides)	24 (Both Sides)	22 (Both Sides)	22 (Both Sides)
Median / Two Way Left Turn Lane	12	12	12	12
Building Placement				
Build-To Line (Front and Side Street)	10	1	2	1
Setback Line (Side and Rear)	0	0	0	0
Building Use				
Ground Floor Uses	Residences prohibited. Offices or recreational areas associated with residential uses allowed.			
Notes				
Notes	A. Separate multiuse path parallel to corridor. B. Street section shared by Bellevue and Redmond. C. Outside GP lane 13 feet. Inside GP lane 11 feet.	Outside GP lane 13 feet. Inside GP lane 11 feet.		

3.

- The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2, Overlake Village (OV) Cross Sections. Other street cross sections are described in the table in subsection (1) of this section.

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<b>Table 21.12.150B</b> <b>Cross-Section Requirements for Other Streets</b>				
Street type	Total right-of-way (feet)	Description of Street	Ground Floor Uses	Notes
Retail street	100	This is an urban main street that is intended to be the linear core within Overlake Village and attract significant numbers of people to multiple activities. It is intended to include within the mix of uses at street level restaurants, retail, cultural and entertainment uses, personal services and similar businesses that are pedestrian oriented. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary, wide sidewalks, protected bikeways, and curbside parking.	uses required; residential uses prohibited.	Design details are located in Appendix 7 of the Redmond Zoning Code.
Neighborhood street	88	This street creates a green connection between the light rail station, Overlake Village open spaces, and the rest of the neighborhood. Street level uses are expected to include a mix of residential and pedestrian-oriented commercial uses. Key features of the street cross section include: one vehicle travel lane in each direction, wide sidewalks, bicycle lanes, urban pathway, and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Access street	75	These streets provide local access and areas for driveways and loading. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary, wide sidewalks, urban pathway and bicycle lanes (some segments), and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Plaza street	57	This street fronts the Overlake Village light rail station and is adjacent to a future public plaza. Key features of the street cross section include: one vehicle travel lane in each direction; pedestrian zones that blend with the plaza, street, and station, low vehicle speeds, and light rail passenger pick-up and drop-off opportunities.		Design details are located in Appendix 7 of the Redmond Zoning Code.

### C. Ground Floor Uses.

1. General Requirement. Ground floor uses are established in RZC 21.12.150.B, *Site Requirements by Cross Section*. This section establishes requirements regarding ground floor uses specified in the chart.
2. Pedestrian-Oriented Use Requirements. Where pedestrian-oriented ground floor uses are required, the following requirements must be met, in addition to the design requirements found in RZC [Article IV, Design Standards](#).
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous; and

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- b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
  3. In locations where ground floor residential units are permitted, either:
    - a. The units shall be set back a minimum of 10 feet from the back of the required setback zone, or
    - b. All living areas with windows shall be elevated above the street grade at least three feet.
    - c. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

(Ord. 2652; Ord. 2803)

Effective on: 10/17/2015

### 21.12.160 OV Urban Pathway

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- A. As properties are developed, corresponding portions of the urban pathway shown on Map 12.1, Overlake Village Subarea Map, shall be installed by the property owner/developer. In the event that the Technical Committee determines that installation should be delayed to accommodate a more comprehensive planned future improvement of the urban pathway, the property owner/developer shall pay the cost of the installation to the City in lieu of installation. In order to provide flexibility, the actual alignment shall be determined through the Site Plan Entitlement process.
- B. The improvements shall include a 12-foot-wide concrete path with eight feet of landscaping on both sides as part of a 28-foot corridor with pedestrian lighting and connections to existing or planned plazas or open spaces. The Technical Committee may approve alternatives to concrete if site or design conditions warrant. Where the pathway follows existing or planned streets or extends along retail storefronts, the corridor width may be reduced through the Site Plan Entitlement process.
- C. The landscaping shall include a combination of trees, shrubs and other plant materials to enhance visual interest and create a parklike quality along the pathway. A landscaping plan shall be submitted to and approved by the Technical Committee and may provide for varying types and quantities of landscaping along the pathway to provide compatibility with the adjoining land use. For example, the landscaping could include more shrubs and groundcover and fewer trees where visibility of retail storefronts is needed.

Effective on: 4/16/2011

### 21.12.170 OV Incentive Program

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- A. **Purpose.** The purpose of this section is to enhance the character and overall livability of Overlake Village. The incentive program does this by incentivizing features that implement neighborhood goals and respond to needs for public amenities, housing opportunities, and environmental sustainability. The incentive program reduces the cost of these features by allowing increased building height and floor area, as well as additional permitted uses. This section also indicates the City's priorities for provision of these desired features.
- B. **Features and Incentives.**
  1. Table 21.12.170A, *Priority Features and Incentives*, indicates high-priority features and maximum incentives available in each zone. Table 21.12.170B, *Additional Features and Incentives*, indicates additional bonus features and incentives. Following the tables, subsection D. explains the features in detail.

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2. In order for sites to qualify for development incentives the applicant must provide the applicable feature(s) described in Table 21.12.170A, *Priority Features and Incentives*.
3. An applicant may provide additional features from Table 21.12.170A or 21.12.170B to qualify for additional development incentives. The same land area may not be used to qualify for two bonus features. For example, an applicant whose site is shown for a major park on Map 12.1, *Overlake Village Subarea Map*, and who satisfies that requirement must provide additional space for an outdoor plaza in order to receive additional development incentives.

### C. Restrictions.

1. Features provided through this program for parks, stormwater facilities or plazas may not be counted toward satisfaction of the minimum usable open space requirements in RZC 21.12.120, *OV Residential Usable Open Space*.
2. Transfer of Development Rights may not be used to exceed the maximum building height allowed through this program.

**Table 21.12.170A**  
**Priority Features and Incentives**

	Priority Feature	Applicable Zones	Maximum Incentive Per Feature
1.	Regional Management Facility	1 and 3 as indicated on map	Three additional stories for all residential buildings in the development, Four additional stories for all commercial buildings in the development, Additional 1.5 FAR for residential uses, and Additional 0.19 FAR for commercial uses.
2.	Major Park	4	Three additional stories for all residential buildings in the development, Four additional stories for all commercial buildings in the development, Additional 1.5 FAR for residential uses, and Additional 0.15 FAR for commercial uses.
3.	Plaza Dedication	1, 2, 3, 4, 5	One additional story for 50 percent of the buildings in the development
4.	Plaza Improvement	1, 2, 3, 4, 5	One of the following: Additional 1.5 FAR for residential uses, or Additional 0.15 FAR for commercial and hotel uses, or One additional story for 50 percent of the buildings in the development, or Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.

**Table 21.12.170B**  
**Additional Features and Incentives**

	Additional Features	Applicable Zones	Maximum Incentive Per Feature
5.	Green Building or Development	1, 2, 3, 4, 5	One additional story for each building designed and constructed to meet the certification described in RZC 21.67, <i>Green Building and Green Infrastructure Incentive Program</i> (GBP), and Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.
6.	Residential Uses Above Minimum Required	1, 2, 3, 4	One additional story for all buildings in the development.
7.	Subterranean Parking	1, 2, 3, 4, 5	One additional story for all buildings in the development, Additional 1.5 FAR for residential uses, Additional 0.15 FAR for commercial uses, and

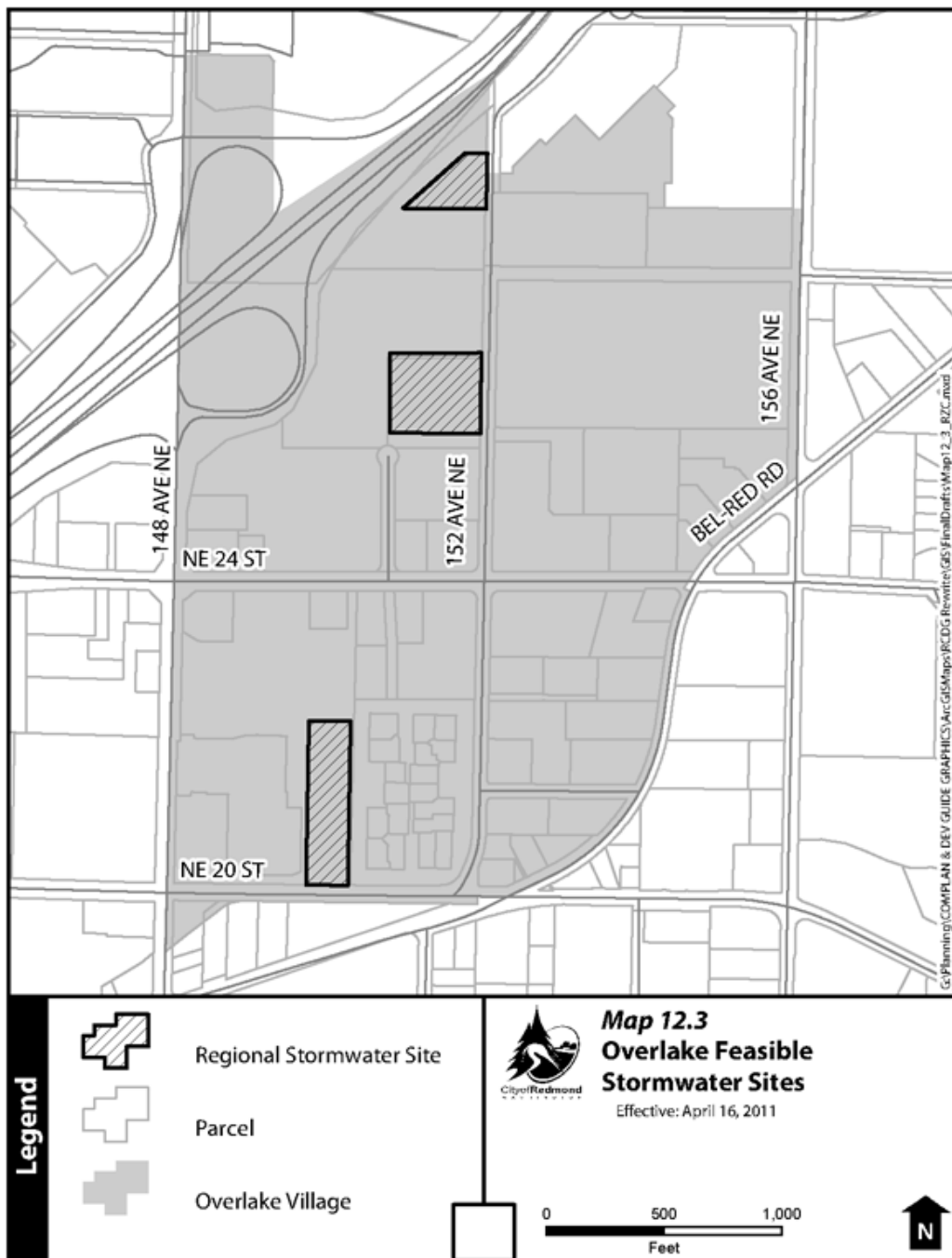
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			Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.
8.	Combination Subterranean and Wrapped Structured Parking	1, 2, 3, 4, 5	Select one of the incentives offered for Feature 7.
9.	Affordable Housing Above Minimum Required	1, 2, 3, 4, 5	Additional residential floor area at 2.5 times the equivalent floor area for each affordable unit provided above the minimum requirement of 10 percent of the total dwellings, up to a maximum total residential FAR of 3.75. The bonus residential floor area may be used to increase building height by up to one story.
10.	Hotel and conference center, full service	4	Two additional stories for hotel and conference center, full service buildings; and Additional .20 FAR for commercial development.
11.	Transit-Oriented Development	4	One additional story for commercial buildings and two additional stories for residential and full service hotel/conference center buildings; and Additional .25 FAR for commercial development; and Additional .75 FAR for residential development. Undeveloped transit-oriented development bonus FAR may be transferred from one site to another site that satisfies the criteria for the bonus.

### D. Features Explained.

1. Regional Stormwater Management Facility: Dedicate two to four acres of land to the City of Redmond for use as a regional stormwater management facility. Map 12.3, *Overlake Feasible Stormwater Sites*, indicates properties to which this provision applies.

**Map 12.3**  
**Overlake Feasible Stormwater Sites**



*Note: Online users may click the map for a full-size version in PDF format.*

D.

2. Major Park: Provide a minimum of 2.5 acres of land that is accessible and welcoming to the public as an urban park and open space.



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- a. May be in one or two open space areas, with one of the spaces a minimum of 1.5 acres in size to provide sufficient size for informal recreation. If provided in two areas, these spaces shall be contiguous or connected by a pathway which promotes a clear visual connection and relationship between the spaces. The pathway shall be designed at a minimum to meet the requirements of RZC 21.12.160, *OV Urban Pathway*. Visual connection may be achieved through proximity of the spaces or through enhanced design treatments along the pathway which enable pedestrians to readily perceive the connection between the spaces.
  - b. The intended character of the open space(s) is to:
    - i. Include a balance of open lawn and trees;
    - ii. Include hard surfaces, such as plazas, as well as soft surfaces, such as lawns;
    - iii. Provide a central gathering place and a place that can be programmed, such as for concerts;
    - iv. Include space for refuge as well as space for active recreation, such as small play areas;
    - v. Help serve needs for a variety of ages from children through seniors; and
    - vi. Be located either near 152nd Avenue NE or provide a clear connection to 152nd Avenue NE through at least one pathway.
  - c. The City and applicant shall establish an agreement regarding the design, funding, and timing for completion of improvements for this park. The completion of improvements for this park shall be commensurate with the progress on the construction of the development.
  - d. The space shall be dedicated to the City of Redmond or be subjected to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
3. Plaza Dedication. Provide a minimum of five percent of the gross site area, an equivalent fee-in-lieu based on fair market value, or a combination of land and fee for the purpose of providing space for an outdoor plaza.
  - a. The space shall be dedicated to the City of Redmond or be subject to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
  - b. The Technical Committee shall review and determine whether proposed sites qualify for plaza locations based on considerations including:
    - i. Consistency of the proposed location with the preferred vicinities shown in RZC 21.12.030, *OV Subarea Map*,
    - ii. The suitability of the proposed location for an outdoor plaza, and
    - iii. Opportunities to create an open space of greater value by locating this space in conjunction with other open spaces, such as those required in RZC 21.12.120, *OV Residential Usable Open Space*.
4. Plaza Improvement. Applicants may seek additional incentives for completion of plaza improvements to provide a space that is accessible and welcoming to the public. These applicants shall submit a plan which shows landscaping, lighting, seating, color and materials, relationship to building frontage, and relationship to and coordination with the pedestrian system, addressing at a minimum the design requirements specified in RZC 21.62.030.I, *Pedestrian Plazas and Open Spaces*. Proposed improvements shall be reviewed and approved by the Technical Committee.
5. Green Building or Development. Minimum of LEED Silver Certification, or comparable Built Green or other certification as determined by the Technical Committee.



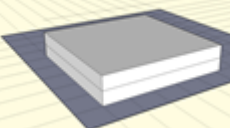
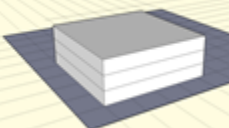
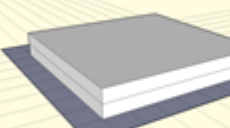
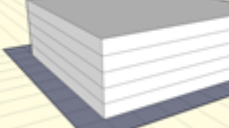
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6. Residential Uses Above Minimum Required. Provide and maintain at least 75 percent of the total gross floor area for the development in residential uses in Zones 1 and 4, and at least 50 percent in Zones 2 and 3.
7. Subterranean Parking. At least 60 percent of off-street parking for the development is located below the ground surface.
8. Combination Subterranean and Wrapped Structured Parking. At least 60 percent of off-street parking for the development is located in parking structures, some or all of which may be above-grade, provided above-grade parking structures do not have frontage on 152nd Avenue NE, 156th Avenue NE, public park space, or a public pedestrian pathway system, and have ground level retail or other pedestrian-oriented uses incorporated into the structure where it is adjacent to other public streets so that none of the parking structure fronts on the ground level in these areas. This bonus applies only in locations where this standard is not otherwise required by RZC 21.62.030.D, *Parking Garage Design*.
9. Affordable Housing Above Minimum Required. Provide a minimum of 20 percent of the total dwellings in the development as affordable as defined by, Definitions.
10. Hotel and Conference Center, Full Service. Include land area dedicated to a hotel and conference center, full service.
11. Transit-Oriented Development. Provide Transit-Oriented Development that:
  - a. Is located within 2,500 feet of a transit station or stop served by light rail, bus rapid transit, or other high-capacity transit service. The transit station or stop for the Transit-Oriented Development bonus may be in existence, or may be planned for construction, provided it is fully funded and is scheduled to be open for service within two years of the date of occupancy of the structure that utilizes the increase in FAR;
  - b. Will be connected with the transit station or stop by sidewalks, crosswalks, and/or pathways which afford convenient pedestrian access; and
  - c. Will include 1,000 or more residential units as a component of a mixed-use district.

**21.13.020 Northeast Design District**

A. **Purpose.** The purpose of the Northeast Design District is to create a transition from single-family residential areas in the south to industrial areas in the north and to provide opportunities for businesses that require larger footprints. The purpose is also to establish and maintain a transition from the urban development within the district to the rural areas east of the city limits. This will be accomplished by careful siting of buildings, vegetated buffers and park spaces, campus-like settings, and master planning. The performance zoning regulations in this chapter grant significant flexibility in terms of allowed uses while establishing district-specific design standards. Standards in this chapter emphasize transition from lower- to higher-intensity uses, creating neighborhood character and a sense of place through site and building design, and connecting this area to parks and regional trails located to the east. The Northeast Design District comprises three performance areas called **NDD1**, **NDD2**, and **NDD3**.

**B. Maximum Development Yield.**

Table 21.13.020A Maximum Development Yield						
Design District	Regulation	Base	Bonuses Available	Maximum	Illustrations	
NDD1	FAR	0.50	Required affordable housing: 0.05	0.55	Example of a 2-story building with FAR=0.50	Example of a 3-story building with FAR=0.55
	Height – residential	2 stories	Incentive program: 1 story	3 stories		
	Height – nonresidential		TDRs or GBP: 1 story Incentive program: 2 stories	4 stories		
NDD2 and NDD3	FAR	N/A	N/A	N/A	Example of 2-story building.	Example of 5-story building.
	Height	2 stories	3 stories	5 stories		

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### C. Allowed Uses and Basic Development Standards: NDD1.

Table 21.13.020B Allowed Uses and Basic Development Standards: NDD1			
Section	Use	Parking ratio: Unit of Measure (Min. required, Max. allowed)	Regulations
<b>Residential</b>			
1	Detached dwelling unit	Dwelling unit (2.0)	
2	Size-limited dwelling		
3	Cottage	Dwelling unit (1.5, 2.0)	See RZC 21.08.290, <i>Cottage Housing Developments</i> , for specific site development requirements and supplemental neighborhood regulations that may apply. No density bonus applies because total development is governed by FAR.
4	Accessory dwelling unit (ADU)	ADU (1.0)	See RZC 21.08.220, <i>Accessory Dwelling Units</i> , for specific regulations that may apply.
5	Attached dwelling unit, 2-4 units	Dwelling unit (2.0)	See RZC 21.08.260, <i>Attached Dwelling Units</i> , for specific regulations related to design, review and decision procedures, and affordable housing exceptions.
6	Manufactured home		See RZC 21.08.320, <i>Designated Manufactured Homes, Manufactured Homes, and Mobile Homes</i> , for specific regulations that may apply.
7	Multifamily structure	Studio dwelling unit (1.0) 1-bedroom dwelling unit (1.25) 2-bedroom dwelling unit (1.5) 3+-bedroom dwelling unit (1.75)	
8	Housing services for the elderly	See Special Regulations.	<p>A. Retirement residences are permitted through a subdivision or binding site plan with a maximum of 16 retirement residence units per acre. Without a subdivision or binding site plan, a Conditional Use Permit is required. See RZC 21.08.360, <i>Retirement Residences</i>, for specific regulations which may apply.</p> <p>B. A Conditional Use Permit is required for Residential Care Facilities.</p> <p>C. A Conditional Use Permit is required for Long-Term Care Facilities.</p> <p>D. Parking requirements are as follows:</p> <p>E.</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: four patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>E. For retirement residences, a Traffic Mitigation Plan is required. See RZC 21.08.370.C.3.b.iii</p>
9	Adult family home	Dwelling unit (2.0)	
<b>Arts, Education, and Recreation</b>			
10	Community indoor recreation	Adequate to accommodate peak use	Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.
11	Parks, open space, trails, and gardens	1,000 sq ft gfa (0, adequate to accommodate peak use)	Permitted if public or noncommercial. A Conditional Use Permit is required for commercial facilities.
<b>Transportation, Communication, Information, and Utilities</b>			
12	Local utilities	Adequate to accommodate peak use	
13	Regional utilities		A Conditional Use Permit is required.

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14	Antenna support structures		A. A Conditional Use Permit is required. See RZC <a href="#">21.76.070.K</a> , <i>Conditional Use Permit</i> . B. See <a href="#">RZC 21.56</a> , <i>Wireless Communication Facilities</i> , for specific development requirements.
15	Large satellite dish	N/A	See <a href="#">RZC 21.56</a> , <i>Wireless Communication Facilities</i> , for specific development requirements.
16	Amateur radio tower		
17	Antenna array and base station		A Conditional Use Permit may be required; see <a href="#">RZC 21.56</a> , <i>Wireless Communication Facilities</i> , for specific development requirements.
Education, Public Administration, Health Care, and Other Institutions			
18	Family day care provider	Vehicle used by the business (1.0)	Family day care providers are permitted as home businesses. See RZC <a href="#">21.08.340</a> , <i>Home Business</i> , for specific regulations that may apply.
Other			
19	Home business	Vehicle used by the business (1.0)	See RZC <a href="#">21.08.340</a> , <i>Home Business</i> , for specific regulations that may apply.
20	Roadside produce stand	N/A	

### D. Regulations Common to All Uses: NDD1.

Table 21.13.020C Regulations Common to All Uses: NDD1				
	Regulation	Standard	Exceptions	
Minimum	Setbacks Residential			
	Front	10 feet		
	Side/Interior	5 feet		
	Side street	10 feet		
	Rear	10 feet		
	Alley	4 feet		
	Setbacks Nonresidential			
		15 feet from streets. 15 feet from property lines abutting properties with <a href="#">residential uses</a> . All other setbacks determined through required master planning process.		
	Landscaping	40%		Ecological score of at least 30 required.
Maximum	<a href="#">Lot coverage</a> by structures	55%		
	Height - residential	2 stories	Up to 3 stories with incentives.	
	Height - nonresidential	2 stories	Up to 4 stories with incentives.	
	FAR	0.50	Must achieve 140-170 units in NDD1 through <a href="#">master plan</a> .	
	Impervious surface area	70%	Nonpollution-generating impervious surfaces <a href="#">shall</a> be infiltrated to the extent <a href="#">feasible</a> .	
	Notification special requirements		The notice requirements of RZC <a href="#">21.08.380</a> , <i>Special Requirements – Residential Land Adjacent to BP, MP, NDD2, NDD3, and I Zones</i> , apply.	

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	Groundwater Intrusion	Permanent intrusion of parking garages, basements, elevator pits, or similar structures into <a href="#">groundwater</a> is prohibited. Note: foundations, auger cast piles, <a href="#">utilities</a> , and similar structures that do not require dewatering are permitted.	
	Truck Traffic	See RZC <a href="#">21.50.040</a> and RMC 10.76.050	
	Drive-through	Drive-through facilities are prohibited except where expressly permitted elsewhere in this section.	

### E. Allowed Uses and Basic Development Standards: NDD2 and NDD3.

Table 21.13.020D Allowed Uses and Basic Development Standards: NDD2 and NDD3			
Section	Use	Parking ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
General Sales or Services			
1	General sales or service	1,000 sq ft gfa (4.0, 5.0)	<p>A. Limited to 5% of site gross floor area.</p> <p>B. For pet and animal sales and service:</p> <p>C.</p> <ol style="list-style-type: none"> <li>Boarding and training facilities must be located inside of a structure.</li> </ol> <p>C. For animal kennel/shelter:</p> <ol style="list-style-type: none"> <li>Boarding facilities must be located inside of a structure.</li> <li>Outdoor runs or yards are allowed for the purpose of exercising animals. Runs/yards must be enclosed by eight-foot-high walls of sound-attenuating fencing or material such as masonry or concrete.</li> <li>The planned maximum number of animals to be sheltered shall be indicated on the application. The maximum may be reduced if the applicant cannot demonstrate that the development has adequate lot size and facility design to accommodate the planned number of animals in a way that ensures neighboring residential properties will not be impacted with noise or odor problems.</li> </ol>
Manufacturing and Wholesale Trade			
2	Manufacturing and wholesale trade	1,000 sq ft gfa (2.0, 3.0)	
Transportation, Communication, Information, and Utilities			
3	Transportation, communication, information, and utilities	1,000 sq ft gfa (2.0, 3.0)	<p>A. Heliports and float plane facilities prohibited.</p> <p>B. Hazardous waste treatment and storage, primary:</p> <ol style="list-style-type: none"> <li>Prohibited within 1,000 feet of NDD1.</li> <li>Otherwise, a Conditional Use Permit required.</li> </ol> <p>C. A Conditional Use Permit may be required for antenna array and base station and for antenna support structures; see <a href="#">RZC 21.56</a>, <i>Wireless Communication Facilities</i>, for specific development requirements.</p>
4	Automobile parking facility	N/A	Automobile parking facilities prohibited within 500 feet of NDD1.

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Arts, Entertainment, and Recreation			
5	Arts, entertainment, and recreation	Adequate to accommodate peak use	Limited to 15% of site gross floor area. Prohibited within 500 feet of NDD1.
6	Natural and other recreational parks	1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and Other Institutions			
7	Education, public administration, health care, and other institutions	Adequate to accommodate peak use	<p>A. Limited to 5% of site gross floor area.</p> <p>B. For religious institutions:</p> <p>C.</p> <ol style="list-style-type: none"> <li>1. A seat is one fixed seat, or 18 inches on a pew or bench, or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments.</li> <li>2. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>4. Off-site parking in residential zones is allowed only with a shared parking agreement with an existing institutional use, such as a school.</li> <li>5. A Traffic Mitigation Plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> <li>6. Steeples, bell towers, crosses, or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>7. Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons, is 60 feet.</li> <li>8. Institutions with a seating capacity greater than 750 seats shall: require a traffic study or other documentation deemed suitable by the Technical Committee that demonstrates that there will be no significant adverse impacts to traffic operations on the adjacent street system; have a maximum building height of five stories; be set back five additional feet for every one foot in building height over 45 feet exclusive of rooftop symbolic icons; not contain accessory or stand-alone parking facilities; not contain primary or secondary schools; and shall require a Conditional Use Permit. See <a href="#">RZC 21.76.070.K, Conditional Use Permit</a>.</li> <li>9. Institutions with a seating capacity greater than 7,500 seats shall be located adjacent to at least one collector, minor, or principal arterial.</li> </ol>
Construction-Related Businesses			
8	Construction-related businesses	1,000 sq ft gfa (2.0, 3.0)	
Other			
9	Crop Production	N/A	
10	Roadside produce stand		A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
11	Kiosk		

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12	Vending cart		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>
13	Drive-up stand		<p>A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</p> <p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p> <p>F. Must submit circulation plan addressing queuing.</p>

### F. Regulations Common to All Uses: NDD2 and NDD3.

Table 21.13.020E Regulations Common to All Uses: NDD2 and NDD3			
	Regulation	Standard	
Minimum	Setbacks		
		30 feet from arterials.	
		250 feet from NDD1 boundary.	
		All other setbacks determined through required master planning process.	
	Landscaping	40%	
Maximum	Height	2 stories	Up to 5 stories with incentives
	Impervious surface area	70%	Nonpollution-generating impervious surfaces shall be infiltrated to the extent feasible.
	Groundwater Intrusion	Permanent intrusion of parking garages, basements, elevator pits, or similar structures into groundwater is prohibited. Note: foundations, auger cast piles, utilities, and similar structures that do not require dewatering are permitted.	
	Noise	See RMC 6.36.	<p>A. NDD2 is a Class B zone.</p> <p>B. NDD3 is a Class C zone.</p>
	Truck Traffic	See RZC 21.50.040 and RMC 10.76.050	
	Drive-through	Drive-through facilities are prohibited except where expressly permitted elsewhere in this section.	

### G. Design Standards.

1. Purpose. The purpose of this section is to establish design criteria for properties in the Northeast Design District that will guide development to be attractive in appearance and functionally

## **Amendments to Redmond Zoning Code – Periodic (2018) Cleanup**

integrated, and to promote a transition from less intense to more intense uses moving from south to north.

### **2. Development Along East Edge of Design District.**

3.

a. Intent. The east edge of the Design District is also the east edge of the city and/or the urban growth area. It is where urban gives way to rural. Development in this area should emphasize that transition through site and building design.

b. Design criteria.

i. Common open spaces shall be oriented toward the city limit in order to provide views and opportunities to enjoy the rural area.

ii. No more than 50% of the city limit line, within a distance of 50 feet from the city limit line, shall be fronted with a building so as not to create a wall of buildings along the city limit line.

iii. No building shall be taller than two stories within 30 feet of the city limit.

### **3. Development Along North Edge of Woodbridge.**

a. Intent. The north section of Woodbridge is a single-family area and development immediately to the north of Woodbridge should create a gradual transition to more intense uses.

b. Design criteria.

i. No building shall be taller than two stories within 100 feet of the north edge of Woodbridge.

### **4. Transition from Less Intensive to More Intensive Uses.**

5.

a. Intent. The Northeast Design District is intended to facilitate a transition from less intensive to more intensive uses moving from south to north. Development in both NDD1 and NDD2 should avoid direct lines of sight between NDD1 and NDD2.

b. Design criteria.

i. Structures shall be designed to minimize views from NDD1 into NDD2 and instead orient views from NDD1 to the rural area, parks, areas internal to NDD1, or to other residential areas to the south.

ii. Landscaping shall be designed and located to minimize views between NDD1 and NDD2, with Type I plantings used to screen industrial or commercial uses within 1,000 feet of NDD1. Landscaping shall be tiered and multistoried and shall have the effect of creating a visual buffer between NDD1 and NDD2.

iii. Internal circulation shall be designed to minimize views between NDD1 and NDD2. For example, avoid long, straight sections of roadway.

iv. In areas of NDD2 that are within 1,000 feet of NDD1, internal vehicle circulation systems shall be screened with Type I plantings that are at least five feet wide.

### **5. Create a Sense of Place and Neighborhood Character.**

6.



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- a. Intent. Development in the Northeast Design District should create a sense of place and neighborhood character so that it is attractive to people who live or work there.
- b. Design Criteria.
  - i. Developments shall primarily rely on pedestrian-scale lighting in areas of pedestrian circulation.
  - ii. Developments shall incorporate benches along internal circulation paths.
  - iii. Residential and nonresidential developments that provide common open space or pocket parks shall design such spaces to be attractive for recreation for people of all ages.

### H. Incentive Program.

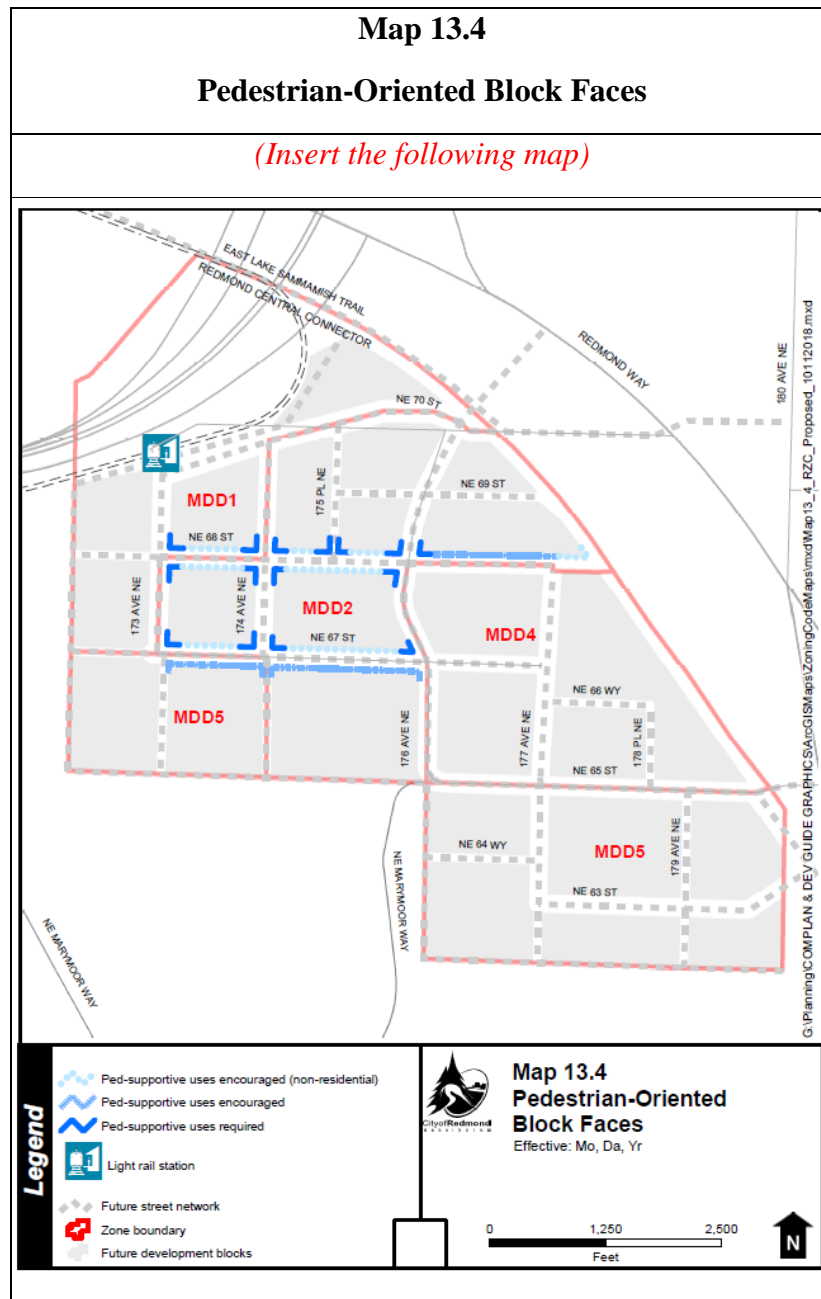
Table 21.13.020F Incentive Program		
	Applicable Performance Areas	Maximum Incentive
Reduce impervious surface area to 60%.	NDD1	1 additional story
Increase ecological score to 46 by incorporating items <del>18 or 19, 6 or 20, and 7, 13 and 17.</del> <u>13 or 14, 6 or 15, 7, and 12.</u>	NDD1	1 additional story
Additional buffering	NDD2 and NDD3	1 additional story
Structured parking	NDD2 and NDD3	1 additional story
Reduce impervious surface area to 60%	NDD2 and NDD3	1 additional story
Stormwater pond land dedication	NDD2 and NDD3	3 additional stories, depending on amount of land provided.

*Maximum height with incentives: 3 stories (NDD1 - residential), 4 stories (NDD1 - nonresidential), 5 stories (NDD2 and NDD3)*

1. Features Explained.
2.
  - a. Reduce impervious surface area to 60%: design the site to reduce total impervious surface area to 60%.
  - b. Increase ecological score to 46 by incorporating items ~~18 or 19, 6 or 20, and 7, 13 and 17~~ 13 or 14, 6 or 15, 7, and 12: incorporate green roofs or landscaped roofs, additional replacement trees or canopy-forming trees, and vegetated walls, and land for community food gardens ~~and previous paving for nonpollution-generating impervious surfaces~~, according to the standards described in RZC 21.32.060, *Ecological Score Requirements*.
  - c. Additional buffering: place buildings and any parking structures at least 300 feet from the NDD1 boundary.
  - d. Structured parking: provide at least half of all required parking in a parking structure rather than a surface lot.
  - e. Stormwater pond land dedication: dedicate at least one-half acre of land for a stormwater pond. A development earns one additional allowed story for all buildings on the development site for each half-acre of land dedicated. The dedicated land shall be consistent with the needs identified in the Southeast Redmond Regional Stormwater Facilities Plan or its successor.

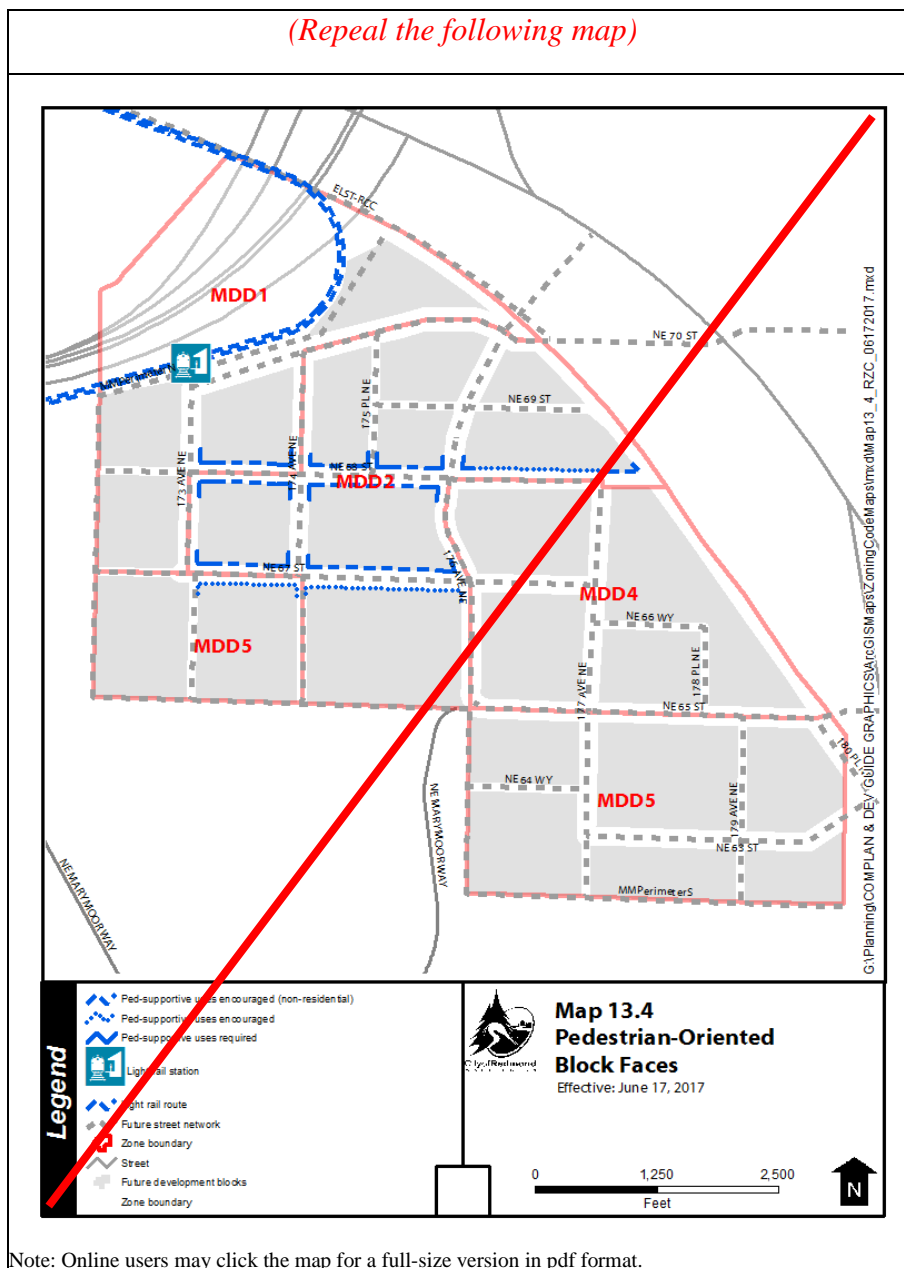
### 21.13.140 MDD Building Placement and Form

The map below shows which block faces require or encourage pedestrian-oriented uses. Where not specified, pedestrian-oriented uses are permitted provided they are listed in the allowed uses table for the zone.

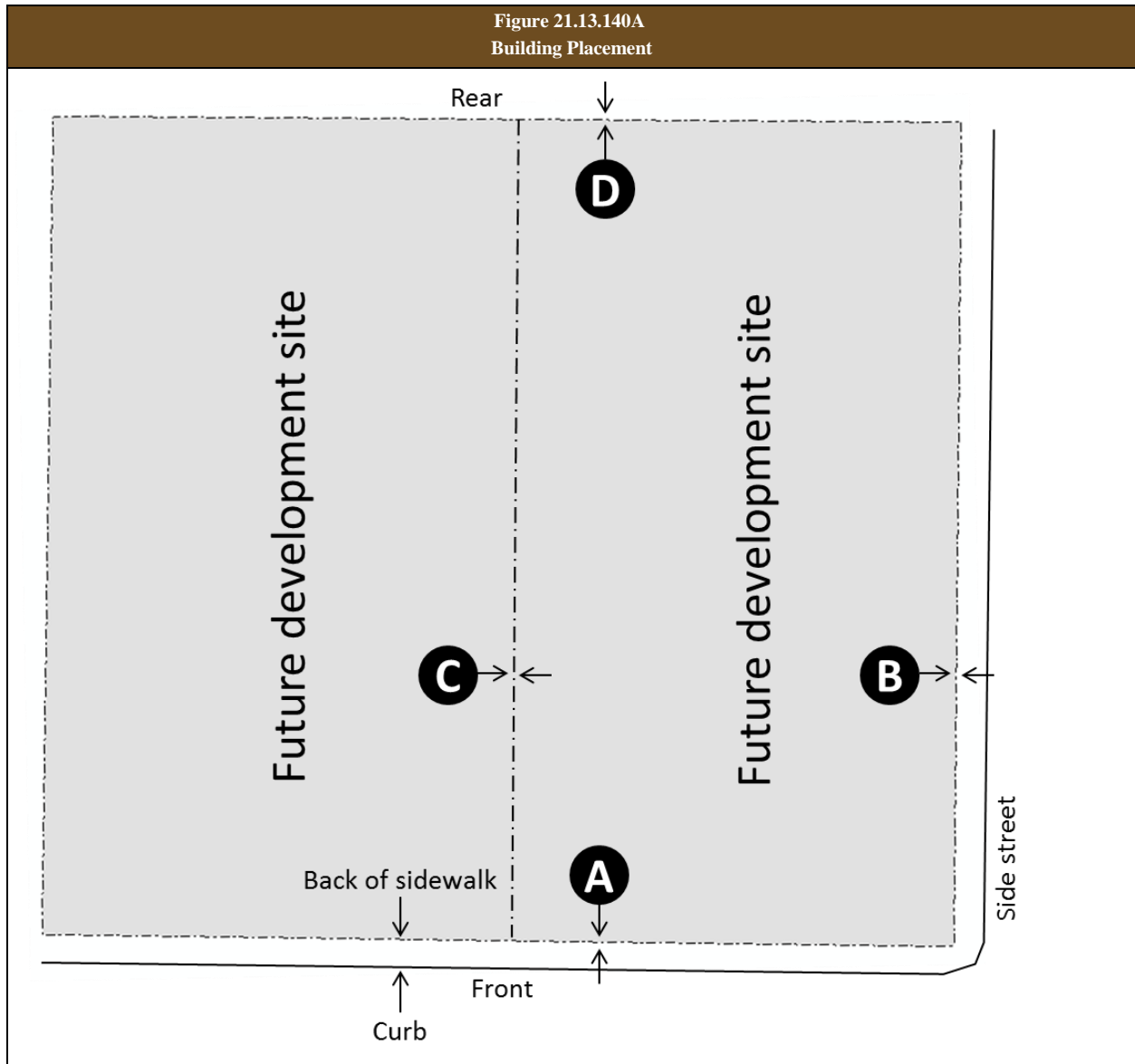


## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

*(Repeal the following map)*



Note: Online users may click the map for a full-size version in pdf format.

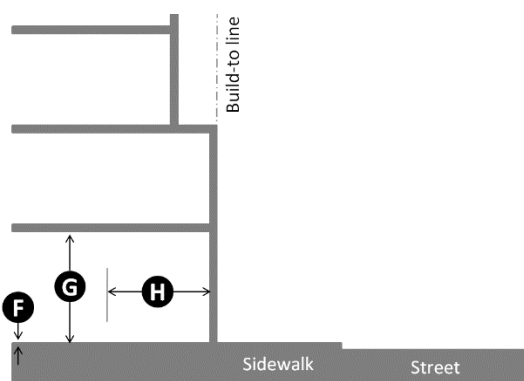
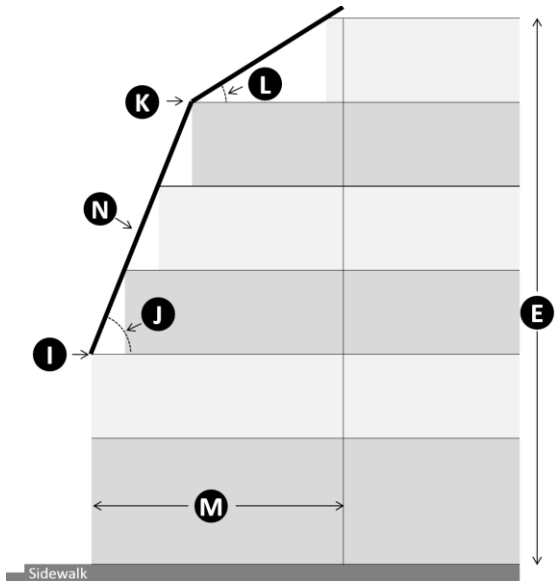


**Table 21.13.140A**  
**Building Placement**

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

	MDD1 and MDD2	MDD3	MDD4	MDD5
Build-to lines and setbacks	<p><b>A</b> and <b>B</b></p> <ul style="list-style-type: none"> <li>• Build-to line (BTL): 0 ft</li> <li>• BTL defined by façade on pedestrian-supportive block faces: min. 80%</li> <li>• BTL defined by façade on other block faces: min. 50%</li> </ul> <p><b>C</b> and <b>D</b></p> <p>Min. setback: 0 ft.</p> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p>Minimum setbacks:</p> <ul style="list-style-type: none"> <li>• Front: 15 ft</li> <li>• Side / interior: 5 ft</li> <li>• Side street: 10 ft</li> <li>• Rear: 10 ft</li> <li>• Alley: 4ft</li> </ul>	<p><b>A</b></p> <p>Min. setback: 30 ft</p> <p><b>B, C, D</b></p> <p>Min. setbacks: 10 ft</p> <p>NE 68th St:</p> <ul style="list-style-type: none"> <li>• BTL: 0 ft</li> <li>• BTL defined by façade: 50%</li> </ul> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p><b>A</b></p> <ul style="list-style-type: none"> <li>• Façade zone: 5-15 ft</li> <li>• Min façade within zone: 50%</li> <li>• Buildings fronting NE 65th St shall measure setback from back of landscape strip</li> </ul> <p><b>B</b></p> <p>Façade zone: 5-15 ft</p> <p>Min façade within zone: 50%</p> <p><b>C</b></p> <p>Min. setback: 5 ft; no minimum if abutting uses are both residential or both non-residential</p> <p><b>D</b></p> <p>Min. setback: 10 ft</p> <p>Alley setback: 4 ft minimum</p> <p>Park</p> <ul style="list-style-type: none"> <li>• Façade zone: 15-25 ft from back of perimeter path shoulder</li> <li>• Min façade within zone: 50% (assumes 12-ft shared-use path along park edge)</li> </ul>
Structures in required setbacks	Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.			
Orientation				

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward pedestrian-oriented block faces; where the building abuts no pedestrian-oriented block face the building front shall face the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward 180th PI NE</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Primary building fronts shall be oriented toward: blocks 1-2: NE 67th St; blocks 3-8: 177th Ave NE or NE 63rd St</li><li>• Secondary building fronts shall be oriented toward: blocks 1-2: Marymoor Park; blocks 3, 4, 6, 8: Marymoor Park; blocks 5, 7: NE 65th St</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li><li>• See Map 13.1 Marymoor Design District Map for block locations</li></ul>	
Figure 21.13.140B Ground Floor Requirements			Figure 21.13.140C Upper-story Setbacks		
					
Table 21.13.140B Building Form					
	MDD1	MDD2	MDD3	MDD4	MDD5
Maximum Height <b>E</b>	6 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories	5 stories	4 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )

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Upper-story Setbacks	See <a href="#">21.13.140.A</a> , <i>Upper-story Setbacks</i>		No standard		See <a href="#">21.13.140.A</a> , <i>Upper-story Setbacks</i>
Ground floor finish level <b>F</b>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street, except as noted in <a href="#">RZC 21.13.140.B</a>, <i>Ground Floor Uses</i></li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	No standard		<ul style="list-style-type: none"> <li>Residential ground-floor use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential ground-floor use: maximum 6" above sidewalk grade</li> </ul>
Ground floor height (floor to floor) <b>G</b>	Non-residential use: minimum 15 feet	Non-residential use: minimum 15 feet, except as noted in <a href="#">RZC 21.13.140.B</a> , <i>Ground Floor Uses</i>	No standard		Non-residential use: minimum 15 feet
Ground floor uses	<ul style="list-style-type: none"> <li>Residential uses prohibited where pedestrian-oriented uses are encouraged or required</li> <li>Pedestrian-oriented uses encouraged as part of any light rail station plaza development to activate the plaza</li> </ul>	Residential uses prohibited where pedestrian-oriented uses are encouraged or required, except as noted in <a href="#">RZC 21.13.140.B</a> , <i>Ground Floor Uses</i>	No standard		
Maximum distance between ground-floor non-residential entries	50 ft		No standard		50 ft
Minimum ground floor non-residential depth <b>H</b>	20 ft		No standard		20 ft
Residential privacy	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply.	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply. The residential space designed for future conversion to pedestrian-oriented uses is exempt from this subsection.	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply.	No standard	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply.

**A. Upper-story setbacks.** All building faces facing a street or path shall integrate average minimum upper-story building setbacks to reduce the perceived scale of building facades, increase the amount of light and air to adjacent streets and paths, promote modulation of building façades that adds variety and

## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup

provides visual interest, encourage the integration of courtyards and open space; and allow for flexibility in the design of buildings.

1. The average minimum upper-story building setbacks shall comply with the following:
  - a. From the roof edge of the second story **J**, buildings shall step back at a 68-degree angle **J** up to the roof of the top story of fifth story **K**, whichever is lower.
  - b. From the roof edge of the fifth story **K**, buildings shall step back at a 32-degree angle **L** up to the maximum height limit.
2. Calculations for determining compliance with these standards shall consider the development's first 30 feet of depth **M** along streets and paths.
3. Portions of building may project beyond the average setback **N** provided the block frontage as a whole complies with the minimum average.

### B. Ground floor uses.

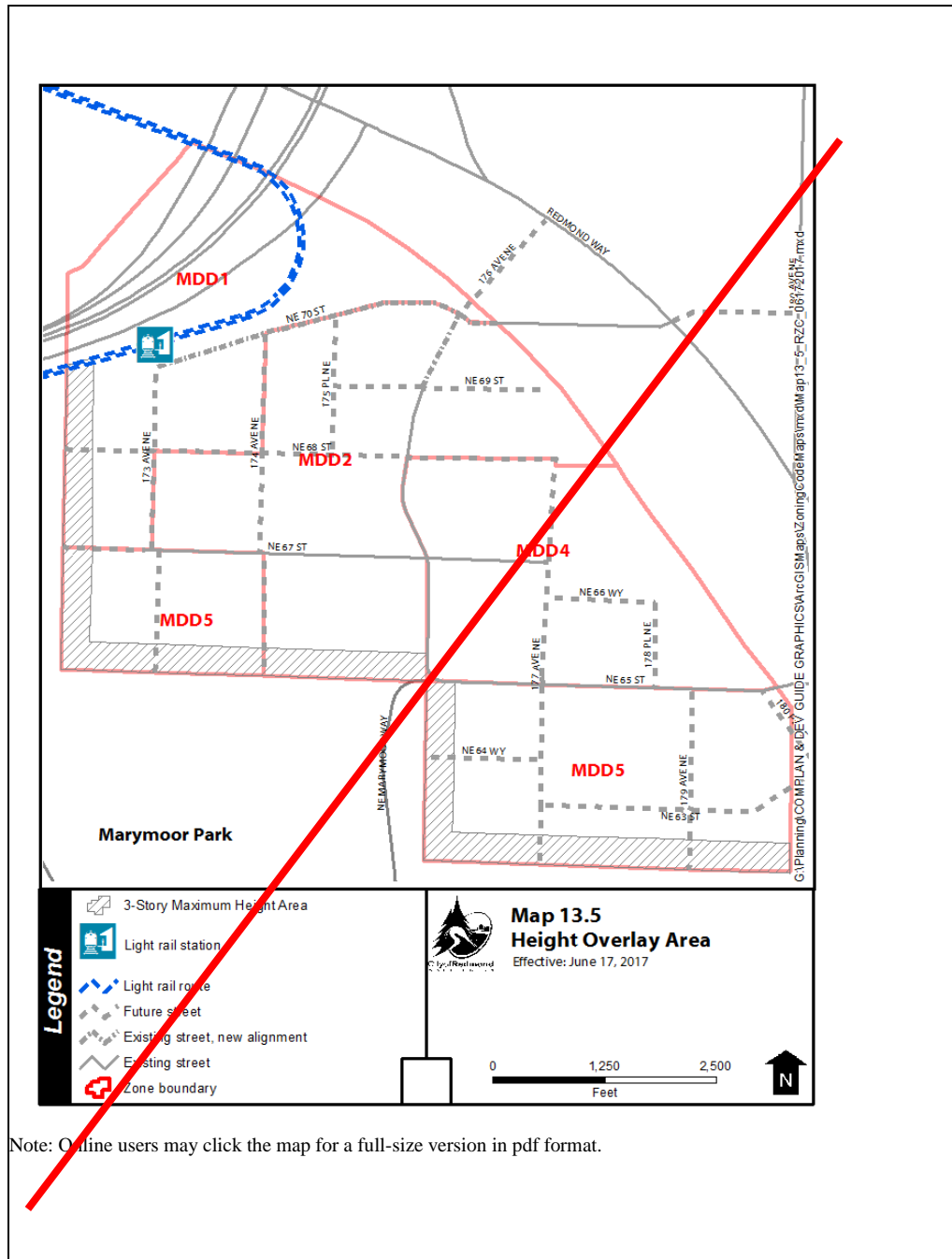
1. Where pedestrian-oriented ground floor uses are required as shown in Map 13.4, *Pedestrian-Oriented Block Faces*, the following requirements must be met, in addition to the design requirements found in RZC [Article IV, Design Standards](#).
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
2. Where pedestrian-oriented (non-residential) ground floor uses are encouraged, 100 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential uses are permitted.
3. Where pedestrian-oriented uses are encouraged, a minimum of 50 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses and shall be designed at a maximum of 6 inches above sidewalk grade. Residential uses are permitted. The ground-floor height standard of 15 feet does not apply in this area.
4. In locations where ground floor residential uses are permitted, the units shall be set back a minimum of 10 feet from the sidewalk edge. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.



*(Insert the following map)*



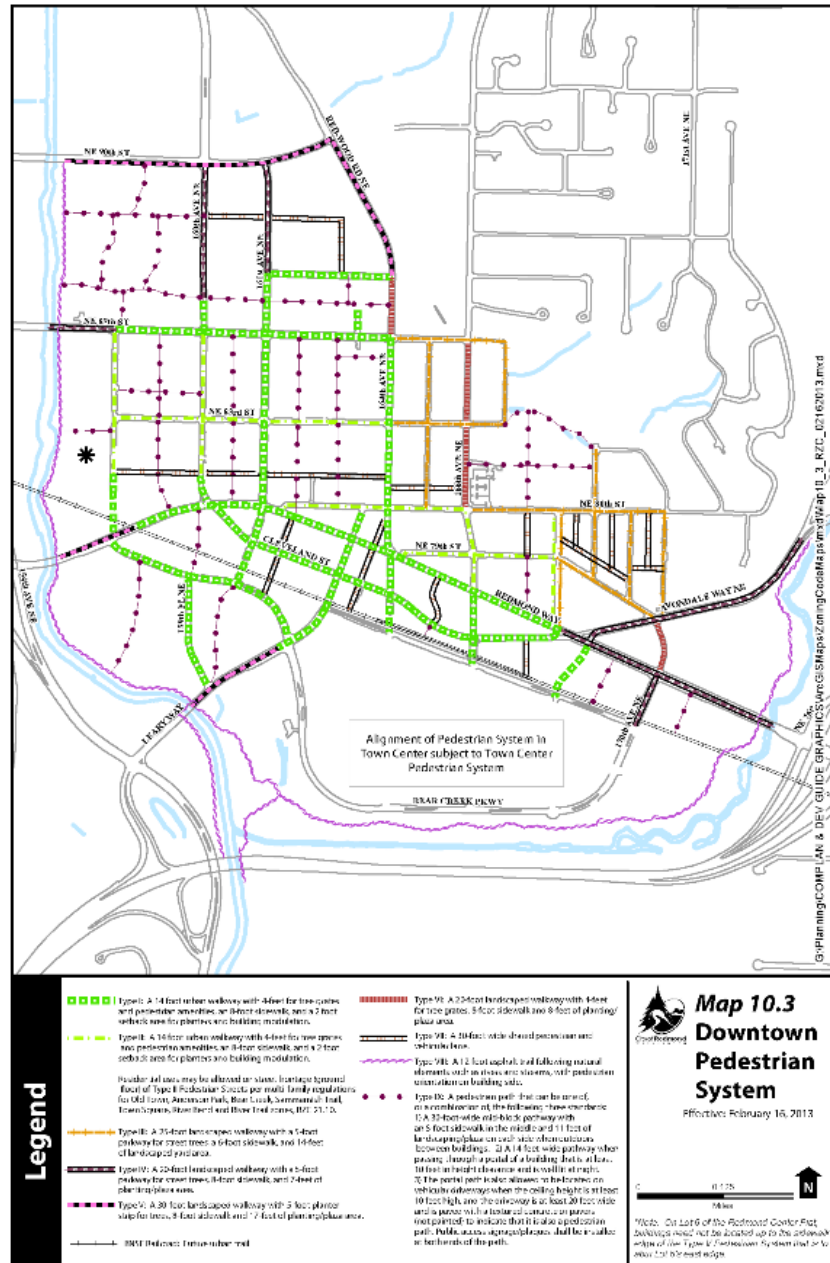
## Amendments to Redmond Zoning Code – Periodic (2018) Cleanup



### **RZC 21.10.150 Pedestrian System**

- A. Purpose. The purpose of the Downtown pedestrian system is to:
1. Provide safe pedestrian routes removed from traffic;
  2. Enhance the appearance of buildings and their settings;
  3. Provide a unified design element to complement varying architectural styles;
  4. Soften the appearance of parking lots and service storage areas; and
  5. Provide for the planting of street trees and other vegetation appropriate for an urban setting.
- B. Installation of Pedestrian System. The various components of the pedestrian system are shown on Map 10.3, Downtown Pedestrian System; the tables and graphics included in RZC 21.10.150.C, Pedestrian System Description; Map 10.4, Town Center Pedestrian System; and the table in RZC 21.10.150.O, Downtown Streets Cross Sections, all of which are incorporated as a part of this section. As property is developed or redeveloped, corresponding portions of the systems shall be installed or otherwise provided for by the property owner/developer. The ~~setback zone front-yard-distance~~ specifies the minimum ~~distance front-yard-setback~~ measured from the back of sidewalk. Where the ~~setback zone front-yard-distance~~ is specified as zero feet, the building shall be built to the back of the sidewalk. The mid-block segments shown on the map represent desired connections between blocks. In order to provide flexibility, the actual alignment shall be determined through the site plan land use permit process.

## Map 10.3 Downtown Pedestrian System

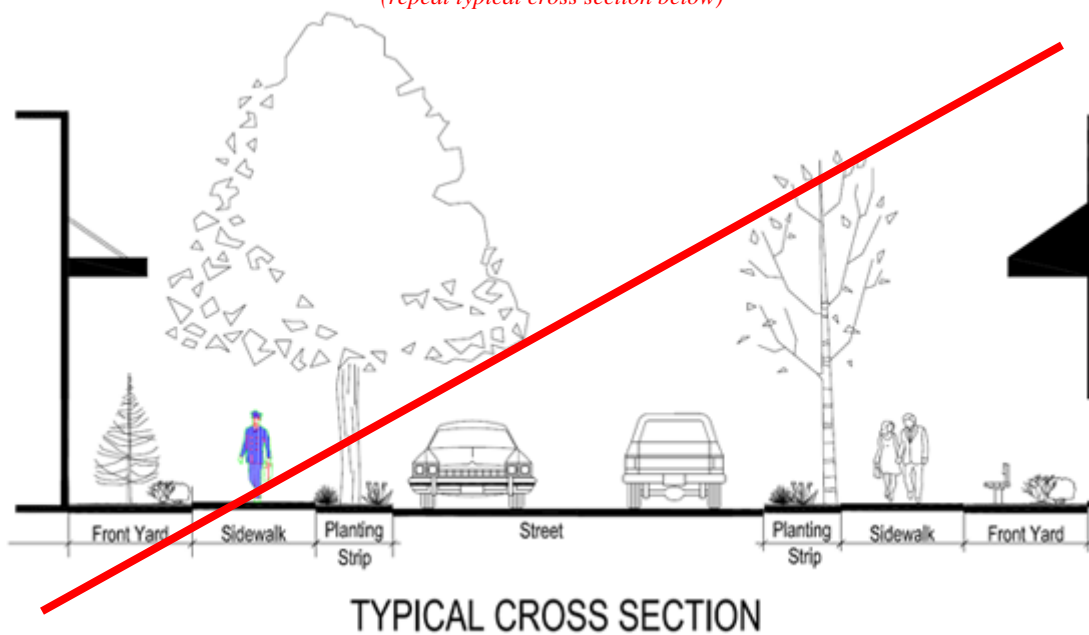


Note: Online users may click the map for a full-size version in PDF format.

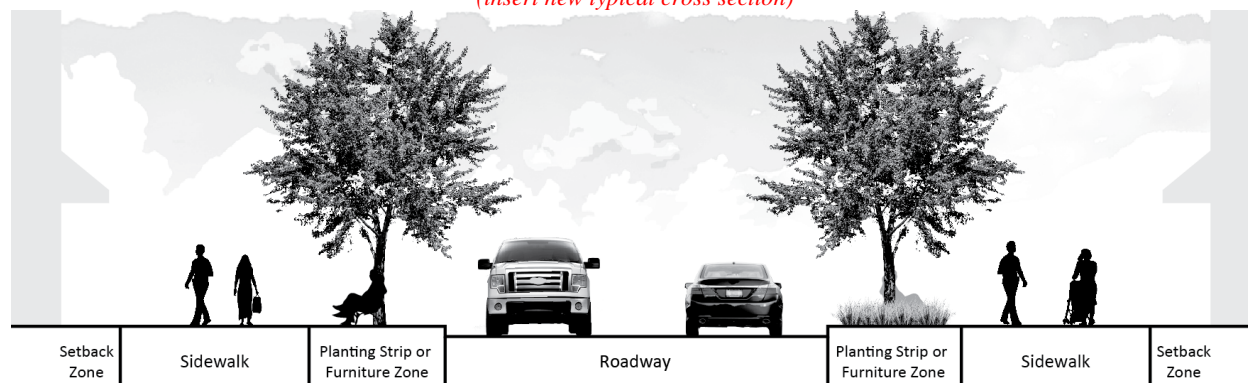
C. Pedestrian System Description. The table and graphics below depict the various pedestrian system cross sections that are called out in the corresponding Map 10.3, Downtown Pedestrian System, above. Pedestrian System Types I through VI are grouped together in a common table as they are located along street fronts.

Figure 21.10.150A  
Downtown Pedestrian System: Typical Cross-Section

*(repeal typical cross section below)*



*(insert new typical cross section)*



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Table 21.10.150A Downtown Pedestrian System: Cross-Section Dimensions						
		Ped. Zone		Roadway	Ped. Zone	
Cross Section	<u>Setback Zone</u>	<u>Sidewalk</u>	5-foot Planting Strip or 4-foot Furniture Zone with Tree Grates		5-foot Planting Strip or 4-foot Furniture Zone with Tree Grates	<u>Sidewalk</u> <u>Setback Zone</u>
I	<del>0</del> <u>2</u>	<del>10</del> <u>8</u>	4		4	<del>10</del> <u>8</u> <del>0</del> <u>2</u>
II	<del>0</del> <u>2</u>	<del>10</del> <u>8</u>	4		4	<del>10</del> <u>8</u> <del>0</del> <u>2</u>
III	14	6	5		5	6 14
IV	7	8	5		5	8 8
V	17	8	5		5	8 17
VI	8	8	4		4	8 8

RZC Article II

21.20 Affordable Housing

**21.20.030 General Requirements and Incentives**

- A. Pursuant to RCW 36.70A.540, the City finds that the higher income levels specified in the definition of “affordable housing” set forth in the definitions section of this Zoning Code are necessary to address local housing market conditions in the City. The income levels specified in the definitions section of this Zoning Code shall therefore be used in lieu of the “low-income household” income levels set forth in RCW 36.70A.540.
- B. Certain provisions in this section such as affordability levels and bonuses may not apply or may be superseded as otherwise specified in [RZC 21.20, Affordable Housing](#) or RMC Chapter 3.38 Multifamily Housing Property Tax Exemption to the extent the same is adopted by the City Council.
- C. At least 10 percent of the units in new housing developments in those areas specified in [RZC 21.20.020, Applicability](#), of 10 units or greater must be affordable housing units.
- D. At least one bonus market-rate unit is permitted for each affordable housing unit provided, up to 15 percent above the maximum allowed density. For example, if the maximum allowed density for the site is 20 units per acre, the density bonus shall not exceed three units per acre, yielding a total allowed density, with bonus, of 23 units per acre, or 20 units + 15 percent bonus = 23 units. In areas where density limitation is expressed as a Floor Area Ratio (FAR), density bonuses will be calculated as an equivalent FAR bonus.
- E. Each low-cost affordable housing unit provided counts as two affordable housing units for the purpose of satisfying the affordable unit requirement under subsection [RZC 21.20.030.B](#) of this section. For purposes of computing bonus market-rate units under subsection [RZC 21.20.030.D](#) of this section, two bonus market-rate units are permitted for each low-cost affordable housing unit provided, up to 20 percent above the maximum density permitted on the site.
- F. The number of required affordable housing units is determined by rounding fractional numbers up to the nearest whole number from 0.5. In single-family zones, the required number of affordable housing units shall be calculated as a minimum of 10 percent of the greater of: (1) proposed dwelling units on the site, excluding cottage housing density bonus or other bonuses, or (2) net buildable area multiplied by the site’s allowed density.
- G. The affordable housing units and, if applicable, any bonus market-rate units shall not be included in the total number of the housing units when determining the number of required affordable housing units.
- H. If additional density is achieved as a result of a rezone per Comprehensive Plan policy HO-38, the determination of whether market-rate bonus units shall be permitted and the number of bonus units permitted will be determined on a site-specific basis. The number of bonus units, if any, shall be established in the ordinance adopting the rezone. Considerations for whether bonus units will be permitted include but are not limited to the following: (1) the number of total units as a result of the rezone and (2) the capacity of the site for development, taking into account the potential for adverse impacts such as to traffic, parking, or environmental issues.

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- I. Depending on the level of affordability provided, the affordable housing units may be eligible for the impact fee waivers described in RMC 3.10.070.
- J. Multifamily properties providing affordable housing may be eligible for property tax exemption as established in RMC Chapter 3.38 ~~to the extent the same is adopted by the City Council.~~
- K. Measurement in square feet of floor area of all affordable units shall be defined by the gross leasable area within the unit.
- L. Cottages, duplexes, and size-limited dwellings may be used to meet the requirements of this section.
- M. Accessory Dwelling Units (ADUs) shall not be used to meet the requirements of this section.



RZC Article II

21.52 Transportation Standards

**21.52.020 Transportation Management Program**

A. Applicability.

1. All development applications that warrant transportation mitigation are required to comply with this division. A Transportation Management Program (TMP) is required:
  - a. When a nonresidential development generates demand for more than 25 mobility units **during PM trips**, provided that under this requirement in mixed use developments a TMP is required only for the nonresidential portion of the development;
  - b. In order for a development to achieve concurrency as required in RZC 21.52.10, Transportation Concurrency; or
  - c. Based on the amount of parking provided by the development, as required in RZC 21.40, Parking Standards.
2. Where a TMP is required separate from subsection A.1.a above, the TMP may be required to exceed the minimum requirements of this section when a more stringent standard is specified.  
**3. A TMP may be utilized as a method for reducing the required off-street parking stalls, pursuant to the standards in RZC 21.40.010.D, Vehicle Parking.**
- ~~3~~4. The fee charged for the review and monitoring of a TMP shall be set by ordinance.

RZC Article IV

21.64 Environmental Regulations

**21.64.040 Frequently Flooded Areas**

- A. **Classification and Rating of Frequently Flooded Areas.** To promote consistent application of the standards and requirements of this chapter, frequently flooded areas within the city of Redmond shall be rated or classified according to their characteristics, function and value, and/or their sensitivity to disturbance.
1. **Frequently Flooded Areas Classifications.** Frequently flooded areas shall be classified according to the criteria in this section.
    - a. **Floodplain.** The total area subject to inundation by the base flood (the flood that has a one percent chance of occurring in any given year).
    - b. **Flood Fringe.** The portion of the floodplain outside of the floodway which is generally covered by flood waters during the base flood and is generally associated with standing water rather than rapidly flowing water.
    - c. **FEMA Floodway.** The channel of the stream and that portion of the adjoining floodplain which is necessary to contain and discharge the FEMA base flood flow without increasing the FEMA base flood elevation more than one foot.
    - d. **Zero-Rise Floodway.** The channel of the stream and that portion of the adjoining floodplain which is necessary to contain and discharge the base flood flow without increasing the base flood elevation. The zero-rise floodway will always include the FEMA floodway.
  2. **Classification of frequently flooded areas shall be determined by the Committee based on consideration of the following factors:**
    - a. Maps adopted pursuant to this chapter including the frequently flooded areas map, which identifies the approximate location and extent of the 100-year floodplain. This map shall be used as a general guide only for the assistance of property owners and other interested parties; boundaries are generalized. The actual type, extent, and boundaries of frequently flooded areas shall be determined in the field by a qualified consultant according to the procedures, definitions, and criteria established by this chapter. In the event of any conflict between the critical area location and designation shown on the City's map and the criteria or standards of this section, the criteria and standards shall prevail. The City will employ ~~hydrologic~~ hydraulic models to define the extent of the zero-rise floodway. If the zero-rise floodway has not yet been defined for the property in question, the applicant will be responsible for modeling the base flood elevation and delineating the extent of the zero-rise floodway, consistent with the assumptions in the Bear Creek Basin Plan as adopted by the City. In the absence of a City ~~hydrologic~~ hydraulic model, FEMA data will be acceptable;
    - b. Flood Insurance Rate Maps published by the Federal Emergency Management Agency;
    - c. Application of the criteria contained in these regulations; and

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- d. Consideration of the technical reports submitted by qualified consultants in connection with applications subject to these regulations.

### **21.70.070 Responsible Official**

For those proposals for which the City is a lead agency, the Responsible Official shall be the City of Redmond Technical Committee as defined in RMC Title 4.~~35~~50, *Technical Committee*. For all proposals for which the City is a lead agency, the Technical Committee shall make the threshold determination, supervise scoping and preparation of any required EIS and perform any other functions assigned to the lead agency or Responsible Official by those sections of the SEPA rules that have been adopted by reference.

RZC Article IV

21.72 Tree Protection

**21.72.060 Tree Protection Standards**

**A. Tree Protection, In General.**

1. In all ~~new~~ developments, ~~including additions to existing non single family buildings and parking areas;~~ a minimum of 35 percent of all significant trees shall be retained. Trees that are located within Native Growth Protection Areas, critical areas, and their associated buffers as provided in RZC 21.64, *Critical Areas*, or that have otherwise been designated for protection shall not be removed. Exceptions to this standard shall be requested and reviewed in accordance with RZC 21.72.090, *Exceptions*.
2. Landmark Trees. Landmark trees shall not be removed unless an exception has been applied for and granted.
3. Hazardous Trees. Hazardous trees or dead trees posing a hazard, outside of NGPAs, critical areas and buffers, should be removed and are not considered significant trees.

**RZC 21.76.070.Y. Site Plan Entitlement.**

1. Purpose. The purpose of this section is to ensure that site plans reviewed individually or collectively by the Technical Committee, Design Review Board, Landmarks and Heritage Commission, and Code Administrator achieve the following purposes:
  - a. Compliance with the provisions of the RZC and all other applicable law;
  - b. Coordination, as is reasonable and appropriate, with other known or anticipated development on private properties in the area and with known or anticipated right-of-way and other public projects within the area;
  - c. The encouragement of proposals that embody good design principles that will result in high-quality development on the subject property;
  - d. The adequacy of streets and utilities in the area of the subject property to serve the anticipated demand from the proposal.
  - e. Determination that the proposed access to the subject property is the optimal location and configuration for access.
2. Scope. Review and approval of a Site Plan Entitlement is required for any public, semi-public, or private proposal for new construction or exterior modification to a building or site, including multifamily, attached dwelling units in non-single-family zones, commercial, industrial, utility construction, expansion, or exterior remodeling of structures, parking, or landscaping, where the proposed use is shown as permitted in the applicable permitted use chart. All of the above projects require the review and approval of a Site Plan Entitlement except for:
  - a. Detached single-family residential buildings.
  - b. Tenant improvements not encompassing or requiring modification to the exterior of an existing building; ~~and~~
  - c. Light rail transit system elements between stations such as track and guideway; and
  - d. Any action noted above which meets the criteria to be reviewed as an Administrative Modification as provided in RZC 21.76.090.D.
3. Decision Criteria.
  - a. The Technical Committee, composed of the Departments of Planning and Public Works, shall review all Development Review permits with the State Environmental Policy Act and the RZC.
  - b. The Landmarks and Heritage Commission will review all Certificates of Appropriateness for compliance with the RZC.

**21.76.020 Overview of the Development Process**

**E. Design Review.**

1. Purpose. The purpose of design review is to:
  - a. Encourage and promote the public health, safety, and general welfare of the citizens of Redmond, including the development and coordination of municipal growth and services;
  - b. Supplement the City's land use regulations in order to promote a coordinated development of the undeveloped areas of the City, and conserve and restore natural beauty and other natural resources;
  - c. Encourage originality, flexibility, and innovation in site planning and development, including the architecture, landscaping, and graphic design of proposed developments in relation to the City or design area as a whole;
  - d. Discourage monotonous, drab, and unsightly developments and to promote the orderliness of community growth, and the protection and enhancement of property values for the community as a whole and as they relate to each other;
  - e. Aid in ensuring that structures, signs, and other improvements are properly related to their sites and the surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping and ensuring that proper attention is given to exterior appearances of structures, signs and other improvements;
  - f. Protect the heritage of the City by ensuring that historic resources retain integrity, ensuring that developments adjacent to historic landmarks are compatible, and by encouraging design that is appropriate to historic design districts;
  - g. Protect and enhance the City's pleasant environments for living and working, and thus support and stimulate business and industry, and promote the desirability of investment and occupancy in business and other properties;
  - h. Stabilize and improve property values and prevent blight areas to help provide an adequate tax base to the City to enable it to provide required services to its citizens; and
  - i. Foster civic pride and community spirit by reason of the City's favorable environment and thus promote and protect the peace, health, and welfare of the City and its citizens.
2. Applicability. Compliance with RZC ~~Article IV~~Article II, *Design Standards*, shall be required for all applications requiring a building permit for exterior modifications, new construction and signs, projects requiring a Level II or III Certificate of Appropriateness, and any private or public development within the Shoreline Jurisdiction. The following are exempt from this requirement:
  - a. One- and two-unit residential structures unless the structure is a historic landmark; and

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- b. Tenant improvements not associated with a historic landmark or not encompassing modifications to the exterior of an existing building.



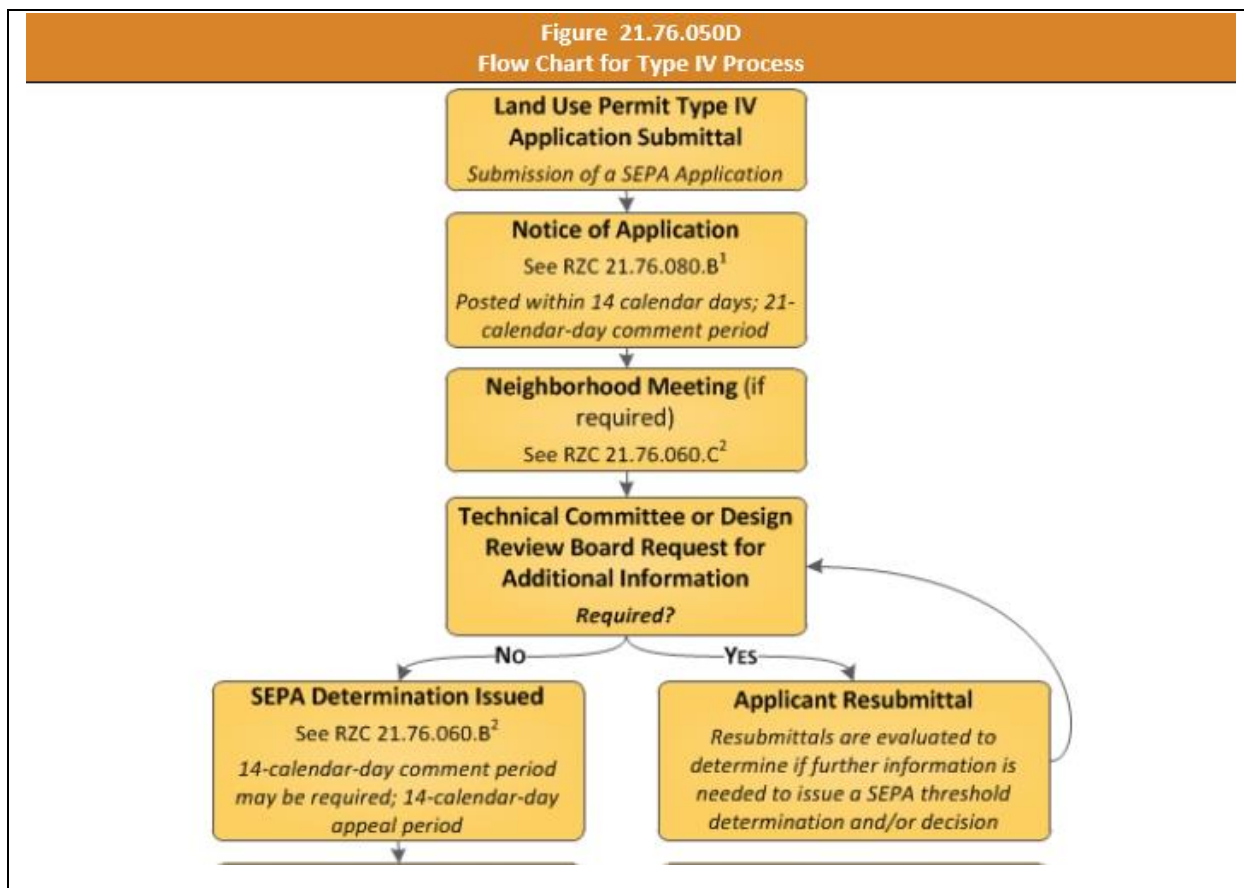
## **21.76.050 Permit Types and Procedures**

### **I. Type IV Review.**

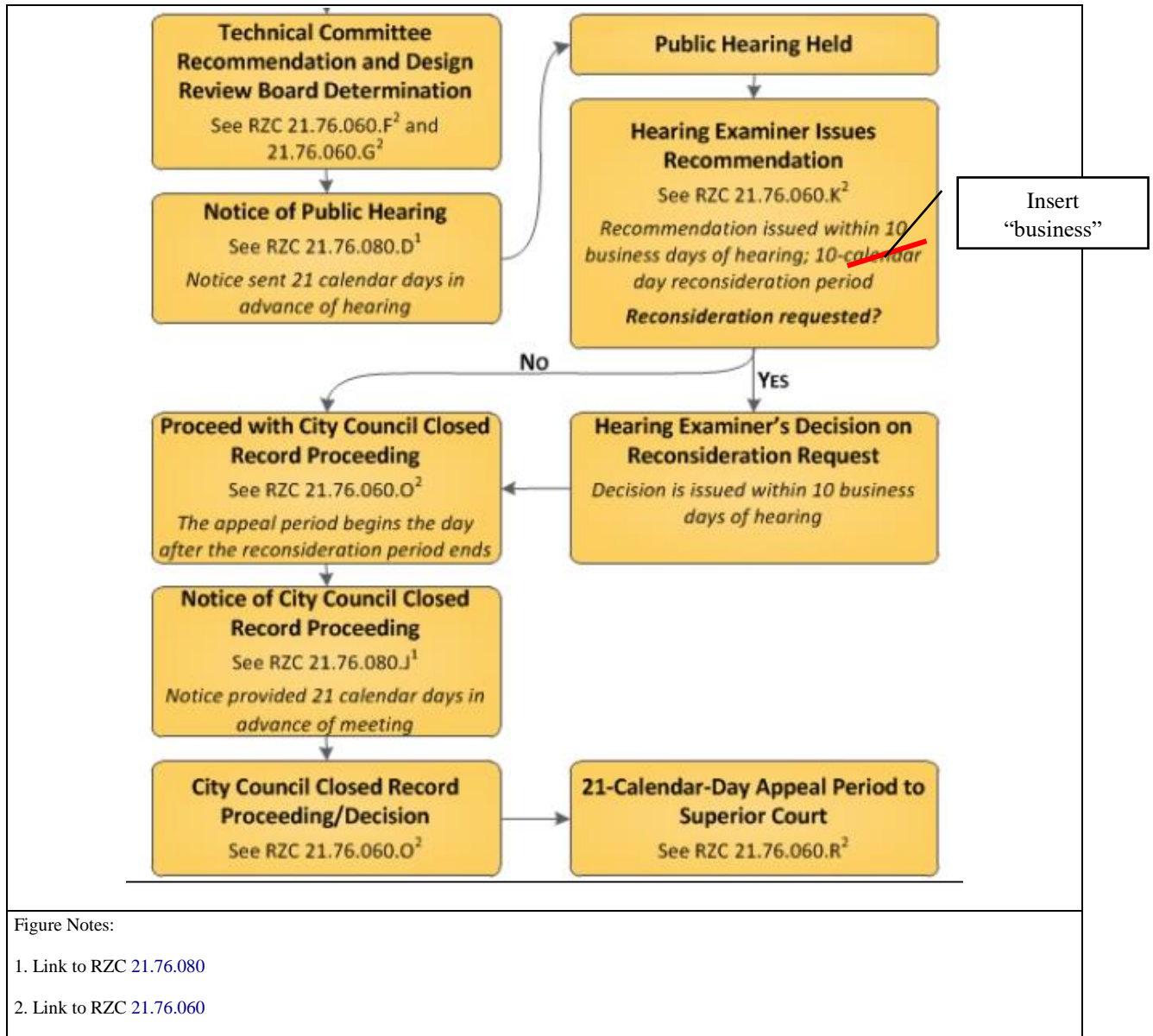
Overview of Type IV Review. A Type IV review is a quasi-judicial review and recommendation made by the Hearing Examiner and a decision made by the City Council. Environmental review is conducted when required. At an open record public hearing, the Hearing Examiner considers the recommendation of the Technical Committee and, when required, the Design Review Board, as well as public testimony.

Depending on the application, the Technical Committee may require a neighborhood meeting to obtain public input. The Hearing Examiner makes a recommendation to the City Council, which considers the recommendation in a closed record proceeding and makes a final decision. Public notification is provided at the application, public hearing, and decision stages of application review. There is no administrative appeal. The City Council's decision may be appealed to the King County Superior Court.

Process Flow Chart. The flow chart below in Figure 21.76.050D generally depicts the process that will be used to review a typical Type IV land use permit. The process may vary for individual permits based on the nature and complexity of the issues involved. This flow chart is therefore provided for general reference only. More detail on each of the steps is provided in RZC [21.76.060](#), *Process Steps and Decision Makers*, and RZC [21.76.080](#), *Notices*.



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### **21.76.060 Process Steps And Decision Makers**

- G. **Design Review Board Determinations on Type II, III, IV and V Reviews.** When design review is required by the Design Review Board, the Design Review Board shall consider the application at an open public meeting of the Board in order to determine whether the application complies with Article III, Design Standards. The Design Review Board's determination shall be given the effect of a final decision on design standard compliance for Type II applications, shall be given the effect of a recommendation to the Hearing Examiner on a Type III or Type IV application, and the effect of a recommendation to the City Council on a Type V application. The Design Review Board's determination shall be included with the written report that contains the Technical Committee recommendation or decision. The Design Review Board's determination may be appealed in the same manner as the decision of the applicable decision maker on the underlying land use permit.

RZC Article VI

21.76 Review Procedures

**21.76.070 Land Use Actions And Decision Criteria**

- A. **Purpose.** The purpose of this chapter is to establish the procedures (if different than the standard review type) and the decision criteria for each development application or special procedure. With the exception of Criteria Applicable to all Land Use Permits in RZC 21.76.070.B below, the actions are listed in alphabetical order.
- B. **Criteria Applicable to All Land Use Permits.**
1. Purpose. The purpose of this section is to provide general criteria that ensure overall consistency between proposed land use permits, and applicable regulations, and the Comprehensive Plan.
  2. Scope. The decision criteria below shall apply to all land use permits.
  3. Criteria.
    - a. Consistency. Land use permits are reviewed by the City to determine consistency between the proposed project and the applicable regulations and Comprehensive Plan provisions.
      - i. A proposed project's consistency with the City's development regulations shall be determined by consideration of:
        - A. The type of land use;
        - B. The level of development, such as units per acre or other measures of density;
        - C. Availability of infrastructure, including public facilities and services needed to serve the development; and
        - D. The character of the development, such as development standards.
      - ii. Upon review of a land use permit and accompanying site plan, the decision maker shall determine whether building design and/or site design complies with the following provisions:
        - A. The Comprehensive Plan, RZC 21.02, *Preface*, RZC Article I, *Zone-Based Regulations*, RZC Article II, *Citywide Regulations*, and the Appendices that carry out these titles;
        - B. The provisions of RMC Title 15, Buildings and Construction, that affect building location and general site design;
        - C. The Washington State Environmental Policy Act (SEPA) if not otherwise satisfied;
        - D. RZC Article VI, *Review Procedures*, to the extent it provides the procedures to ensure compliance with the requirements in subsections B.3.a.ii.B and B.3.a.ii.C of this section.
        - E. Both within and outside Transition Overlays, decision makers authorized by the RZC to decide upon discretionary approvals may condition such approvals and development permits, including but not limited to site plan approvals, to minimize adverse impacts on other properties and uses, and to carry out the policies of the Comprehensive Plan.
    - b. Limitations on Review. During project review, the City shall not reexamine alternatives to or hear appeals on the items identified in subsection B.3.a.i of this section, except for issues of code interpretation.

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- c. Burden and Nature of Proof. The burden of proof for demonstrating that the application is consistent with the applicable regulations is on the proponent. The project application must be supported by proof that it conforms to the applicable elements of the City's development regulations and the Comprehensive Plan, and that any significant adverse environmental impacts have been adequately addressed.

### **C. Administrative Design Flexibility.**

1. Purpose. The purpose of this section is to promote creativity in site design, allow flexibility in the application of standards in certain zones, and to achieve the creation of sites and uses that may benefit the public by the application of flexible standards not otherwise possible under conventional development regulations.
2. Scope. Administrative design flexibility shall only be considered for adjusting standards in the categories listed below for each type of land use. Requests for adjustment to standards not listed shall be processed as a variance as set forth in RZC 21.76.070.BAB, *Variances*.

### **AB. Variances.**

1. Purpose. The purpose of this section is to provide a mechanism by which the City may grant relief from certain regulations, where practical difficulty renders compliance with the provisions of that code an unnecessary hardship, where the hardship is a result of the physical characteristics of the subject property, and where the purpose of that code and of the Comprehensive Plan can be fulfilled.

RZC Article VI

21.76 Review Procedures

**21.76.090.C. Termination of Approval of Type I, II, and III Permits.**

1. Approval of a Type I, II, or III application shall expire two years from the date approval was final unless significant action proposed in the application has been physically commenced and remains in progress. This expiration excludes preliminary plats subject to expiration under 21.74.030.E.
2. The period may be extended on a yearly basis by the approval authority upon showing proper justification. Proper justification consists of one or more of the following conditions:
  - a. Economic hardship;
  - b. Change of ownership;
  - c. Unanticipated construction and/or site design problems;
  - d. Other circumstances beyond the control of the applicant determined acceptable by the Technical Committee.
3. Once the time period and any extensions have expired, approval shall terminate; and the application is void and deemed withdrawn.
4. Shoreline Substantial Development Permits, Shoreline Conditional Use Permits, and Shoreline Variances. See RZC 21.68.200.C.9.

## Manufacturing and Wholesale Trade

An establishment that engages in the transformation of raw materials into finished products, in the sale or distribution of those products to persons, firms, or corporations for resale, in the storage of materials or products in a warehouse or similar structure, or in the assembly or fabrication of goods. ~~A manufacturing or wholesale trade establishment does not engage in the retail sale of products to the end consumer.~~ Manufacturing and wholesale trade does not include any activity relating to marijuana.

## Preliminary Plat

A neat and approximate drawing of a proposed subdivision showing the general layout of streets and alleys, lots, blocks, and other elements of a subdivision consistent with the requirements of the Zoning Code. The preliminary plat shall be the basis for the approval or disapproval of the general layout of a subdivision.

The minor alterations of a preliminary approved short plat or subdivision may be brought forward to final plat without obtaining an Administrative Modification. The Administrator may determine that alterations are not minor in nature and therefore, will be required to obtain an Administrative Modification prior to final plat approval.

## Story

That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above. If the finished floor level directly above a usable or unused underfloor space is more than six feet above grade as defined herein for more than 50 percent of the total perimeter or is more than 12 feet above grade as defined herein at any point, such usable or unused underfloor space shall be considered a story. For non-buildings, or for other instances where measurement in stories is insufficient, a story shall equal 12 feet.

**AMENDED TO INCLUDE THE FOLLOWING FIGURE:**

