



## Planning Commission Report

**To:** City Council

**From:** Planning Commission

**Staff Contacts:** Erika Vandenbrande, Director, Planning and Community Development, 425-556-2417  
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**Date:** January 23, 2019

**File Numbers:** LAND-2018-01232, SEPA-2018-01265

**Planning Commission Recommendation:** Approval

**Title:** Redmond Zoning Code – Periodic Cleanup (Minor Amendments)

**Recommended Action:** Adopt recommended amendments to the Redmond Zoning Code and Redmond Municipal Code as shown in Exhibit A.

**Summary:** The recommended amendments provide a periodic cleanup to portions of the Redmond Zoning Code (RZC) and Redmond Municipal Code (RMC). The amendments correct typographical errors; address inconsistencies or missing references to other portions of the RZC, RMC, and state and federal regulations; and revise place names, outdated terminology, and identifiers.

**Reasons the Proposal Should be Adopted:** The recommended amendments provide 29 minor corrections to the RZC and RMC for:

1. Addressing clarity and accuracy of the code;
2. Correcting and restoring references to other sections of the code;
3. Correcting inadvertent omissions of code;

4. Repairing errors and providing updates to maps within the code; and
5. Incorporating direction of non-substantive administrative interpretations authorized by RZC 21.76.100.D.

## **Recommended Findings of Fact**

### **1. *Public Hearing and Notice***

#### **a. Public Hearing Date**

The City of Redmond Planning Commission held a public hearing on the proposed amendments on December 12, 2018. The Planning Commission kept the public hearing open for oral and written testimony through January 9, 2019. No oral or written testimony was received during the public hearing.

#### **b. Notice**

The public hearing notice was published in the Seattle Times. Public notices were posted in City Hall and at the Redmond Library. Notice was also provided by including the hearing in Planning Commission agendas and extended agendas mailed to various members of the public and various agencies. Additionally, a hearing notification was posted on the City's web site and provided to people who had previously participated in code cleanup processes.

## **Recommended Conclusions**

### **1. *Key Issues Discussed by the Planning Commission***

The Planning Commission held study sessions on November 28, 2018, December 12, 2018, and January 9, 2019, to deliberate the Technical Committee's November 7, 2018 recommended amendments. Minutes of the Planning Commission meeting are shown in Exhibits B – D. Key issues discussed by the Planning Commission were as follows:

#### **Administrative Interpretations**

The recommended amendments include six administrative interpretations and corresponding updates to the RZC and RMC. Planning Commissioners discussed the process through which the City identifies the need for interpretations, the authority for such action through the Revised Code of Washington (RCW), and implementation procedures codified by the RZC. The Commission compared the City's implementation procedures to neighboring cities including Bellevue, Kirkland, and Renton. Commissioners also reviewed the recommended amendments associated with an administrative interpretation involving backyard chicken husbandry; discussing the need, rationale, and outcome of the associated

RMC amendment as an example of the administrative interpretation and code amendment process.

### **Impact of Amendments**

Planning Commissioners briefly discussed the possibility of the recommended amendments impacting the following:

- Current City operations such as permit review; and
- Timeline and costs that customers of City services might anticipate.

Commissioners were satisfied with staff's description of the analysis through which cleanup items were identified as "minor amendments". This analysis accounted for a variety of aspects such as those identified by the Commission -- assuring that the minor amendments would maintain existing operations, timelines, and costs associated with City services -- and the following:

1. Amendment clearly maintains the intent, purpose, and direction of current regulation;
2. Amendment's scope and scale is limited to a small, isolated portion of the RZC; and
3. Administrative interpretation of issue relies solely on existing code for clear and concise direction.

## **2. *Recommended Conclusions of the Technical Committee***

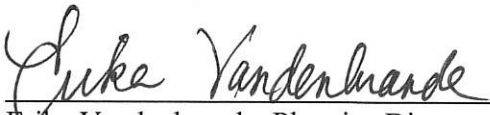
The recommended conclusions in the Technical Committee Report (Exhibit E) should be adopted as conclusions.

## **3. *Planning Commission Recommendation***

The Planning Commission unanimously voted in favor of a motion to recommend approval of amendments to the Redmond Zoning Code and Redmond Municipal Code. Six Commissioners voted in favor and zero opposed at its January 9, 2019 meeting.

## List of Attachments

- Exhibit A:** Recommended Amendments to the Redmond Zoning Code and Redmond Municipal Code
- Exhibit B:** Planning Commission Meeting Minutes, November 28, 2018
- Exhibit C:** Planning Commission Meeting Minutes, December 12, 2018
- Exhibit D:** Planning Commission Meeting Minutes, January 9, 2019
- Exhibit E:** Technical Committee Report with Exhibits

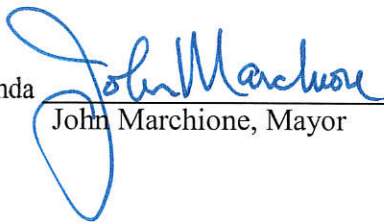
  
Erika Vandenbrande, Planning Director

2/19/19  
Date

  
Roy Captain, Planning Commission Chairperson

2/19/19  
Date

Approved for Council Agenda

  
John Marchione, Mayor

2/22/19  
Date

# Redmond Zoning Code Redmond Municipal Code

Periodic Cleanup

*Minor Corrections*

2018 – 2019

**Staff:**

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# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

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## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

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## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

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**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

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# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### Staff Contact

Andrew Bauer

### Correction Needed

Lack of clarity/cross-reference to additional applicable regulations for “smaller dwelling units.”

### Rationale

Amendment provides a cross-reference for clarity purposes only.

### Amendment

### RZC 21.08.070 RIN (Residential Innovative) Single-Family Urban Residential

A. Purpose. The RIN Single-Family Urban Residential zone is intended to promote single-family housing consisting of smaller dwelling units to respond to changing household sizes and ages. It will provide opportunities for households of various sizes, ages, and incomes to live in a neighborhood by promoting diversity in the size, type, and price of new single-family homes. Also, this zone will blend new development with existing residential development to help maintain neighborhood character, particularly in neighborhoods with a predominance of small to moderately sized homes. The zone will help to provide appealing and active streetscapes that promote a more walkable and enjoyable neighborhood experience. The density allowed within the zone shall be four to five dwelling units per gross acre depending on the size of the site and the size of dwellings proposed.

B. Regulations Common to All Uses.

Table 21.08.070A Regulations Common to All Uses			
	Regulation	Site area of 30,500 square feet or greater	Site area less than 30,500 square feet
Minimum	Average Lot Size	4,000 square feet	7,000
	Required Density	80 percent of net acres	80 percent of net acres
	Lot Width Circle	35 feet	40 feet
	Lot Frontage	20 feet	20 feet
	Setbacks		
	Front	15 feet	15 feet
	Garage	18 feet	18 feet
	Side / Interior (each side)	5 feet / 10 feet	5 feet / 10 feet
	Side Street	15 feet	15 feet
	Rear	10 feet	10 feet
	Alley	4 feet	4 feet
	Lake Sammamish	35 feet	35 feet
	Building Separation	15 feet; 10 feet for cottages, size-limited dwellings, small-lot short plats, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units.	15 feet; 10 feet for cottages, size-limited dwellings, small-lot short plats, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units.
	Open Space	20 percent of total lot area	20 percent of total lot area
Maximum	Density	5 units per acre, except when participating in cottage housing or programs with bonus density provisions	4 units per acre, except when participating in cottage housing or programs with bonus density provisions
	Lot Coverage for Structures	35 percent of total lot area	35 percent of total lot area

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	Impervious Surface	65 percent of total lot area	60 percent of total lot area
	Building Height	25 feet; 30 feet in Shoreline Jurisdiction	25 feet; 30 feet in Shoreline Jurisdiction
	Drive-through	n/a	Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Special Regulations table below.
	<u>Smaller dwelling units</u>	<u>See RZC 21.08.360</u>	<u>n/a</u>

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article I**

### **21.08 Residential Regulations**

#### **Staff Contact**

Administrative Interpretation

#### **Correction Needed**

In RZC 21.08.180.C.2.a.iii.A, it is unclear how to measure the structure's height for purposes of meeting the Residential Design Standards and variation in structure height requirements.

#### **Rationale**

The definition of Elevation as currently defined by the Redmond Zoning Code state, "The architectural view of the front, side, or back surface of a structure to include doors, windows, and rooftop screening that is an extension of the façade, but excluding any roof area and rooftop equipment or structures."

The design standards citation and definition acknowledges that the intent of the code is to ensure there is visual interest and variation along the street frontage of newly planned developments. Due to natural topography, there are conditions where a 10% height difference measured at average finish grade results in a lack of visual variation or interest.

Measuring from the lowest street facing elevation of a home's living space (or street facing garage) will ensure that whether a site is level or has shifts in the topography, the homes have a visual variation from the street frontage and therefore meet the intent of the code.

#### **Amendment**

### **21.08.180 Residential Development and Architectural, Site, and Landscape Design Regulations**

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#### **C. Variety and Visual Interest in Building and Site Design.**

1. Purpose. The purpose of this section is to:
  - a. Promote building and site design that is consistent with the neighborhood character of each of the City's residential neighborhoods; and
  - b. Provide variety and visual interest by using various combinations of building elements, features and treatments and variation in site design elements while remaining consistent with neighborhood character.
2. Design Criteria.
  - a. Variety in Building Design.
    - i. The same combination of building elements, features and treatments shall not be repeated for more than 20 percent of the total dwelling units in any new residential development. Dwelling units with the same combination of features and treatments shall not be located side by side with each other or directly across a street from each other.
    - ii. Dwelling units in developments of five or more lots may have the same combination of features as long as the details are varied to achieve visual interest. Dwelling units in developments of less than five lots shall not repeat the same combination of primary and

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secondary features. The development of a new dwelling unit on a single lot shall not repeat the same design of an existing home that is located side by side with it or directly across a street from it.

- iii. In making the determinations required in subsections C.2.i and C.2.ii, of this section, architecture within new residential developments will be evaluated by the Administrator as a combination of at least three primary features and at least three secondary features per dwelling unit. The primary features may include:

A. Variation in structure height by a minimum of at least 10 percent;

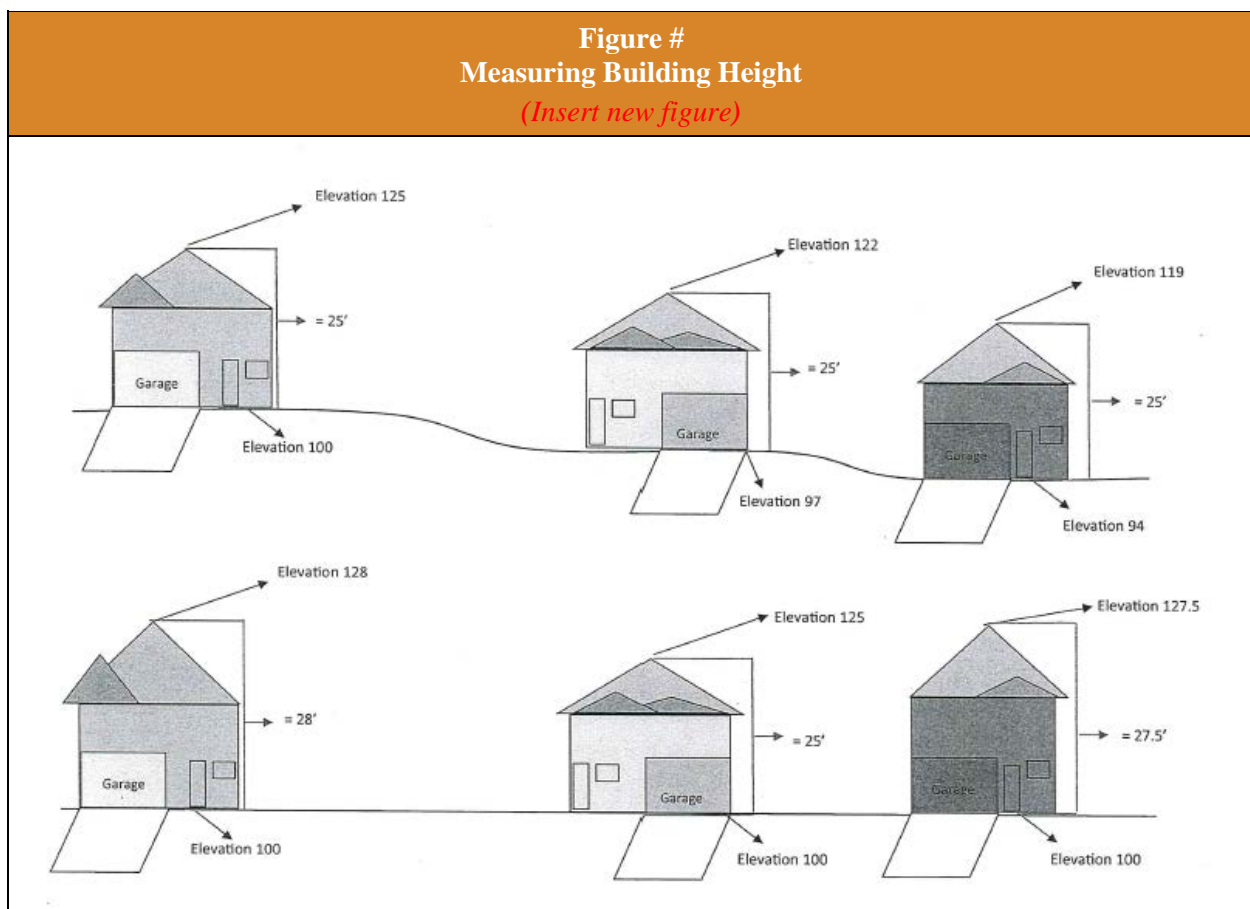
1. For the purposes of this section, building height shall be measured from the main ground floor living space elevation that is street facing or a street facing garage elevation, whichever is lower to the height roof elevation point visible from the street, as depicted in Figure #.

B. Varying roof pitch, shape, and orientation between adjacent structures;

C. Variation in structure width of greater than five feet;

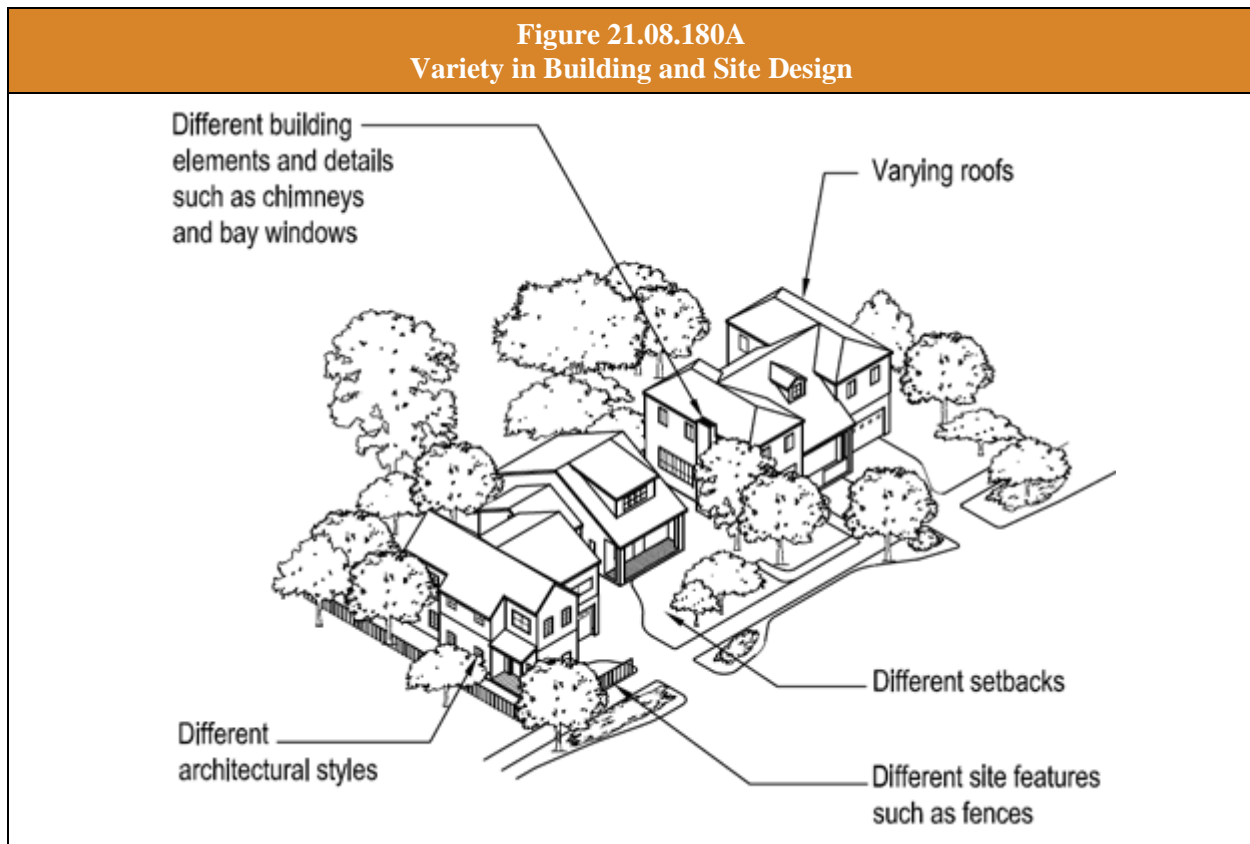
D. Variation in dwelling unit type or size by a minimum of at least 10 percent;

E. Variation in garage orientation (i.e., front, side, alley, detached);



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2. Secondary features may include:
  - A. Variation in setbacks from the street of greater than four feet;
  - B. Entry enhancement and differentiation;
  - C. Variation in building materials, colors, and detailing;
  - D. Façade articulation and modulation;
  - E. Visible window trim and mullions
- iv. Other secondary building elements, treatments, features, or site designs which meet or exceed the intent of this section may be approved by the Administrator.



C.

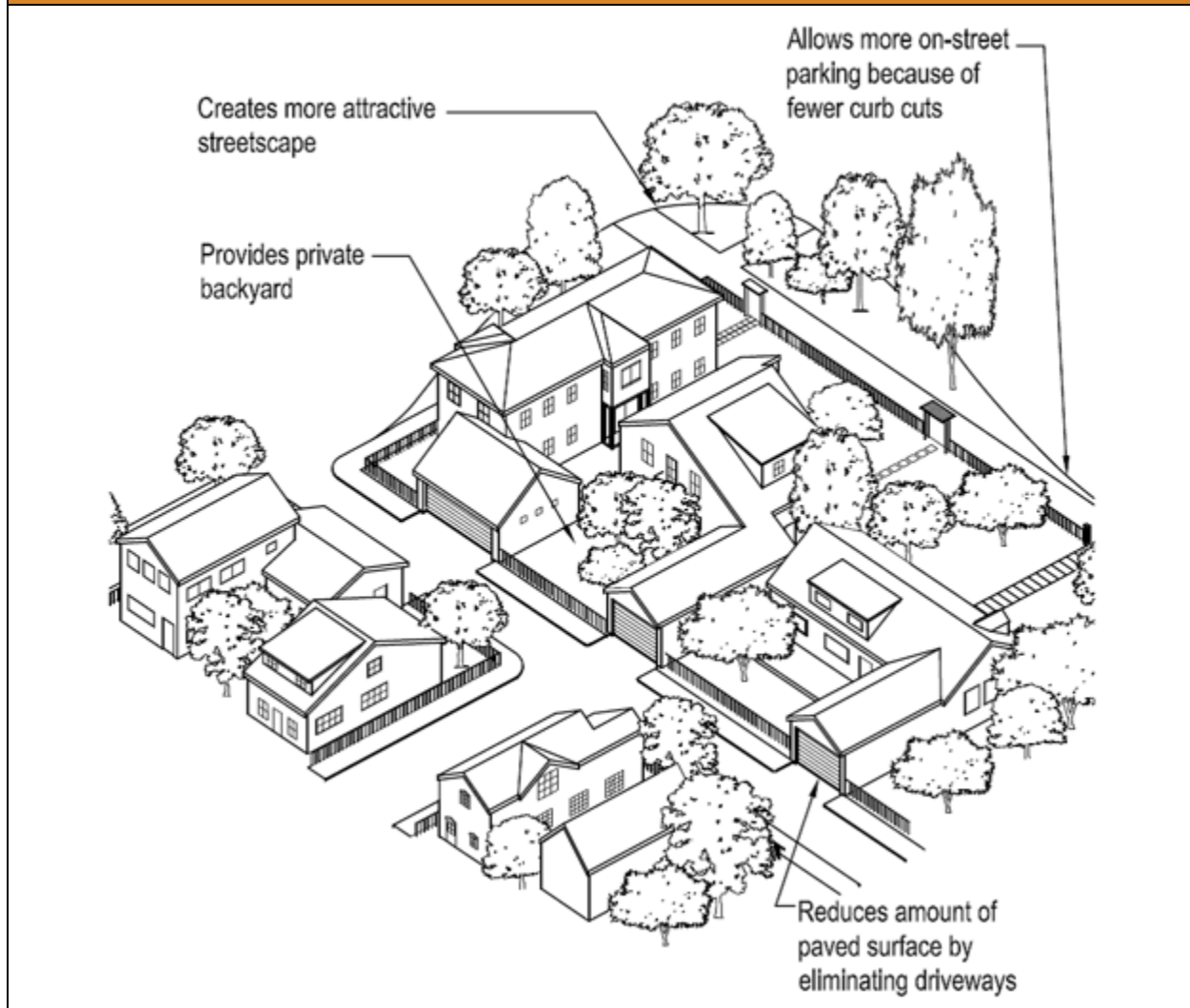
2.

- b. Variety in Site Design. Variation in site design shall be achieved through the use of various site planning methods and techniques. Examples of techniques to provide variety in site design include, but are not limited to:
  - i. Variation in lot sizes or orientation;
  - ii. Variation in type of driveway (shared or not shared);
  - iii. Alleys (See Figure 21.08.180B below.);

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- iv. Variation in landscape design; and (v) Other similar site design features which achieve variety and visual interest and meet or exceed the intent of this section may be approved by the Administrator.

**Figure 21.08.180B**  
**Benefits of Alley Access**



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### *Staff Contact*

Administrative Interpretation

### *Correction Needed*

It is unclear regarding acceptable techniques for meeting the code requirements for setting the garage back from the front street elevation of a proposed home.

### *Rationale*

RZC 21.08.180 states: The purpose of this section is to establish residential design standards for all areas of the City that:

- a) Provide variety and visual interest in new residential development in a manner that is compatible with the neighborhood character;
- b) Create engaging and active streetscapes through design and vegetation that brings living space toward the street;
- c) Ensure that dwelling units are of a scale that is proportional to their lot size and location;
- d) Design home that feature living space as the dominant feature of the street elevation;

Subsection D.2.B.ii further states, “The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door)” clarifying that the front elevation of the home begins at the surface wall facing the street that is comprised of elements such as windows and doors and not architectural design elements such as eaves, porches, or front stoops.

The definition of Elevation as currently defined by the Redmond Zoning Code state, “The architectural view of the front, side, or back surface of a structure to include doors, windows, and rooftop screening that is an extension of the façade, but excluding any roof area and rooftop equipment or structures.”

This portion of the Code and definition acknowledges both that the intent of the code is to ensure the living space front elevation is the dominant feature of the street frontage of the home and that the front elevation shall only be measured from the wall façade of the home and not projecting architectural elements.

### *Amendment*

#### **21.08.180.D.2.b Building Orientation**

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#### **D. Building Orientation.**

1. Purpose. The purpose of this section is to:
  - a. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
  - b. Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
  - c. Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street. (See Figure 21.08.180C below.)
2. Design Criteria.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- a. Setbacks on Arterials. With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located. In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:
  - i. Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.
  - ii. All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
  - iii. All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
    - A. This setback shall be measured from the edge of the proposed right-of-way.
    - B. Multistory vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
    - C. The multistory vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.
    - D. The multistory vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180.F.2.vii, Vegetation for the North Redmond Wedge Subarea Common Areas.
    - E. The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
  - iv. Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

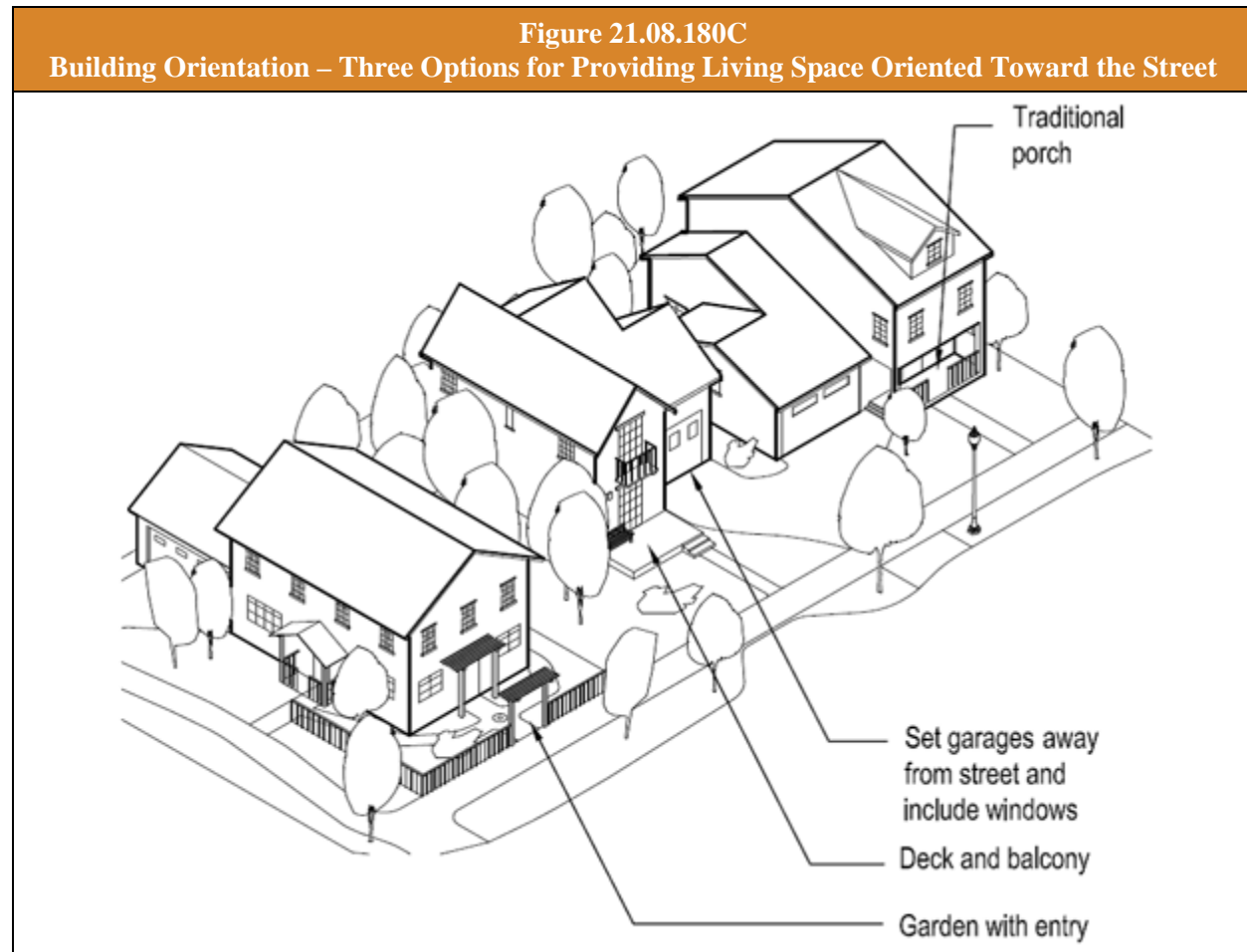
setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.

- b. Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:
  - i. Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
    - A. The front elevation of the first floor living space is equal or lesser distance to the front property line from the garage door and has a covered front exterior entry way that is a minimum of five feet proud of the garage door; or
    - B. The front elevation of the first floor living space is five feet or greater distance forward (closer to the front property line) from the front elevation of the garage door; or
    - C. The front elevation of the second story of a proposed home is projected over the front elevation of the garage door by no less than five feet and is at minimum the width of the garage door and the front elevation of the first floor living space is equal or lesser distance to the front property line from the garage door.
      - 1. For the purposes of this section, the front street elevation may be measured from the forward most column of a covered porch when the surface wall of the ground floor living space is recessed no more than four feet from the garage, and a second story projection of a least five feet is provided above the garage.
  - ii. Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet. The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- c. Garage Doors. On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- d. Transition Areas. In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

the intent of this section. The transition area may consist of a combination of landscape and structural elements.

- e. Alleys. There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.
- f. Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### *Staff Contact*

Administrative Interpretation

### *Correction Needed*

It is unclear regarding acceptable techniques for meeting the code requirements for the transition area in the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods.

### *Rationale*

RZC 21.08.180 states: The purpose of this section is to establish residential design standards for all areas of the City that:

- a) Provide variety and visual interest in new residential development in a manner that is compatible with the neighborhood character;
- b) Create engaging and active streetscapes through design and vegetation that brings living space toward the street;
- c) Ensure that dwelling units are of a scale that is proportional to their lot size and location;
- d) Design home that feature living space as the dominant feature of the street elevation;

The execution of the transition area ensures the front streetscapes of the home become activated and that living space remains the most dominant feature of the home by expanding it outdoors in a manner that engages the community.

### *Amendment*

#### **21.08.180.D.2.d Building Orientation**

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#### **D. Building Orientation.**

1. Purpose. The purpose of this section is to:
  - a. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
  - b. Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
  - c. Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street. (See Figure 21.08.180C below.)
2. Design Criteria.
  - a. Setbacks on Arterials. With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located. In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:

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1. Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.
  2. All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
  3. All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
    - A. This setback shall be measured from the edge of the proposed right-of-way.
    - B. Multistory vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
    - C. The multistory vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.
    - D. The multistory vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180.F.2.vii, Vegetation for the North Redmond Wedge Subarea Common Areas.
    - E. The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
  4. Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.
- b. Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

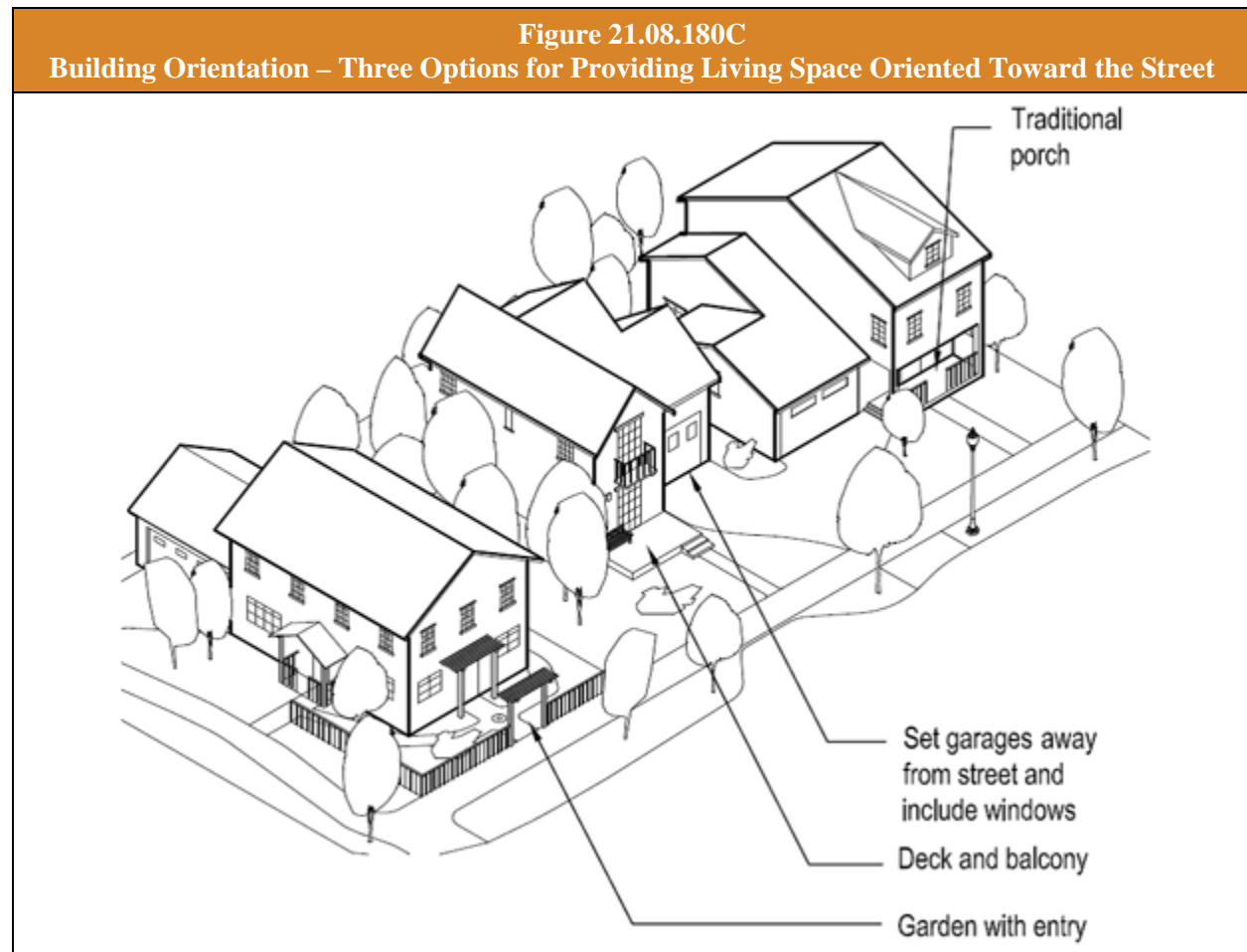
viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:

1. Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
  2. Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet. The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- c. **Garage Doors.** On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- d. **Transition Areas.** In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets the intent of this section. The transition area may consist of a combination of landscape and structural elements.
1. For the purpose of this section, the following are examples of acceptable transition areas. Elements of the following examples may be expanded upon or combined to meet the intent of this code section.
    - A. A porch or patio design which is a combination of dimensions equaling no less than 80 square feet and a minimum of five feet in depth, excluding the passive area required for foot traffic to access the entry and in combination with landscaping and/or walkway; or
    - B. A walkway from entry of the home to adjacent pedestrian street access of no less than 3' in width and framed with a minimum of 2' of landscaping on either side; or
    - C. A front yard garden that is a combination of dimensions equaling no less than 80 square feet and a minimum of five feet in depth with separate entry such as a low fencing or arbor; or
    - D. When the front ground floor elevation of the home does not have a street facing entry, a patio or outdoor living space area may be installed that is a combination of dimensions equaling no less than 80 square feet and minimum of five feet in depth and framed with landscaping on a least two sides; or
    - E. An arbor in combination with the methods outlined in item B above.
- e. **Alleys.** There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.

- f. Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I Staff Contact

## 21.08 Residential Regulations

Sarah Stiteler

### ***Correction Needed***

RZC 21.08.260.C.1 should include the RIN zoning designation in the list of zones where minimum lot size for multiplexes is based on a percentage of minimum average lot size.

### ***Rationale***

The RIN zone is basically an R-4 “plus” zone when the lot size exceeds 30,500 square feet. Therefore, it should be regulated similarly to the R-4 through R-6 zones.

### ***Amendment***

#### **21.08.260 Attached Dwelling Units**

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A. **Purpose.** The purpose of this section is to:

1. Enhance opportunities for ownership housing;
2. Reduce development costs related to construction and the provision of utilities, which in turn may help to reduce housing prices in support of affordability goals;
3. More effectively set aside critical areas and natural resources as open space than would otherwise be allowed through the subdivision process; and
4. Achieve the planned density for a site that may not otherwise be met due to environmental and other physical constraints.

B. **Applicability.**

1. Generally. Unless otherwise specified in subsections B.2 and B.3 of this section, attached dwelling units are allowed through a conditional use permit process in zones R-4 through R-6. Attached dwelling units are allowed outright in zones R-8 through R-30, unless otherwise provided in subsections B.2 and B.3.
2. Willows/Rose Hill Neighborhood.
  - a. Two-unit attached dwelling units are an allowed use on individual lots in Single-Family Urban zones in the Willows/Rose Hill Neighborhood, provided that a minimum of 70 percent of the total dwelling units within the single-family portion of each residential subarea of the Willows/Rose Hill Neighborhood shall remain detached single-family dwellings.
  - b. Three-unit attached dwelling units and four-unit attached dwelling units may be allowed as part of a preliminary plat application in Single-Family Urban zones only as part of the demonstration project provided for in Policy N-WR-E-4 of the Redmond Comprehensive Plan to evaluate compatibility with the Willows/Rose Hill Neighborhood.
3. Bear Creek, Education Hill, Grass Lawn, North Redmond, Southeast Redmond, and Overlake Neighborhoods.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- a. Two-unit attached dwelling units are an allowed use on individual lots in Single-Family Urban zones.
  - b. Three-unit attached dwelling units and four-unit attached dwelling units are allowed on individual lots in Single-Family Urban zones, with public notification and at least one neighborhood meeting required. The public notification and neighborhood meeting are not required in R-8 zones.
  - c. Attached dwelling units are not an allowed use in the North Redmond Wedge Subarea.
- C. **Requirements.** Attached dwelling units are subject to all of the land use, density, site requirements, and development standards of the underlying zone with the following exceptions:
1. **Minimum Lot Size.** The minimum lot size for attached dwelling units in R-4, R-5, ~~and~~ R-6, ~~and~~ RIN zones shall be based on a percentage of the average lot size of the underlying zone as presented in the zone use chart for the residential zone. (See RZC 21.08.020 through 21.08.140.)
    - a. The minimum lot size for a two-unit attached dwelling unit is equal to 150 percent of the average lot size for the underlying zone.
    - b. The minimum lot size for a three-unit attached dwelling unit is equal to 200 percent of the average lot size for the underlying zone.
    - c. The minimum lot size for a four-unit attached dwelling unit is equal to 250 percent of the average lot size for the underlying zone.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.10 Downtown Regulations

### Staff Contact

Jae Hill

### Correction Needed

A correction to a cross-reference is necessary.

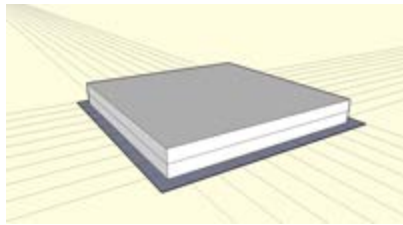
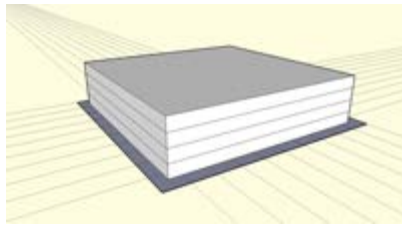
### Rationale

In table RZC 21.10.060B – Regulations Common to All Uses, Maximum Building Height without TDRs or GBP, the cross-reference to RZC 21.62.020.C is incorrect and should be updated to reference RZC 21.62.020.G.2.c instead.

### Amendment

#### 21.10.060 Bear Creek (BC), Valley View (VV), and Trestle (TR) Zones

- A. **Purpose.** The convenience commercial areas of Downtown include the [Valley View](#), [Trestle](#), and [Bear Creek](#) zones. These three zones are located at the major entrances to the Downtown to serve shoppers conveniently from both within and outside the neighborhood. These zones are intended to provide for everyday, basic shopping needs and services, such as groceries, pharmacies, and other convenience retail goods and services that are easily accessed by pedestrians, bicyclists, and motor vehicles. Land uses and redevelopment in the area should be compatible with shopping and service needs of the community and surroundings, as well as with the long-term Downtown vision of encouraging a more pedestrian-supportive, mixed-use environment in these zones.
- B. **Maximum Development Yield.**

Table 21.10.060A Maximum Development Yield				
Allowed	Base	Maximum		
Height	2 stories	4 stories	Example of a 2-story building	Example of 4-story building
Lot Coverage	80 percent	80 percent		
These are office building examples using Transfer Development Rights or GBP to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.				

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Table 21.10.060B Regulations Common to All Uses		
Regulation	Standard	Notes and Exceptions
Other Standards		
Minimum Building Height	n/a	
Maximum Building Height without TDRs or GBP	2 Stories	A. The maximum height may be increased to four stories when the site's development plan can demonstrate the goals and objectives outlined in Comprehensive Plan Policy DT-37, and the design guidelines outlined in RZC <a href="#">21.62.020</a> , <del>G.2.c</del> are met through the site plan entitlement process.
Maximum Building Height with TDRs or GBP	3 Stories	A. One floor of additional height may be achieved with the use of Transfer Development Rights. See RZC <a href="#">21.10.160</a> , <i>Using Transfer Development Rights</i> (TDRs), or through compliance with RZC <a href="#">21.67</a> , <i>Green Building and Green Infrastructure Incentive Program</i> (GBP).
Maximum Height Within <a href="#">Shorelines</a> (SMP)	35 feet	A. This height limit is restricted to that portion of the building physically located within the Shoreline Jurisdiction. (SMP) B. The maximum height of <a href="#">structures</a> , including bridges, that support a <a href="#">regional light rail transit system</a> may be higher than 35 feet but <a href="#">shall</a> be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)
Maximum Coverage <a href="#">Lot</a>	80 percent	A. For residential development without ground floor commercial/office, lot coverage shall be governed by the Downtown Residential Densities Chart. B. Lot coverage percentage equals: The total site area measured to the property line, less pedestrian systems measured to the curb line, on-site sidewalks, landscaping, and plazas, divided by the site area measured to the curb line.
Base FAR Without TDRs	1.25	A. Maximum FAR without TDRs or GBP for nonresidential space is 1.25. Residential space within a mixed-use building is exempt from TDR or GBP requirements. See RZC <a href="#">21.10.160</a> , <i>Using Transfer of Development Rights</i> (TDRs), and <a href="#">RZC 21.67</a> , <i>Green Building and Green Infrastructure Incentive Program</i> (GBP). B. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs or GBP, provided that other site requirements can be met.
Allowed Residential Density	Depends on Lot Size	A. See RZC <a href="#">21.10.130</a> .B, Downtown Residential Densities Chart.
Drive-through	n/a	A. Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Basic Development Standards table below.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I Staff Contact

## 21.12 Overlake Regulations

Andrew Bauer

### ***Correction Needed***

Streets in the Overlake Village have been renamed though the new names are not reflected in all portions of the code.

### ***Rationale***

Street names in the Overlake Village and references thereto should be consistent with adopted street naming conversion. Ordinance

### ***Amendment***

## **RZC 21.12 Overlake Regulations**

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### **21.12.010 Overlake Village Purpose**

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The purposes of the Overlake Village regulations are to:

- A. Implement the vision and policies for Overlake Village zones set forth in the Redmond Comprehensive Plan;
- B. Encourage a broad mix of multifamily residential and commercial uses and amenities in order to achieve a vibrant, engaging environment and a true urban center;
- C. Provide for pedestrian-friendly and activating commercial uses on the ground floor of development located along arterials, while allowing residential uses on the ground floor of development along local streets;
- D. Include housing in all future development;
- E. Promote compact, walkable development forms that are conducive to transit use;
- F. Provide improved connections for nonmotorized and local vehicular travel;
- G. Encourage use of environmentally sustainable site design and building features;
- H. Encourage inclusion of retail, restaurants, professional offices, services, and entertainment uses to meet needs of residents and employees, enliven the area after working hours, and contribute to a sense of place; and
- I. Allow additional building height and density where appropriate through an incentive program to facilitate provision of public and private infrastructure, green buildings, affordable housing, tree retention, and open space, while still achieving sustainable, transit-supportive densities.

Effective on: 4/28/2012

### **21.12.020 OV Master Planning**

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- A. Master Plans are required in Overlake Village for all developments encompassing at least three acres and optional for sites under three acres. When a Master Plan has been approved by the City, site requirements and other development standards and regulations shall be administered on the basis of the

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

area controlled by the approved Master Plan ("Plan Area"), rather than on a site-by-site basis, provided the approved Master Plan demonstrates the ability to comply with the requirement in question. For example, in the case of a development application for a site that is part of an area controlled by an approved master plan, if the plan designates the maximum lot coverage of structures and such areas are sufficient to meet maximum lot coverage requirements applied to the entire Plan Area, then an individual site plan need not demonstrate compliance with maximum lot coverage requirements.

- B. Developments completing a Master Plan may increase the height of 50 percent of the buildings in the development by one floor.

Effective on: 4/16/2011

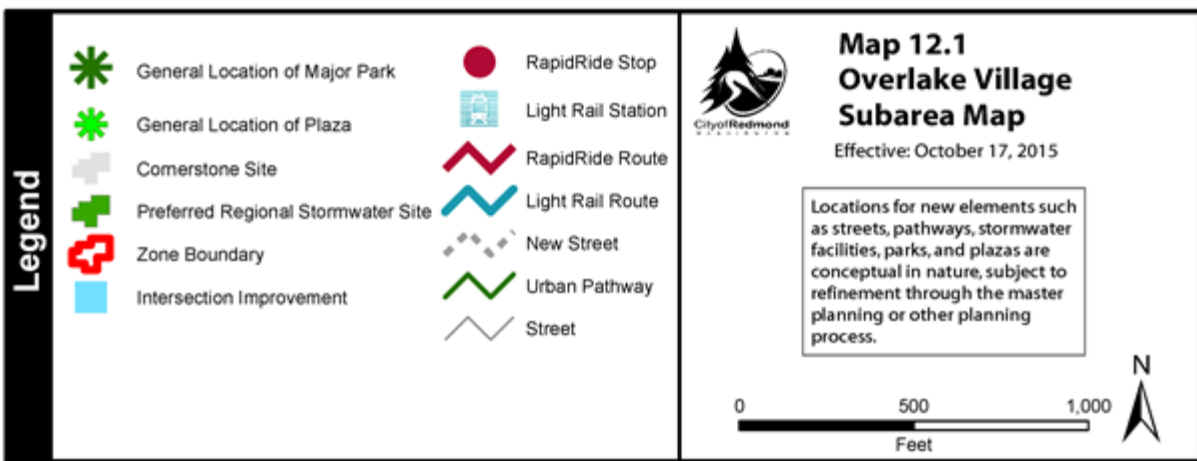
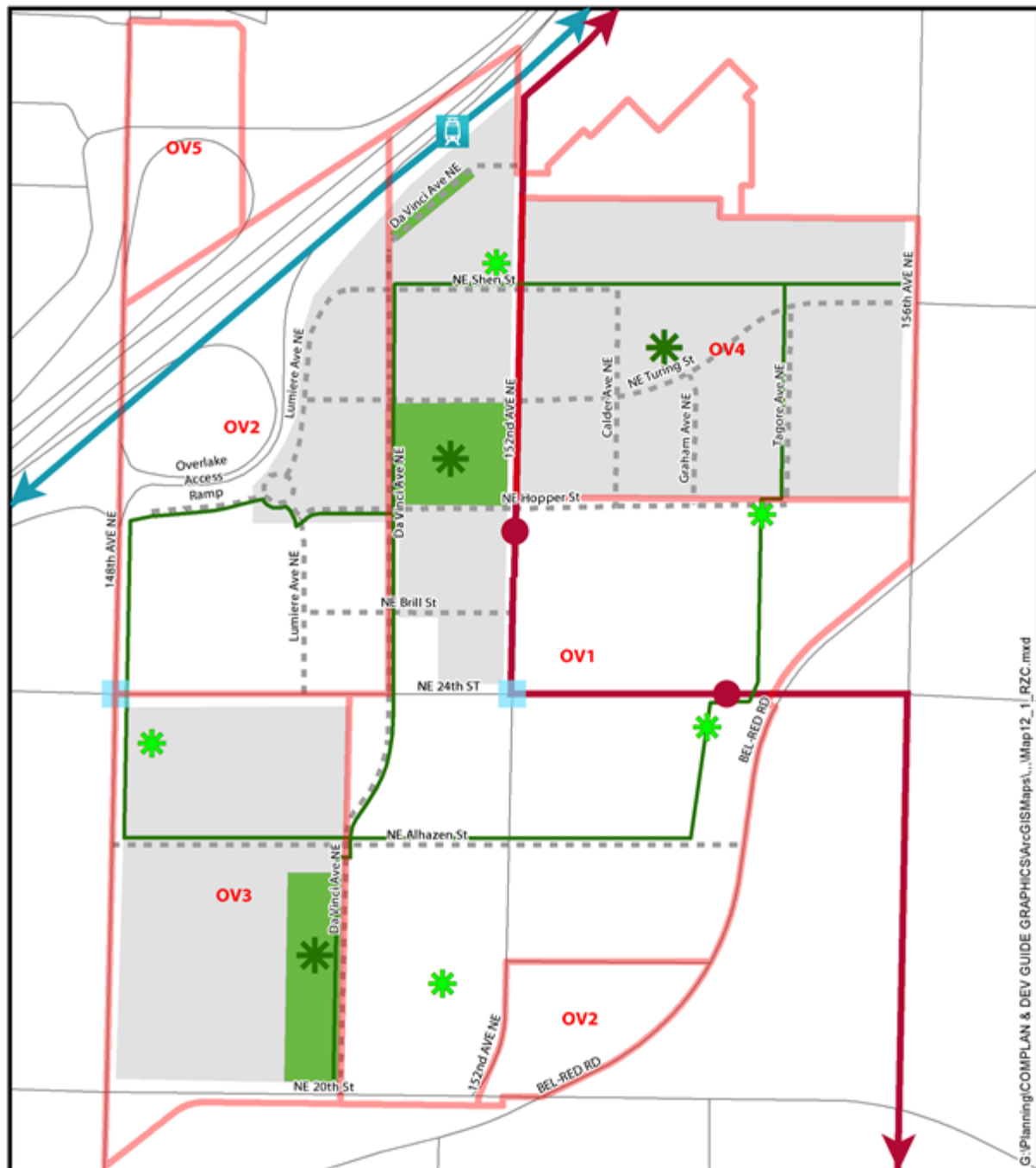
### **21.12.030 OV Subarea Map**

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- A. Preferred land uses and development patterns are designated by five zones, the boundaries of which are delineated on the City's zoning map and the subarea map below.
- B. Locations for new elements, such as streets, pathways, stormwater facilities, parks, and plazas, are conceptual in nature, subject to refinement through the master planning or other planning process.

#### **Map 12.1 Overlake Village Subarea Map**

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Note: Online users may click the map for a full-size version in PDF format.

(Ord. 2803)

Effective on: 10/17/2015

### 21.12.035 Regulations Common to All Uses

- A. Drive-through facilities are prohibited in all OV zones except where expressly permitted in the Allowed Uses and Basic Development Standards tables in RZC 21.12.040, 21.12.050, 21.12.060, 21.12.070, and 21.12.080

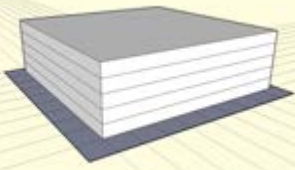
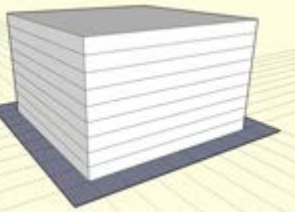
(Ord. 2652)

Effective on: 4/28/2012

### 21.12.040 OV Zone 1

- A. **Purpose.** Zone 1 encompasses a majority of the eastern half of Overlake Village, including both sides of 152nd Avenue NE. Residential uses are emphasized here as part of mixed-use developments. The land within this zone offers a strong opportunity to attract residents to this area due to its location within the core and proximity to transit options and the employment center to the north.

- B. **Maximum Development Yield.**

Table 21.12.040A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 1. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted. The following headings are used in the table:

- § = section number
- Use = Land use
- Max. FAR = Maximum floor area ratio
  - Base = Maximum FAR without any incentives applied
  - w/TDRs or GBP = With transferred development rights (TDRs) or green building and green infrastructure incentive program (GBP)
  - w/50% Res. = With 50 percent residential
  - w/IP = With incentive program

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

4. Min. Res. Floor Area = Minimum Residential Floor Area
5. Max. Height = Maximum Height
  - a. Base = Maximum height without any incentives applied
  - b. w/TDRs or GBP = With transferred development rights (TDRs) or green building and green infrastructure incentive program (GBP)
  - c. w/IP = With incentive program
6. Max. ISR / Min. LSR = Maximum impervious surface / minimum landscaped area
7. Parking Ratio = Parking ratio for the use
8. Special Regulations = Special regulations that apply to the use

Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4	50%	5; 6; 8	85% / 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential					Bed (0.75, 0.75)	
3	Dormitory					Bedroom (0.5, 1.0)	
4	Residential suite						
5	Housing Services for the Elderly	2.5; 2.5; 2.5; 4	50%	5; 6; 8	85% / 15%	See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental or service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 square feet gross floor area in a single use.</p> <p>D. Shall be considered a transitional use if:</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.040B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							<ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, provides services to buildings and dwellings, OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>F. Maximum building height of 9 stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.35	50%	4; 5; 8	85% / 15%	Rental room (1.0, 1.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Warehouse and storage services not permitted.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
<b>Transportation, Communication, Information, and Utilities</b>							
10	Road, Ground Passenger and Transit Transportation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station						B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.
13	Communications and Information					1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a software publisher or telecommunications and broadcasting; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for other publishing uses not listed above.</li> </ol>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.040B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							C. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. D. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
14	Local Utilities						A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
15	Regional Utilities		0%			Adequate to accommodate peak use	A. Requires a conditional use permit. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
16	Large Satellite Dishes / Amateur Radio Tower						A. See RZC 21.56, <i>Wireless Communication Facilities</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
17	Wireless Communication Facilities						A. See RZC 21.56. Wireless Communication Facilities, for specific development requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
<b>Arts, Entertainment, and Recreation</b>							
18	Arts, Entertainment, and Recreation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	Adequate to accommodate peak use	Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
19	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
20	Education, Public Administration, Health Care, and other Institutions, except those listed below	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	See Special Regulations	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
21	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, OV <i>Transitional Use Requirements</i> for transitional use requirements. B. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.040B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							<p>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</p> <p>C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
22	Religious Institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</p> <p>C. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</p> <p>D. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>E. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>F. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>G. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>Construction-Related Businesses</b>							
23	Construction-Related Businesses	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
<b>Other</b>							
24	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
25	Vending carts			1; 1; 1	85% / 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p> <p>F. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p>

**TABLE NOTES:**

- A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater
- B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date

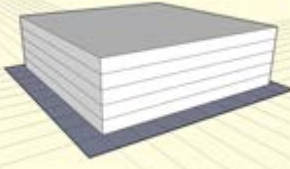
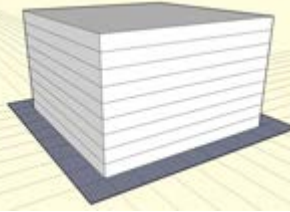
(Ord. 2803; Ord. 2836; Ord 2919)

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 4/14/2018

## 21.12.050 OV Zone 2

- A. **Purpose.** Two portions of Overlake Village are included in [Zone 2](#): the land northwest of the NE 24th Street/~~151st~~[DaVinci](#) Avenue NE intersection, and the area southeast of the NE 21st Street/152nd Avenue NE intersection. Commercial uses are emphasized here as part of mixed-use developments. These land areas are not as desirable for exclusively residential development due to their location along major arterials or near SR 520 and as such less housing is required in these areas than in Zone 1.
- B. **Maximum Development Yield.**

Table 21.12.050A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 2. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC [21.76.020](#), *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.050B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4.0	25%	5; 6; 8	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	Maximum building height of nine stories may be achieved through RZC <a href="#">21.12.170</a> , <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential						

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental or service;</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use residential developments.</p> <p>C. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070.K, <i>Conditional Use Permit</i></p> <p>D. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>F. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.	25%	4; 5; 8	85%; 15%	Rental room (1.0, 1.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 9	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may increase to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, emissions, vibrations, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. D. Maximum building height of 9 stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station						B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
13	Communications and Information					A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements. D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
14	Local Utilities		0%	Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.		
15	Regional Utilities						
16	Wireless Communication Facilities	A. See RZC 21.56, Wireless Communication Facilities, for specific development requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.					
Arts, Entertainment, and Recreation							

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
17	Arts, Entertainment, and Recreation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	Adequate to accommodate peak use	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
19	Education, Public Administration, Health Care and other Institutions, except those listed below					See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.</p>
20	Health and Human Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>B. Provisions for day care centers:</p> <ol style="list-style-type: none"> <li>1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>2. Play equipment shall be located no less than 10 feet from any property line.</li> <li>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol> <p>C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
21	Religious Institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)</p> <p>Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</p> <p>C. Storage locations of buses/vans over 10,000 gvwt shall be shown on a plan and screened from neighboring properties or right-of-way.</p> <p>D. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>E. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>F. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>G. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							H. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
<b>Construction-Related Businesses</b>							
22	Construction-Related Businesses	0.36; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
<b>Other</b>							
23	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
24	Vending carts			1; 1; 1	85%; 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>
<b>TABLE NOTES:</b> A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date							

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

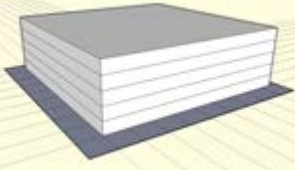
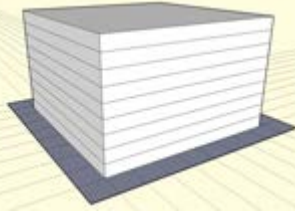
Effective on: 4/14/2018

## 21.12.060 OV Zone 3

- A. **Purpose.** Zone 3 encompasses a majority of the southwest quadrant of the Overlake Village, except for the land bordering 152nd Avenue NE. Regional retail is emphasized here as part of mixed-use developments. This land area has the highest visibility and is located along this zone's highest trafficked corridors.
- B. **Maximum Development Yield.**

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.060A**  
**Maximum Development Yield**

	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 3. To use the chart, first read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4.0	25%	5; 6; 9	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	<p>A. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>B. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
2	Mixed-Use Residential					Bed (0.75, 0.75)	
3	Dormitory					Bedroom (0.5, 1.0)	
4	Residential suite					See Special Regulations	
5	Housing Services for the Elderly						
<b>General sales or services</b>							
6	General Sales or Services	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 SF GFA (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>Gasoline service;</li> <li>Outdoor automobile sales and service; and</li> </ol>

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

**Table 21.12.060B  
Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							<p>3. Rental storage and mini-warehouses.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Automobile rental requires a conditional use permit (see RZC 21.76.070.K, <i>Conditional Use Permit</i>) and must comply with the following provisions:</p> <ol style="list-style-type: none"> <li>Shall not abut any residential zone.</li> <li>Rental uses operating in mixed-use developments are limited to eight rental vehicles at any given time in existing parking spaces; additional vehicles may be stored on-site in a building or elsewhere given submittal and approval by the Technical Committee of a vehicle storage plan.</li> <li>Vehicle display area shall be outside of required parking and landscape areas.</li> <li>Vehicles shall be stored on paved surfaces.</li> <li>Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.</li> <li>Outdoor loudspeaker systems are prohibited.</li> <li>Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>Vehicle repair shall be conducted indoors.</li> </ol> <p>D. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p> <p>E. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>F. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.35	25%	4; 5; 9	85%; 15%	Rental room (1.0, 1.0)	
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of <u>gross floor area</u> for the retail components of mixed-use developments.</p>
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Warehouse and storage services not permitted.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station						B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
13	Communications and Information		0%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
14	Local Utilities					Adequate to accommodate peak use	Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
15	Regional Utilities						See RZC 21.56, <i>Wireless Communication Facilities</i> .
16	Wireless Communication Facilities						
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	Adequate to accommodate peak use	
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	See Special Regulations	Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if less than 51 percent of a business' transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>B. Provisions for day care centers:</p> <ol style="list-style-type: none"> <li>1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>2. Play equipment shall be located no less than 10 feet from any property line.</li> <li>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol>
21	Religious Institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<p>A. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</p> <p>B. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</p> <p>C. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>D. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>E. Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>F. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p> <p>G. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>Construction-Related Businesses</b>							
22	Construction-Related Businesses	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p>
<b>Other</b>							
23	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
24	Vending carts			1; 1; 1	85%; 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>

**TABLE NOTES:**

- A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater
- B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

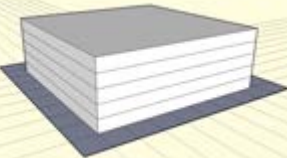
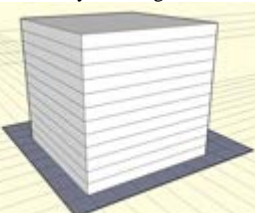
# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 4/14/2018

## 21.12.070 OV Zone 4

A. **Purpose.** **Zone 4** provides for redevelopment of a unique 28-acre, sloped site located at the core of the Overlake Village. This site is intended to provide a compact, mixed-use development with substantial residential development, as well as employment, retail and services, which are integrated with a major urban neighborhood public park that provides a central gathering place through plazas and green spaces. The substantial residential component is intended to achieve a site that is active during the day and during the evening, supports retail and other commercial space that is developed on the site, and supports the site as a transit-oriented place. For that reason, a 50 percent minimum residential floor area requirement is established. With its central location and proximity to major employers, the site is well-suited for pedestrian- and transit-supportive development. The design and development of this district will be controlled by a Master Plan. The Master Plan ensures that development here carries out the vision for Overlake.

### B. Maximum Development Yield.

Table 21.12.070A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	2.9	TDRs or GBP: 0.05 Incentive Program: 2.25	5.2	Example of a 5-story building with FAR = 2.9	Example of 9-story building with FAR = 5.2
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 6 stories	12 stories		

C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 4. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.070B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
	Residential						

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.070B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
1	Multifamily Structure	2.5; 2.5; 4.0	50%	5; 6; 12	85%; 20%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	<p>A. An applicant may use an alternate method to calculate the 50 percent minimum residential floor area requirement for a proposed Master Plan. If used, the alternative method shall be described in a Development Agreement for the proposed Master Plan, and shall meet the intent of the 50 percent residential floor area requirement, which is described above in RZC 12.12.070.A, <i>Purpose</i>.</p> <p>B. 2. Height not to exceed 125 feet through Overlake Village Incentive Program.</p>
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	<p>A. Height not to exceed 125 feet through Overlake Village Incentive Program.</p> <p>B. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental and service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 square feet gross floor area in a single use.</p> <p>D. Height not to exceed 126 feet through Overlake Village Incentive Program.</p> <p>E. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p> <p>F. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 sq ft gfa (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 sq ft gfa (10.0, 10.0)</li> </ol> <p>G. Parking for the following uses may be reduced as described below provided the Technical Committee finds there is sufficient data and analysis upon which the reduction is based to demonstrate that adequate parking will be provided, including shared parking:</p> <ol style="list-style-type: none"> <li>1. Parking for sit-down and carry-out restaurants may be reduced to not less than two (2) spaces per 1,000 square feet gross floor area;</li> <li>2. Parking for restaurants, cafes or delis with less than 750 square feet gross floor area may be reduced to zero spaces.</li> </ol>
7	Hotels, Motels and Other Accommodation Services	.4; .47; 1.2	50%	4; 5; 12	85%; 20%	Rental room (1.0, 1.0)	Height not to exceed 135 feet through Overlake Village Incentive Program.
8	Marijuana retail sales	.4; .47; 1.0	0%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.070B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. Wholesale trade establishments and warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Height not to exceed 126 feet through Overlake Village Incentive Program.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	Height not to exceed 126 feet through Overlake Village Incentive Program.
11	Rapid charging station					Adequate to accommodate peak use	A. Height not to exceed 126 feet through Overlake Village Incentive Program. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
12	Battery exchange station						
13	Communications and Information					1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Height not to exceed 126 feet through Overlake Village Incentive Program.
14	Local Utilities		Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> B. Height not to exceed 126 feet through Overlake Village Incentive Program.			
15	Regional Utilities						
16	Wireless Communication Facilities	See RZC 21.56. <i>Wireless Communication Facilities</i> , for specific development requirements.					
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	Adequate to accommodate peak use	Height not to exceed 126 feet through Overlake Village Incentive Program.
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	See Special Regulations	A. Religious institutions not permitted. B. Height not to exceed 126 feet through Overlake Village Incentive Program. C. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

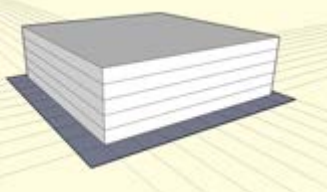
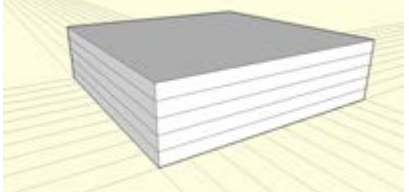
Table 21.12.070B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							B. Height not to exceed 126 feet through Overlake Village Incentive Program.
<b>Construction-Related Businesses</b>							
21	Construction-Related Businesses	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. Shall include a showroom open to the general public. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Height not to exceed 126 feet through Overlake Village Incentive Program.
<b>Other</b>							
22	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
23	Vending carts			1; 1; 1	85%; 15%		B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures.

(Ord. 2642; Ord. 2803; Ord 2836; Ord. 2919)

Effective on: 4/14/2018

## 21.12.080 OV Zone 5

- A. **Purpose.** Zone 5 is located north of the SR 520 interchange and encompasses approximately 1.7 acres of the Overlake Village. Commercial uses are emphasized here due to the site's location next to the freeway interchange, highly trafficked arterial, and the immediately surrounding employment campuses. Residential uses are permitted but not required.
- B. **Maximum Development Yield.**

Table 21.12.080A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	Incentive Program: 1.3	5	Example of a 5-story building with FAR = 3.7	
Height	5 stories	None in this example	5 stories	 	

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 5. To use the chart, first read down the left-hand column titled

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

“Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.080B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 4.0	0%	5; 5; 5	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	<p>A. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>B. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental and service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 sq ft gross floor area in a single use.</p> <p>D. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, or provides services to buildings and dwellings; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>F. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 sq ft gfa (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 sq ft gfa (10.0, 10.0)</li> </ol> <p>G. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.080B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.35	0%	4; 5; 5	85%; 15%	Rental room (1.0, 1.0)	
8	Marijuana retail sales	.36; .41; .55	0%	4; 5; 5	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft (2.0, 3.0)	A. Wholesale trade establishments and warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
<b>Transportation, Communication, Information, and Utilities</b>							
10	Road, Ground Passenger and Transit Transportation					1,000 sq ft gfa (2.0, 3.0)	
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
12	Battery exchange station						
13	Communications and Information	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business's transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
14	Local Utilities						Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
15	Regional Utilities					Adequate to accommodate peak use	Requires a conditional use permit. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
16	Wireless Communication Facilities						See RZC 21.56. Wireless Communication Facilities for specific development requirements.
<b>Arts, Entertainment, and Recreation</b>							
17	Arts, Entertainment, and Recreation	.36; .41; .55	0%	4; 5; 5	85%; 15%	Adequate to accommodate peak use	
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Table 21.12.080B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.36; .41; .55	0%	4; 5; 5	85%; 15%	See Special Regulations	A. Religious institutions not permitted. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. B. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone.
Construction-Related Businesses							
21	Construction-Related Businesses	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
Other							
22	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
23	Vending carts			1; 1; 1	85%; 15%		B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures.

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

Effective on: 4/14/2018

### 21.12.090 OV Floor Area

- A. All legal lots are allowed the greater of either the maximum allowed FAR or 10,000 square feet of buildings provided all other applicable site requirements are met.
- B. The FAR for nonresidential and residential uses within a given development are individually calculated and maybe added together for a cumulative total, provided that the respective maximum FAR for each use is not exceeded, unless otherwise provided for.
- C. Floor area ratio calculations shall be based on the gross site area prior to any provision of space for public amenities.
- D. *Repealed.*

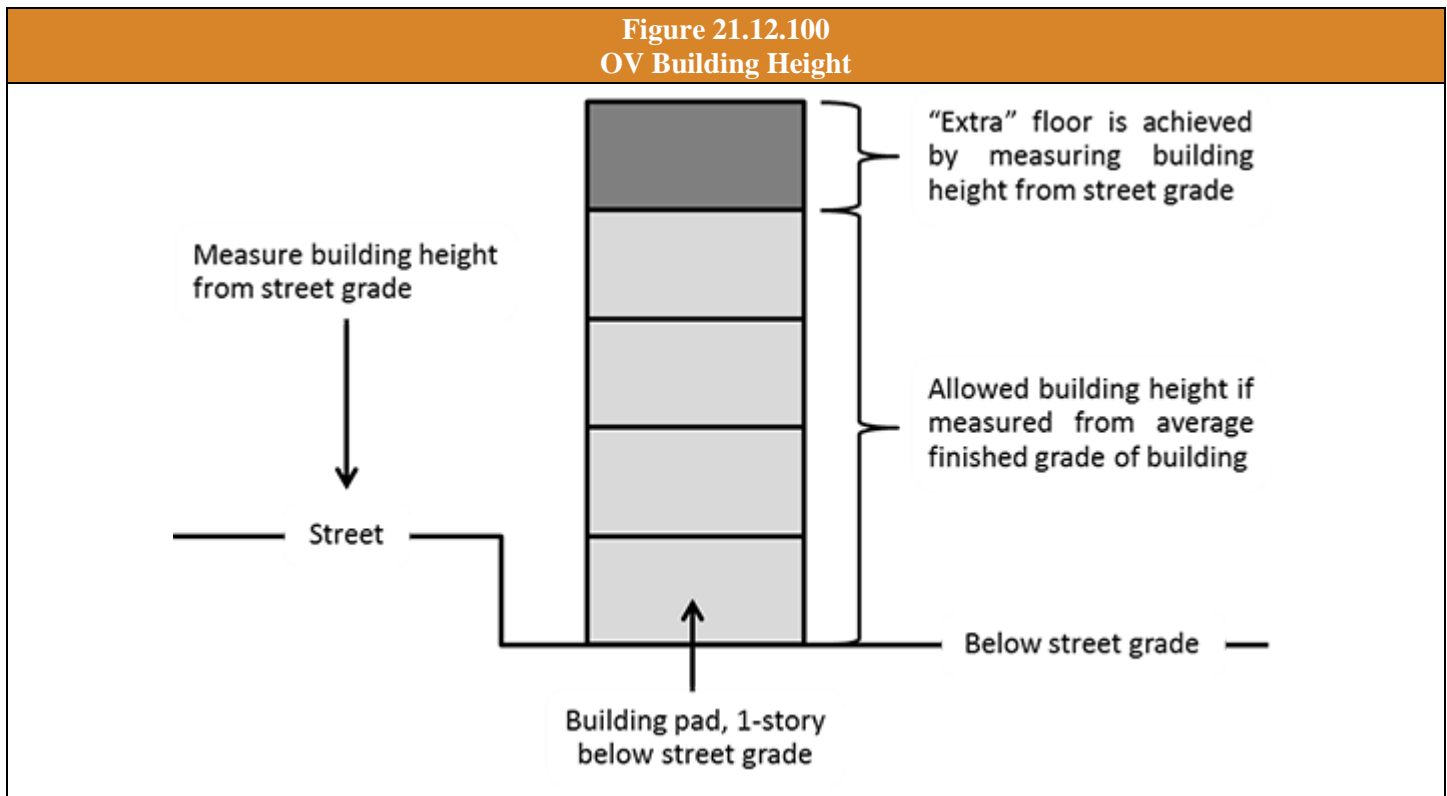
(Ord. 2709)

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 10/26/2013

### 21.12.100 OV Building Height

- A. **Height Tradeoff.** The maximum building height on a site may be exceeded when building height reductions are required at building edges, along a street or park, to achieve better design and stepped building height through the land use permit process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without use of bonuses or transfer of development rights) shall not exceed the floor area that was removed or omitted to create the stepped building facade and shall not exceed one additional floor above the prescribed maximum building height.
- B. In areas where an adjacent public or private street will be more than one story above the ground floor elevation of a building because of topography (such as the southwest corner of NE 90th Street and Redmond-Woodinville Road), building height may be measured from the grade of the higher public or private street, instead of from average finished grade of the building. Building height as measured from the grade of the public or private street shall not exceed maximum building height (including bonuses, if any), and the entire site shall comply with applicable FAR limits. See Figure 21.12.100, *OV Building Height*, below.



- C. To achieve an appropriate transition between major public streets and development interior to Zone 4, maximum building height within 50 feet of the rights-of-way of 152nd Avenue NE and 156th Avenue NE shall be six stories measured from the closest edge of the property to the right-of-way. Bonuses or transferred development rights may not be used to exceed this limit.

Effective on: 4/16/2011

### 21.12.110 OV Parking Standards

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- A. Developments may provide parking in excess of the maximum allowed parking standard shown in RZC 21.12.040 through 21.12.080, OV Zones 1 through 5, provided the excess parking is also available at all times to the general public, and there is signage at the facility to inform users which parking stalls are available for public use.
- B. Alternative parking standards may be specified in a City-approved Master Plan or site plan when a change is supported by the Overlake Parking Management Plan, a City review of parking in one or more Overlake zones, or a property owner-initiated parking analysis.
- C. Curbside parking on public streets within a development site may count toward up to 25 percent of the required off-street parking. When all or part of the street right-of-way is dedicated by the development site property owner or a predecessor in title, curbside parking shall be fully counted toward satisfaction of the off-street parking requirement. Curbside parking on 152nd Avenue NE or 156th Avenue NE shall not be counted toward off-street parking. Curbside parking on private streets that are part of the development site shall be fully counted toward satisfaction of the required off-street parking requirement. (Ord. 2642)

Effective on: 4/16/2011

### 21.12.120 OV Residential Usable Open Space

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- A. **General Requirement.** The minimum residential usable open space requirement establishes the minimum percentage of a development that must be set aside to provide usable open space for residents. Every development that includes residences shall provide usable open space in an amount equal to or greater than 6.25 percent of the gross residential floor area.
- B. **Alternatives for configuration of the total amount of usable open space.**
  - 1. Common open space is open space that is open to all residents. It includes landscaped courtyards or decks, gardens with pathways, children's play areas, and other multipurpose recreational or green spaces. Except for rooftop open space, it may be used to meet 100 percent of the usable open space requirement.
  - 2. Common open space shall be large enough to provide functional leisure or recreational activity as determined by the Technical Committee. The average minimum dimension shall be 20 feet, with no dimension less than 12 feet.
  - 3. Private open space is open space that is not open to all residents. It includes balconies, patios, and other multi-purpose recreational or green spaces. It may be used to meet up to 50 percent of the usable open space requirement. Private open spaces shall be at least 50 square feet, with no dimension less than five feet.
  - 4. Rooftop open space may be used to meet up to 50 percent of the usable open space requirement, except for rooftop open space described in subsection (5) below.
  - 5. In some circumstances, a rooftop may be accessible from street grade because of significant slopes on a site. In such instances, rooftop open space built at street grade and open to the general public may be used to meet 100 percent of the usable open space requirement.
- C. **Combining Usable Open Space and Pedestrian Access.** Parking areas, driveways, and pedestrian access other than pedestrian access required by Washington State Rules and Regulations for Barrier-Free Design shall not be counted as usable open space, except any pedestrian path or walkway traversing through the open space if the total width of the common usable open space is 18 feet or wider.

Effective on: 4/16/2011

### 21.12.130 OV Landscaping

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- A. **General Requirement.** All setbacks, buffers, open spaces, pervious surfaces, plazas, parks, site and building entrances, pedestrian walkways, service areas, and parking lots shall be landscaped with plant materials. Existing vegetation may be maintained and applied toward this standard if the existing vegetation meets the landscaping requirements of this section, is healthy, and is likely to survive development. The requirements specified in [RZC 21.32, Landscaping](#), shall apply except to the extent that they conflict with landscaping practices appropriate to an urban center. In addition, supplemental landscaping requirements for Overlake Village are defined below.
- B. **Plantings Along Streets.** At a minimum, planting strips along streets shall include street trees per the City's standards for type and species. Where space allows, planting areas should include other vegetation suitable for an urban setting. Tree planting pits on streets that include Furniture Zones per [RZC 21.12.150, OV Street Cross Sections](#), shall be covered with cast-iron tree grates of a type that meets ADA requirements.
- C. **Open Space and Plazas.**
1. Plazas and common usable open spaces shall be landscaped to create visual interest by providing a variety of colors, heights, and forms of foliage; soften building edges; and reduce the impact of elements such as noise or wind.
  2. The quantity of trees, shrubs, and other plant materials shall be designed to meet the size and function of the plaza or open space.
- D. **Zone 5 Buffers.**
1. Properties in Zone 5 shall provide a landscape buffer at least 20 feet in width along street frontages where any portion of the street bordering the development site borders a residential zone within a neighboring jurisdiction.
  2. The buffers shall be planted with the following materials:
    - a. Minimum of one tree per 200 square feet of buffer area. No more than 40 percent of trees may be deciduous.
    - b. Evergreen shrubs, a minimum of five gallon in size. The area covered by the shrubs shall equal at least one-third of the buffer frontage.
    - c. Groundcover plantings to cover the ground within three years.
    - d. Plant materials shall be drought tolerant and at least 50 percent native species by area.
    - e. Trees and other plant materials required by this section shall be located so that they effectively buffer the development from bordering residential properties. The buffer need not completely obscure the development; rather it should screen it.
  3. Up to 20 percent of the buffer area may be used for streets, driveways, utility crossings, trails, or ground level features such as patios. Other structures may not be placed in required buffers.
  4. Buffers may be counted towards required open space, required pervious surfaces, setbacks, and other requirements in the Use and Bulk Regulations that they meet.
  5. Buffers may include landscaped on-site stormwater management BMPs such as bioretention or rain gardens.

(Ord. 2858)

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 12/17/2016

### 21.12.140 OV Transitional Use Requirements

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- A. **Purpose.** The purpose of this section is to provide for the transition of properties consistent with the adopted vision and plan for Overlake Village as a multistory mixed-use/residential urban neighborhood. This section is intended to ensure fairness to existing uses and property owners while also recognizing that the eventual redevelopment of these properties is consistent with and carries out the City's adopted goals, policies, and plans.
- B. Transitional uses indicated in the Use and Bulk Regulation Tables in RZC 21.12.040 (*OV Zone 1*), 21.12.050 (*OV Zone 2*), 21.12.060 (*OV Zone 3*), and 21.12.080 (*OV Zone 5*) shall:
1. Only be located within the building footprint existing on any property as of December 11, 2007;
  2. Not exceed 25,000 square feet gross floor area; and
  3. Together with other transitional uses on the property, not comprise more than 70 percent of the total floor area for the buildings existing on the property under the ownership of record as of December 11, 2007.
- C. The desirability of allowing transitional uses to continue shall be reviewed prior to December 12, 2012, and every five years after that, at a minimum, in order to determine whether allowing such uses to continue is compatible with the vision for Overlake. Unless City Council amends these regulations to prohibit transitional uses as the result of the review, the uses shall continue for an additional five years. If City Council amends these regulations to prohibit the transitional uses, all such uses with a Redmond business license located in Overlake Village zone at the time of the amendment shall become legal nonconforming uses. A transitional use located within Overlake Village zone that becomes a legal nonconforming use shall be allowed to expand consistent with the conditions outlined in (B) above. If a legal nonconforming use vacates the premises in which it is located, the use may be replaced by any other transitional use that was allowed by the code as adopted on December 11, 2007.

Effective on: 4/16/2011

### 21.12.150 OV Street Cross Sections

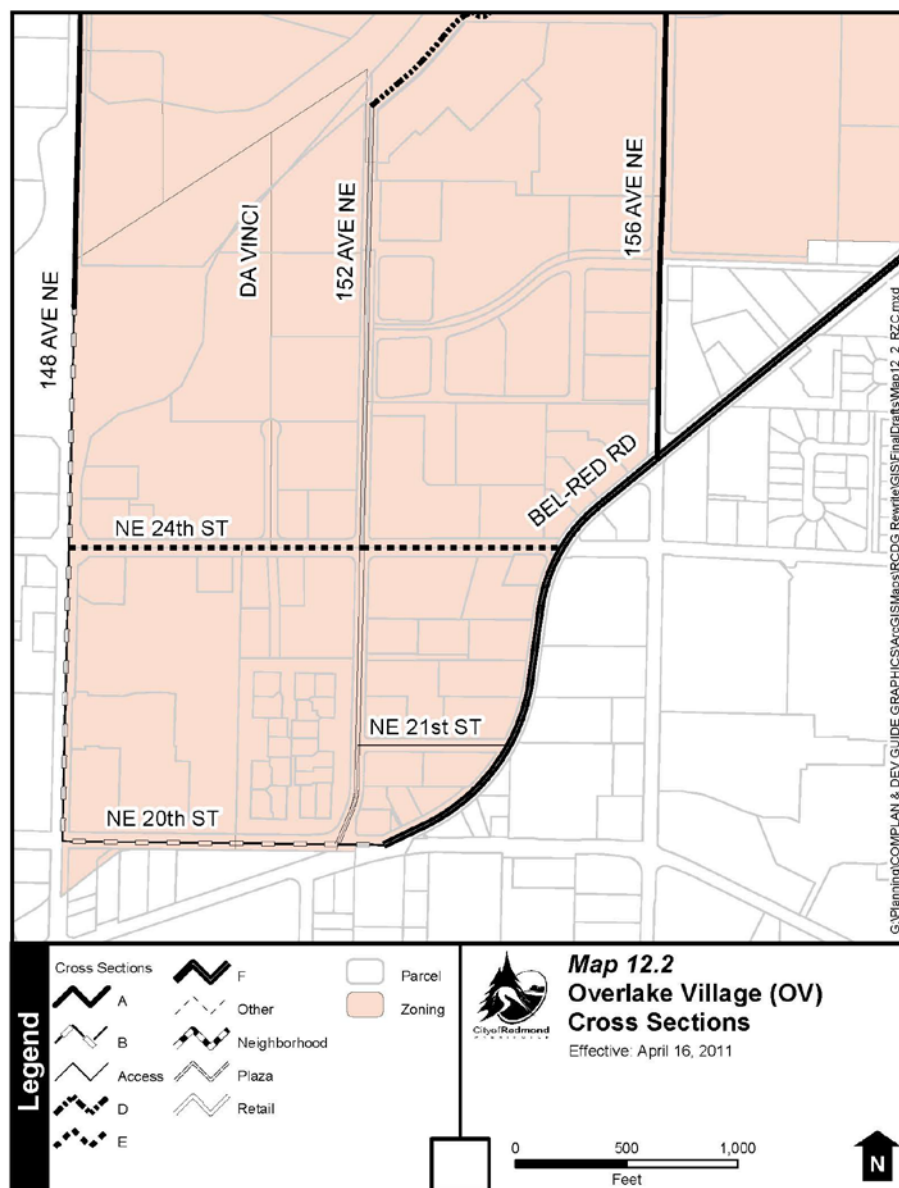
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- A. **Guidelines for Application.**
1. The Technical Committee shall review and approve each component of the street cross section on a project-by-project basis and has the authority to alter street cross section widths and uses, including utility locations.
  2. Street cross section widths apply at the middle of the block.
    - a. The widths and existence of each component may vary at intersections, as determined by the Technical Committee.
    - b. Intersection design shall be based upon the Pedestrian System Plan, and Bicycle System Plan, and Design Guidance chapters of the Transportation Master Plan; the Bicycle Facilities Design Manual; the City's Construction Specifications and Design Standards for Streets and Access; and any corridor study adopted by the City Council for the street(s) in question.
  3. Provisions of medians and left turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes and collision history, and using recognized engineering standards, such as those published by AASHTO, ITE, or other recognized authority.
  4. Utilities, such as power, telephone, and cable, shall be placed under the sidewalk.

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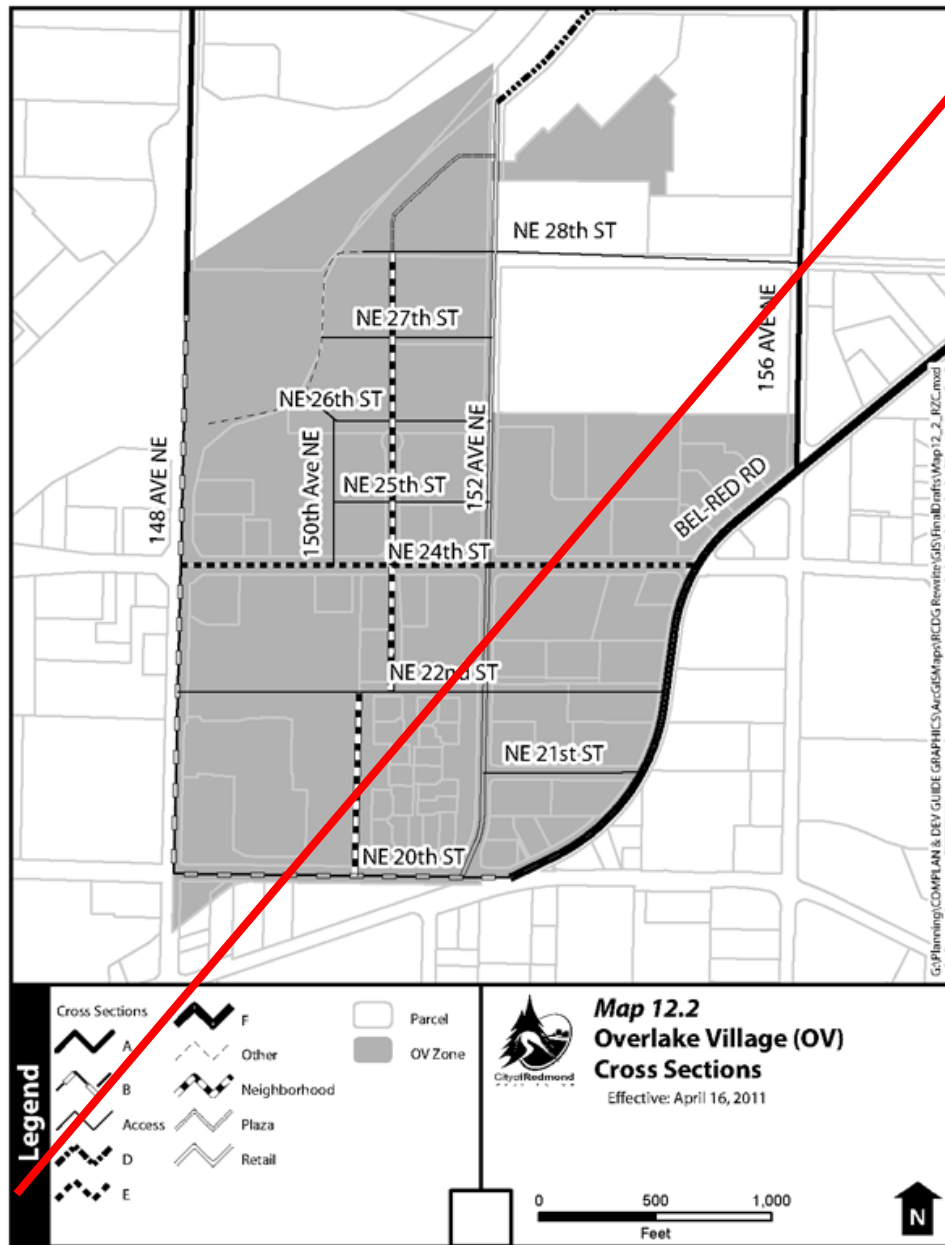
5. When designing multimodal corridors refer to the Modal Corridors section of Transportation Master Plan. Corridors shall support all modes.
6. Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.

**Figure 21.12.150A**  
**Overlake Village (OV) Cross Section**  
*(insert the following map)*



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

*(Repeal the following map)*



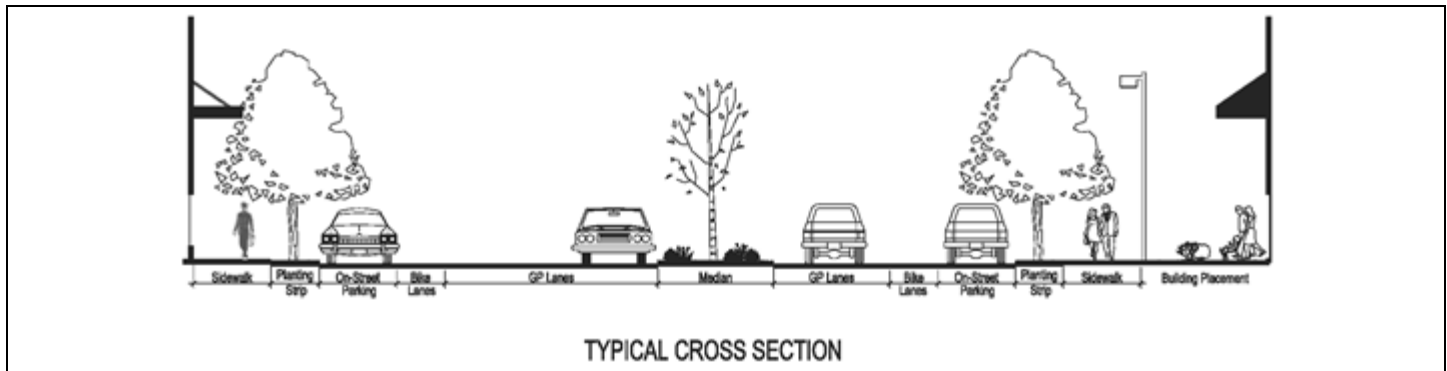
*Note: Online users may click the map for a full-size version in PDF format.*

### B. Site Requirements by Cross Section.

1. The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2, Overlake Village (OV) Cross Sections. Other street cross sections are described in the table in subsection (2) of this section.

**Figure 21.12.150B**  
**Illustrative OV Cross Section**

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



**Table 21.12.150A  
Site Requirements by Cross Section**

	Cross Section			
Standard	A	B	E	F
Right of Way Geometry				
Total right-of-way	90	86	82	89
Sidewalk	8 (SB/WB); 12 (NB/EB)	8 (Both Sides)	8 (Both Sides)	6 (Both Sides)
5-Foot Planting Strip or 4-Foot Furniture Zone with Tree Grates	5 (Both Sides)	5 (Both Sides)	5 (Both Sides)	5 (Both Sides)
On-Street Parking	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)
Bike Lane	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)	5.5 (Both Sides)
GP Lanes	24 (Both Sides)	24 (Both Sides)	22 (Both Sides)	22 (Both Sides)
Median / Two Way Left Turn Lane	12	12	12	12
Building Placement				
Build-To Line (Front and Side Street)	10	1	2	1
Setback Line (Side and Rear)	0	0	0	0
Building Use				
Ground Floor Uses	Residences prohibited. Offices or recreational areas associated with residential uses allowed.			
Notes				
Notes	A. Separate multiuse path parallel to corridor. B. Street section shared by Bellevue and Redmond. C. Outside GP lane 13 feet. Inside GP lane 11 feet.	Outside GP lane 13 feet. Inside GP lane 11 feet.		

3.

2. The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2, Overlake Village (OV) Cross Sections. Other street cross sections are described in the table in subsection (1) of this section.

**Table 21.12.150B  
Cross-Section Requirements for Other Streets**

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Street type	Total right-of-way (feet)	Description of Street	Ground Floor Uses	Notes
Retail street	100	This is an urban main street that is intended to be the linear core within Overlake Village and attract significant numbers of people to multiple activities. It is intended to include within the mix of uses at street level restaurants, retail, cultural and entertainment uses, personal services and similar businesses that are pedestrian oriented. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary, wide sidewalks, protected bikeways, and curbside parking.	uses required; residential uses prohibited.	Design details are located in Appendix 7 of the Redmond Zoning Code.
Neighborhood street	88	This street creates a green connection between the light rail station, Overlake Village open spaces, and the rest of the neighborhood. Street level uses are expected to include a mix of residential and pedestrian-oriented commercial uses. Key features of the street cross section include: one vehicle travel lane in each direction, wide sidewalks, bicycle lanes, urban pathway, and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Access street	75	These streets provide local access and areas for driveways and loading. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary, wide sidewalks, urban pathway and bicycle lanes (some segments), and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Plaza street	57	This street fronts the Overlake Village light rail station and is adjacent to a future public plaza. Key features of the street cross section include: one vehicle travel lane in each direction; pedestrian zones that blend with the plaza, street, and station, low vehicle speeds, and light rail passenger pick-up and drop-off opportunities.		Design details are located in Appendix 7 of the Redmond Zoning Code.

### C. Ground Floor Uses.

1. General Requirement. Ground floor uses are established in RZC 21.12.150.B, *Site Requirements by Cross Section*. This section establishes requirements regarding ground floor uses specified in the chart.
2. Pedestrian-Oriented Use Requirements. Where pedestrian-oriented ground floor uses are required, the following requirements must be met, in addition to the design requirements found in RZC [Article IV](#), *Design Standards*.
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous; and
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
3. In locations where ground floor residential units are permitted, either:
  - a. The units shall be set back a minimum of 10 feet from the back of the required setback zone, or
  - b. All living areas with windows shall be elevated above the street grade at least three feet.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- c. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

(Ord. 2652; Ord. 2803)

Effective on: 10/17/2015

### 21.12.160 OV Urban Pathway

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- A. As properties are developed, corresponding portions of the urban pathway shown on Map 12.1, Overlake Village Subarea Map, shall be installed by the property owner/developer. In the event that the Technical Committee determines that installation should be delayed to accommodate a more comprehensive planned future improvement of the urban pathway, the property owner/developer shall pay the cost of the installation to the City in lieu of installation. In order to provide flexibility, the actual alignment shall be determined through the Site Plan Entitlement process.
- B. The improvements shall include a 12-foot-wide concrete path with eight feet of landscaping on both sides as part of a 28-foot corridor with pedestrian lighting and connections to existing or planned plazas or open spaces. The Technical Committee may approve alternatives to concrete if site or design conditions warrant. Where the pathway follows existing or planned streets or extends along retail storefronts, the corridor width may be reduced through the Site Plan Entitlement process.
- C. The landscaping shall include a combination of trees, shrubs and other plant materials to enhance visual interest and create a parklike quality along the pathway. A landscaping plan shall be submitted to and approved by the Technical Committee and may provide for varying types and quantities of landscaping along the pathway to provide compatibility with the adjoining land use. For example, the landscaping could include more shrubs and groundcover and fewer trees where visibility of retail storefronts is needed.

Effective on: 4/16/2011

### 21.12.170 OV Incentive Program

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- A. **Purpose.** The purpose of this section is to enhance the character and overall livability of Overlake Village. The incentive program does this by incentivizing features that implement neighborhood goals and respond to needs for public amenities, housing opportunities, and environmental sustainability. The incentive program reduces the cost of these features by allowing increased building height and floor area, as well as additional permitted uses. This section also indicates the City's priorities for provision of these desired features.
- B. **Features and Incentives.**
  - 1. Table 21.12.170A, *Priority Features and Incentives*, indicates high-priority features and maximum incentives available in each zone. Table 21.12.170B, *Additional Features and Incentives*, indicates additional bonus features and incentives. Following the tables, subsection D. explains the features in detail.
  - 2. In order for sites to qualify for development incentives the applicant must provide the applicable feature(s) described in Table 21.12.170A, *Priority Features and Incentives*.
  - 3. An applicant may provide additional features from Table 21.12.170A or 21.12.170B to qualify for additional development incentives. The same land area may not be used to qualify for two bonus features. For example, an applicant whose site is shown for a major park on Map 12.1, *Overlake Village Subarea Map*, and who satisfies that requirement must provide additional space for an outdoor plaza in order to receive additional development incentives.

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### C. Restrictions.

1. Features provided through this program for parks, stormwater facilities or plazas may not be counted toward satisfaction of the minimum usable open space requirements in RZC 21.12.120, *OV Residential Usable Open Space*.
2. Transfer of Development Rights may not be used to exceed the maximum building height allowed through this program.

**Table 21.12.170A  
Priority Features and Incentives**

	Priority Feature	Applicable Zones	Maximum Incentive Per Feature
1.	Regional Management Facility	1 and 3 as indicated on map	Three additional stories for all residential buildings in the development, Four additional stories for all commercial buildings in the development, Additional 1.5 FAR for residential uses, and Additional 0.19 FAR for commercial uses.
2.	Major Park	4	Three additional stories for all residential buildings in the development, Four additional stories for all commercial buildings in the development, Additional 1.5 FAR for residential uses, and Additional 0.15 FAR for commercial uses.
3.	Plaza Dedication	1, 2, 3, 4, 5	One additional story for 50 percent of the buildings in the development
4.	Plaza Improvement	1, 2, 3, 4, 5	One of the following: Additional 1.5 FAR for residential uses, or Additional 0.15 FAR for commercial and hotel uses, or One additional story for 50 percent of the buildings in the development, or Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.

**Table 21.12.170B  
Additional Features and Incentives**

	Additional Features	Applicable Zones	Maximum Incentive Per Feature
5.	Green Building or Development	1, 2, 3, 4, 5	One additional story for each building designed and constructed to meet the certification described in RZC 21.67, <i>Green Building and Green Infrastructure Incentive Program</i> (GBP), and Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.
6.	Residential Uses Above Minimum Required	1, 2, 3, 4	One additional story for all buildings in the development.
7.	Subterranean Parking	1, 2, 3, 4, 5	One additional story for all buildings in the development, Additional 1.5 FAR for residential uses, Additional 0.15 FAR for commercial uses, and Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.
8.	Combination Subterranean and Wrapped Structured Parking	1, 2, 3, 4, 5	Select one of the incentives offered for Feature 7.
9.	Affordable Housing Above Minimum Required	1, 2, 3, 4, 5	Additional residential floor area at 2.5 times the equivalent floor area for each affordable unit provided above the minimum requirement of 10 percent of the total dwellings, up to a maximum total residential FAR of 3.75. The bonus residential floor area may be used to increase building height by up to one story.

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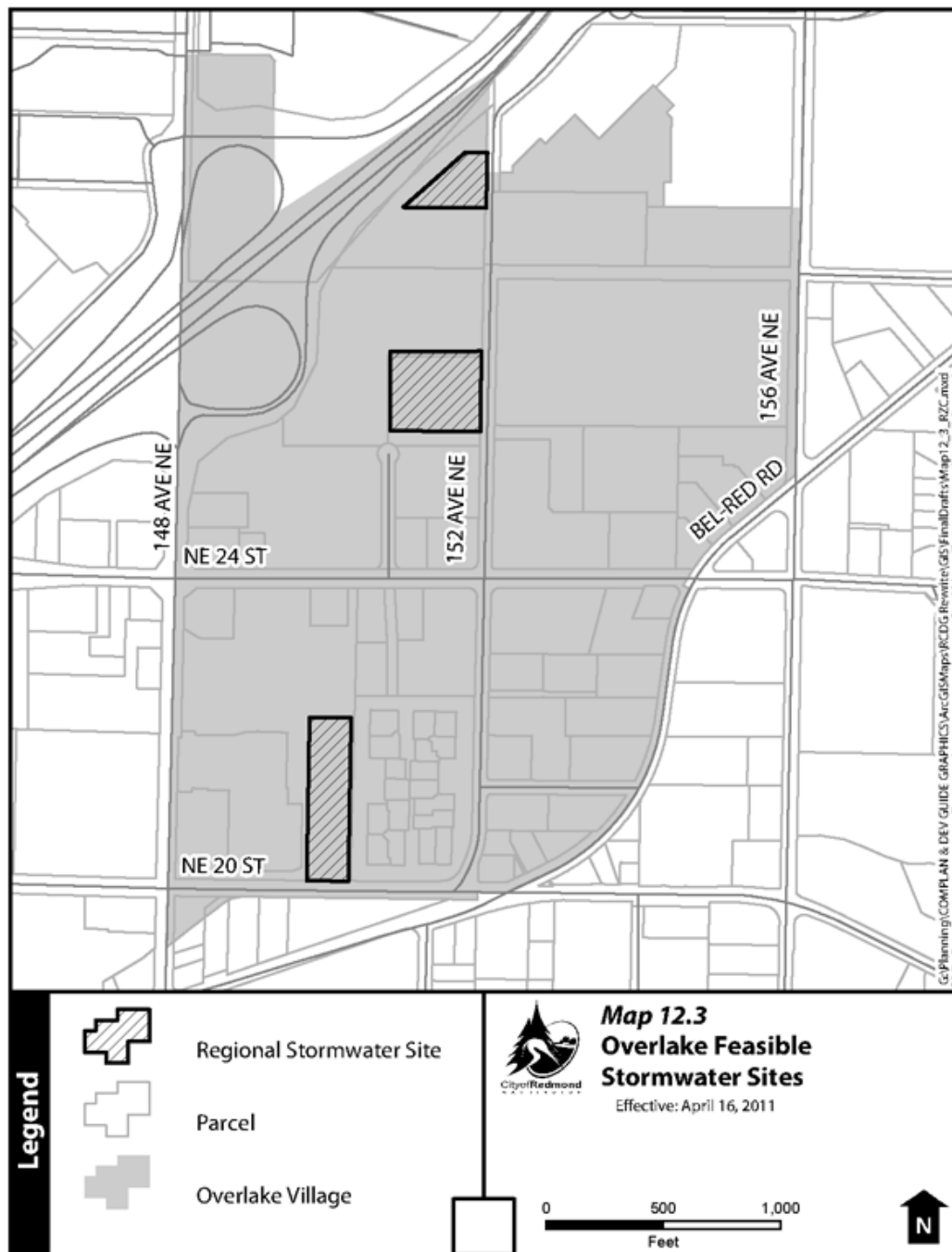
10.	Hotel and conference center, full service	4	Two additional stories for hotel and conference center, full service buildings; and Additional .20 FAR for commercial development.
11.	Transit-Oriented Development	4	One additional story for commercial buildings and two additional stories for residential and full service hotel/conference center buildings; and Additional .25 FAR for commercial development; and Additional .75 FAR for residential development. Undeveloped transit-oriented development bonus FAR may be transferred from one site to another site that satisfies the criteria for the bonus.

### D. Features Explained.

1. Regional Stormwater Management Facility: Dedicate two to four acres of land to the City of Redmond for use as a regional stormwater management facility. Map 12.3, *Overlake Feasible Stormwater Sites*, indicates properties to which this provision applies.

### Map 12.3 Overlake Feasible Stormwater Sites

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



*Note: Online users may click the map for a full-size version in PDF format.*

D.

2. Major Park: Provide a minimum of 2.5 acres of land that is accessible and welcoming to the public as an urban park and open space.
  - a. May be in one or two open space areas, with one of the spaces a minimum of 1.5 acres in size to provide sufficient size for informal recreation. If provided in two areas, these spaces shall be contiguous or connected by a pathway which promotes a clear visual connection and relationship

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between the spaces. The pathway shall be designed at a minimum to meet the requirements of RZC 21.12.160, *OV Urban Pathway*. Visual connection may be achieved through proximity of the spaces or through enhanced design treatments along the pathway which enable pedestrians to readily perceive the connection between the spaces.

- b. The intended character of the open space(s) is to:
    - i. Include a balance of open lawn and trees;
    - ii. Include hard surfaces, such as plazas, as well as soft surfaces, such as lawns;
    - iii. Provide a central gathering place and a place that can be programmed, such as for concerts;
    - iv. Include space for refuge as well as space for active recreation, such as small play areas;
    - v. Help serve needs for a variety of ages from children through seniors; and
    - vi. Be located either near 152nd Avenue NE or provide a clear connection to 152nd Avenue NE through at least one pathway.
  - c. The City and applicant shall establish an agreement regarding the design, funding, and timing for completion of improvements for this park. The completion of improvements for this park shall be commensurate with the progress on the construction of the development.
  - d. The space shall be dedicated to the City of Redmond or be subjected to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
3. Plaza Dedication. Provide a minimum of five percent of the gross site area, an equivalent fee-in-lieu based on fair market value, or a combination of land and fee for the purpose of providing space for an outdoor plaza.
- a. The space shall be dedicated to the City of Redmond or be subject to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
  - b. The Technical Committee shall review and determine whether proposed sites qualify for plaza locations based on considerations including:
    - i. Consistency of the proposed location with the preferred vicinities shown in RZC 21.12.030, *OV Subarea Map*,
    - ii. The suitability of the proposed location for an outdoor plaza, and
    - iii. Opportunities to create an open space of greater value by locating this space in conjunction with other open spaces, such as those required in RZC 21.12.120, *OV Residential Usable Open Space*.
4. Plaza Improvement. Applicants may seek additional incentives for completion of plaza improvements to provide a space that is accessible and welcoming to the public. These applicants shall submit a plan which shows landscaping, lighting, seating, color and materials, relationship to building frontage, and relationship to and coordination with the pedestrian system, addressing at a minimum the design requirements specified in RZC 21.62.030.I, *Pedestrian Plazas and Open Spaces*. Proposed improvements shall be reviewed and approved by the Technical Committee.
5. Green Building or Development. Minimum of LEED Silver Certification, or comparable Built Green or other certification as determined by the Technical Committee.
6. Residential Uses Above Minimum Required. Provide and maintain at least 75 percent of the total gross floor area for the development in residential uses in Zones 1 and 4, and at least 50 percent in Zones 2 and 3.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

7. Subterranean Parking. At least 60 percent of off-street parking for the development is located below the ground surface.
8. Combination Subterranean and Wrapped Structured Parking. At least 60 percent of off-street parking for the development is located in parking structures, some or all of which may be above-grade, provided above-grade parking structures do not have frontage on 152nd Avenue NE, 156th Avenue NE, public park space, or a public pedestrian pathway system, and have ground level retail or other pedestrian-oriented uses incorporated into the structure where it is adjacent to other public streets so that none of the parking structure fronts on the ground level in these areas. This bonus applies only in locations where this standard is not otherwise required by RZC 21.62.030.D, *Parking Garage Design*.
9. Affordable Housing Above Minimum Required. Provide a minimum of 20 percent of the total dwellings in the development as affordable as defined by, Definitions.
10. Hotel and Conference Center, Full Service. Include land area dedicated to a hotel and conference center, full service.
11. Transit-Oriented Development. Provide Transit-Oriented Development that:
  - a. Is located within 2,500 feet of a transit station or stop served by light rail, bus rapid transit, or other high-capacity transit service. The transit station or stop for the Transit-Oriented Development bonus may be in existence, or may be planned for construction, provided it is fully funded and is scheduled to be open for service within two years of the date of occupancy of the structure that utilizes the increase in FAR;
  - b. Will be connected with the transit station or stop by sidewalks, crosswalks, and/or pathways which afford convenient pedestrian access; and
  - c. Will include 1,000 or more residential units as a component of a mixed-use district.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article I Staff Contact

### 21.13 Southeast Redmond Regulations

Judy Fani

#### ***Correction Needed***

When Council adopted the LID ordinance (2858), there were amendments made to the table in 21.32.060. Five items were removed from the table. Incentives in that table were also referenced in 21.13.020.H. However, 21.13.020.H was not updated with ord. 2858, resulting in an inconsistency in the code between what's offered in 21.32.060 and what is offered in 21.13.020.H.

#### ***Rationale***

LID-related code amendments adopted on 12/6/16 (Ordinance 2858) removed five items from Table 21.32.060 Ecological Score Requirements. The City's NPDES permit required adoption of new code provisions intended to make LID the "preferred and commonly used approach to site development." Section 21.13.020 Northeast Design District of the Southeast Redmond Regulations was adopted on 10/21/2014 (Ordinance 2753(AM)) establishing a supplementary incentive program. The supplementary program should also reflect ecological score incentives that are consistent with 21.32.060 Ecological Score Requirements.

#### ***Amendment***

### **21.13.020 Northeast Design District**

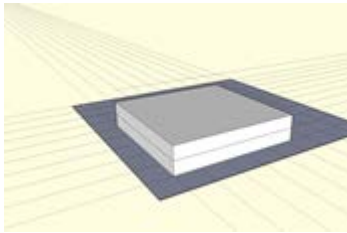
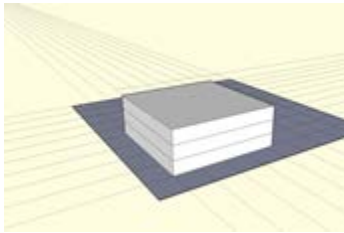

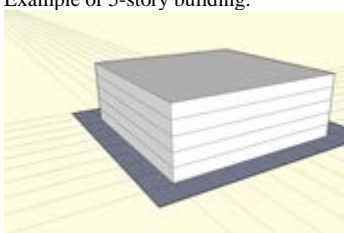
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A. **Purpose.** The purpose of the Northeast Design District is to create a transition from single-family residential areas in the south to industrial areas in the north and to provide opportunities for businesses that require larger footprints. The purpose is also to establish and maintain a transition from the urban development within the district to the rural areas east of the city limits. This will be accomplished by careful siting of buildings, vegetated buffers and park spaces, campus-like settings, and master planning. The performance zoning regulations in this chapter grant significant flexibility in terms of allowed uses while establishing district-specific design standards. Standards in this chapter emphasize transition from lower- to higher-intensity uses, creating neighborhood character and a sense of place through site and building design, and connecting this area to parks and regional trails located to the east. The Northeast Design District comprises three performance areas called **NDD1**, **NDD2**, and **NDD3**.

B. **Maximum Development Yield.**

Table 21.13.020A Maximum Development Yield					
Design District	Regulation	Base	Bonuses Available	Maximum	Illustrations
NDD1	FAR	0.50	Required affordable housing: 0.05	0.55	
	Height – residential		Incentive program: 1 story	3 stories	

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	Height – nonresidential	2 stories	TDRs or GBP: 1 story Incentive program: 2 stories	4 stories	Example of a 2-story building with FAR=0.50 	Example of a 3-story building with FAR=0.55 
NDD2 and NDD3	FAR	N/A	N/A	N/A	Example of 2-story building. 	Example of 5-story building. 
	Height	2 stories	3 stories	5 stories		

### C. Allowed Uses and Basic Development Standards: NDD1.

Table 21.13.020B Allowed Uses and Basic Development Standards: NDD1			
Section	Use	Parking ratio: Unit of Measure (Min. required, Max. allowed)	Regulations
<b>Residential</b>			
1	Detached dwelling unit	Dwelling unit (2.0)	
2	Size-limited dwelling		
3	Cottage	Dwelling unit (1.5, 2.0)	See RZC 21.08.290, <i>Cottage Housing Developments</i> , for specific site development requirements and supplemental neighborhood regulations that may apply. No density bonus applies because total development is governed by FAR.
4	Accessory dwelling unit (ADU)	ADU (1.0)	See RZC 21.08.220, <i>Accessory Dwelling Units</i> , for specific regulations that may apply.
5	Attached dwelling unit, 2-4 units	Dwelling unit (2.0)	See RZC 21.08.260, <i>Attached Dwelling Units</i> , for specific regulations related to design, review and decision procedures, and affordable housing exceptions.
6	Manufactured home		See RZC 21.08.320, <i>Designated Manufactured Homes, Manufactured Homes, and Mobile Homes</i> , for specific regulations that may apply.
7	Multifamily structure	Studio dwelling unit (1.0) 1-bedroom dwelling unit (1.25) 2-bedroom dwelling unit (1.5) 3+-bedroom dwelling unit (1.75)	

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

8	Housing services for the elderly	See Special Regulations.	<p>A. Retirement residences are permitted through a subdivision or binding site plan with a maximum of 16 retirement residence units per acre. Without a subdivision or binding site plan, a Conditional Use Permit is required. See RZC <a href="#">21.08.360, Retirement Residences</a>, for specific regulations which may apply.</p> <p>B. A Conditional Use Permit is required for Residential Care Facilities.</p> <p>C. A Conditional Use Permit is required for Long-Term Care Facilities.</p> <p>D. Parking requirements are as follows:</p> <p>E.</p> <ol style="list-style-type: none"><li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li><li>2. Nursing home or long-term care facility: four patient beds (1.0, 1.0)</li><li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li><li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li></ol> <p>E. For retirement residences, a Traffic Mitigation Plan is required. See RZC <a href="#">21.08.370.C.3.b.iii</a></p>
9	Adult family home	Dwelling unit (2.0)	
Arts, Education, and Recreation			
10	Community indoor recreation	Adequate to accommodate peak use	Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.
11	Parks, open space, trails, and gardens	1,000 sq ft gfa (0, adequate to accommodate peak use)	Permitted if public or noncommercial. A Conditional Use Permit is required for commercial facilities.
Transportation, Communication, Information, and Utilities			
12	Local utilities	Adequate to accommodate peak use	
13	Regional utilities		A Conditional Use Permit is required.
14	Antenna support structures		<p>A. A Conditional Use Permit is required. See RZC <a href="#">21.76.070.K, Conditional Use Permit</a>.</p> <p>B. See <a href="#">RZC 21.56, Wireless Communication Facilities</a>, for specific development requirements.</p>
15	Large satellite dish	N/A	See <a href="#">RZC 21.56, Wireless Communication Facilities</a> , for specific development requirements.
16	Amateur radio tower		
17	Antenna array and base station		A Conditional Use Permit may be required; see <a href="#">RZC 21.56, Wireless Communication Facilities</a> , for specific development requirements.
Education, Public Administration, Health Care, and Other Institutions			
18	Family day care provider	Vehicle used by the business (1.0)	Family day care providers are permitted as home businesses. See RZC <a href="#">21.08.340, Home Business</a> , for specific regulations that may apply.
Other			
19	Home business	Vehicle used by the business (1.0)	See RZC <a href="#">21.08.340, Home Business</a> , for specific regulations that may apply.
20	Roadside produce stand	N/A	

### D. Regulations Common to All Uses: NDD1.

Table 21.13.020C Regulations Common to All Uses: NDD1			
	Regulation	Standard	Exceptions
Minimum	Setbacks Residential		
	Front	10 feet	
	Side/Interior	5 feet	
	Side street	10 feet	

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	Rear	10 feet	
	Alley	4 feet	
	Setbacks Nonresidential		
		15 feet from streets.	
		15 feet from property lines abutting properties with <a href="#">residential uses</a> .	
		All other setbacks determined through required master planning process.	
	Landscaping	40%	Ecological score of at least 30 required.
Maximum	<a href="#">Lot coverage</a> by structures	55%	
	Height - residential	2 stories	Up to 3 stories with incentives.
	Height - nonresidential	2 stories	Up to 4 stories with incentives.
	FAR	0.50	Must achieve 140-170 units in NDD1 through <a href="#">master plan</a> .
	Impervious surface area	70%	Nonpollution-generating impervious surfaces <a href="#">shall</a> be infiltrated to the extent <a href="#">feasible</a> .
	Notification special requirements		The notice requirements of RZC <a href="#">21.08.380</a> , <i>Special Requirements – Residential Land Adjacent to BP, MP, NDD2, NDD3, and I Zones</i> , apply.
	Groundwater Intrusion	Permanent intrusion of parking garages, basements, elevator pits, or similar structures into <a href="#">groundwater</a> is prohibited. Note: foundations, auger cast piles, <a href="#">utilities</a> , and similar structures that do not require dewatering are permitted.	
	Truck Traffic	See RZC <a href="#">21.50.040</a> and RMC 10.76.050	
	Drive-through	Drive-through facilities are prohibited except where expressly permitted elsewhere in this section.	

### E. Allowed Uses and Basic Development Standards: NDD2 and NDD3.

Table 21.13.020D Allowed Uses and Basic Development Standards: NDD2 and NDD3			
Section	Use	Parking ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
General Sales or Services			

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

1	General sales or service	1,000 sq ft gfa (4.0, 5.0)	<p>A. Limited to 5% of site gross floor area.</p> <p>B. For pet and animal sales and service:</p> <p>C.</p> <p>1. Boarding and training facilities must be located inside of a structure.</p> <p>C. For animal kennel/shelter:</p> <p>1. Boarding facilities must be located inside of a structure.</p> <p>2. Outdoor runs or yards are allowed for the purpose of exercising animals. Runs/yards must be enclosed by eight-foot-high walls of sound-attenuating fencing or material such as masonry or concrete.</p> <p>3. The planned maximum number of animals to be sheltered shall be indicated on the application. The maximum may be reduced if the applicant cannot demonstrate that the development has adequate lot size and facility design to accommodate the planned number of animals in a way that ensures neighboring residential properties will not be impacted with noise or odor problems.</p>
<b>Manufacturing and Wholesale Trade</b>			
2	Manufacturing and wholesale trade	1,000 sq ft gfa (2.0, 3.0)	
<b>Transportation, Communication, Information, and Utilities</b>			
3	Transportation, communication, information, and utilities	1,000 sq ft gfa (2.0, 3.0)	<p>A. Heliports and float plane facilities prohibited.</p> <p>B. Hazardous waste treatment and storage, primary:</p> <p>1. Prohibited within 1,000 feet of NDD1.</p> <p>2. Otherwise, a Conditional Use Permit required.</p> <p>C. A Conditional Use Permit may be required for antenna array and base station and for antenna support structures; see <a href="#">RZC 21.56</a>, <i>Wireless Communication Facilities</i>, for specific development requirements.</p>
4	Automobile parking facility	N/A	Automobile parking facilities prohibited within 500 feet of NDD1.
<b>Arts, Entertainment, and Recreation</b>			
5	Arts, entertainment, and recreation	Adequate to accommodate peak use	Limited to 15% of site gross floor area. Prohibited within 500 feet of NDD1.
6	Natural and other recreational parks	1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and Other Institutions</b>			

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

7	Education, public administration, health care, and other institutions	Adequate to accommodate peak use	<p>A. Limited to 5% of site gross floor area.</p> <p>B. For religious institutions:</p> <p>C.</p> <ol style="list-style-type: none"> <li>1. A seat is one fixed seat, or 18 inches on a pew or bench, or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments.</li> <li>2. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>4. Off-site parking in residential zones is allowed only with a shared parking agreement with an existing institutional use, such as a school.</li> <li>5. A Traffic Mitigation Plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> <li>6. Steeples, bell towers, crosses, or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>7. Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons, is 60 feet.</li> <li>8. Institutions with a seating capacity greater than 750 seats shall: require a traffic study or other documentation deemed suitable by the Technical Committee that demonstrates that there will be no significant adverse impacts to traffic operations on the adjacent street system; have a maximum building height of five stories; be set back five additional feet for every one foot in building height over 45 feet exclusive of rooftop symbolic icons; not contain accessory or stand-alone parking facilities; not contain primary or secondary schools; and shall require a Conditional Use Permit. See <a href="#">RZC 21.76.070.K, Conditional Use Permit</a>.</li> <li>9. Institutions with a seating capacity greater than 7,500 seats shall be located adjacent to at least one collector, minor, or principal arterial.</li> </ol>
<b>Construction-Related Businesses</b>			
8	Construction-related businesses	1,000 sq ft gfa (2.0, 3.0)	
<b>Other</b>			
9	Crop Production	N/A	
10	Roadside produce stand		<p>A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</p> <p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>
11	Kiosk		
12	Vending cart		

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

13	Drive-up stand		<p>A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</p> <p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p> <p>F. Must submit circulation plan addressing queuing.</p>
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### F. Regulations Common to All Uses: NDD2 and NDD3.

Table 21.13.020E Regulations Common to All Uses: NDD2 and NDD3			
	Regulation	Standard	
Minimum	Setbacks		
		30 feet from arterials.	
		250 feet from NDD1 boundary.	
		All other setbacks determined through required master planning process.	
	Landscaping	40%	
Maximum	Height	2 stories	Up to 5 stories with incentives
	Impervious surface area	70%	Nonpollution-generating impervious surfaces shall be infiltrated to the extent feasible.
	Groundwater Intrusion	Permanent intrusion of parking garages, basements, elevator pits, or similar structures into groundwater is prohibited. Note: foundations, auger cast piles, utilities, and similar structures that do not require dewatering are permitted.	
	Noise	See RMC 6.36.	<p>A. NDD2 is a Class B zone.</p> <p>B. NDD3 is a Class C zone.</p>
	Truck Traffic	See RZC 21.50.040 and RMC 10.76.050	
	Drive-through	Drive-through facilities are prohibited except where expressly permitted elsewhere in this section.	

### G. Design Standards.

1. Purpose. The purpose of this section is to establish design criteria for properties in the Northeast Design District that will guide development to be attractive in appearance and functionally integrated, and to promote a transition from less intense to more intense uses moving from south to north.
2. Development Along East Edge of Design District.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

3.
  - a. Intent. The east edge of the Design District is also the east edge of the city and/or the urban growth area. It is where urban gives way to rural. Development in this area should emphasize that transition through site and building design.
  - b. Design criteria.
    - i. Common open spaces shall be oriented toward the city limit in order to provide views and opportunities to enjoy the rural area.
    - ii. No more than 50% of the city limit line, within a distance of 50 feet from the city limit line, shall be fronted with a building so as not to create a wall of buildings along the city limit line.
    - iii. No building shall be taller than two stories within 30 feet of the city limit.
3. Development Along North Edge of Woodbridge.
  - a. Intent. The north section of Woodbridge is a single-family area and development immediately to the north of Woodbridge should create a gradual transition to more intense uses.
  - b. Design criteria.
    - i. No building shall be taller than two stories within 100 feet of the north edge of Woodbridge.
4. Transition from Less Intensive to More Intensive Uses.
5.
  - a. Intent. The Northeast Design District is intended to facilitate a transition from less intensive to more intensive uses moving from south to north. Development in both NDD1 and NDD2 should avoid direct lines of sight between NDD1 and NDD2.
  - b. Design criteria.
    - i. Structures shall be designed to minimize views from NDD1 into NDD2 and instead orient views from NDD1 to the rural area, parks, areas internal to NDD1, or to other residential areas to the south.
    - ii. Landscaping shall be designed and located to minimize views between NDD1 and NDD2, with Type I plantings used to screen industrial or commercial uses within 1,000 feet of NDD1. Landscaping shall be tiered and multistoried and shall have the effect of creating a visual buffer between NDD1 and NDD2.
    - iii. Internal circulation shall be designed to minimize views between NDD1 and NDD2. For example, avoid long, straight sections of roadway.
    - iv. In areas of NDD2 that are within 1,000 feet of NDD1, internal vehicle circulation systems shall be screened with Type I plantings that are at least five feet wide.
5. Create a Sense of Place and Neighborhood Character.
6.
  - a. Intent. Development in the Northeast Design District should create a sense of place and neighborhood character so that it is attractive to people who live or work there.
  - b. Design Criteria.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- i. Developments shall primarily rely on pedestrian-scale lighting in areas of pedestrian circulation.
- ii. Developments shall incorporate benches along internal circulation paths.
- iii. Residential and nonresidential developments that provide common open space or pocket parks shall design such spaces to be attractive for recreation for people of all ages.

### H. Incentive Program.

Table 21.13.020F Incentive Program		
	Applicable Performance Areas	Maximum Incentive
Reduce impervious surface area to 60%.	NDD1	1 additional story
Increase ecological score to 46 by incorporating items <del>18 or 19, 6 or 20, and 7, 13 and 17, 13 or 14, 6 or 15, 7, and 12.</del>	NDD1	1 additional story
Additional buffering	NDD2 and NDD3	1 additional story
Structured parking	NDD2 and NDD3	1 additional story
Reduce impervious surface area to 60%	NDD2 and NDD3	1 additional story
Stormwater pond land dedication	NDD2 and NDD3	3 additional stories, depending on amount of land provided.

*Maximum height with incentives: 3 stories (NDD1 - residential), 4 stories (NDD1 - nonresidential), 5 stories (NDD2 and NDD3)*

#### 1. Features Explained.

#### 2.

- a. Reduce impervious surface area to 60%: design the site to reduce total impervious surface area to 60%.
- b. Increase ecological score to 46 by incorporating items ~~18 or 19, 6 or 20, and 7, 13 and 17~~ 13 or 14, 6 or 15, 7, and 12: incorporate green roofs or landscaped roofs, additional replacement trees or canopy-forming trees, and vegetated walls, and land for community food gardens ~~and pervious paving for nonpollution-generating impervious surfaces~~, according to the standards described in RZC 21.32.060, *Ecological Score Requirements*.
- c. Additional buffering: place buildings and any parking structures at least 300 feet from the NDD1 boundary.
- d. Structured parking: provide at least half of all required parking in a parking structure rather than a surface lot.
- e. Stormwater pond land dedication: dedicate at least one-half acre of land for a stormwater pond. A development earns one additional allowed story for all buildings on the development site for each half-acre of land dedicated. The dedicated land shall be consistent with the needs identified in the Southeast Redmond Regional Stormwater Facilities Plan or its successor.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article I Staff Contact**

### **21.13 Southeast Redmond Regulations**

Kimberly Dietz

#### ***Correction Needed***

Clarity is needed between the use of “Pedestrian Oriented Uses” and “Pedestrian Supportive Uses” in RZC Section 21.13.140.

#### ***Rationale***

A consistent term used between section RZC 21.13.140.B. Ground floor uses and Map 13.4 Pedestrian-Oriented Block Faces will ensure clarity and consistent application of the code. The map has been amended as shown below to reflect the terminology of the code.

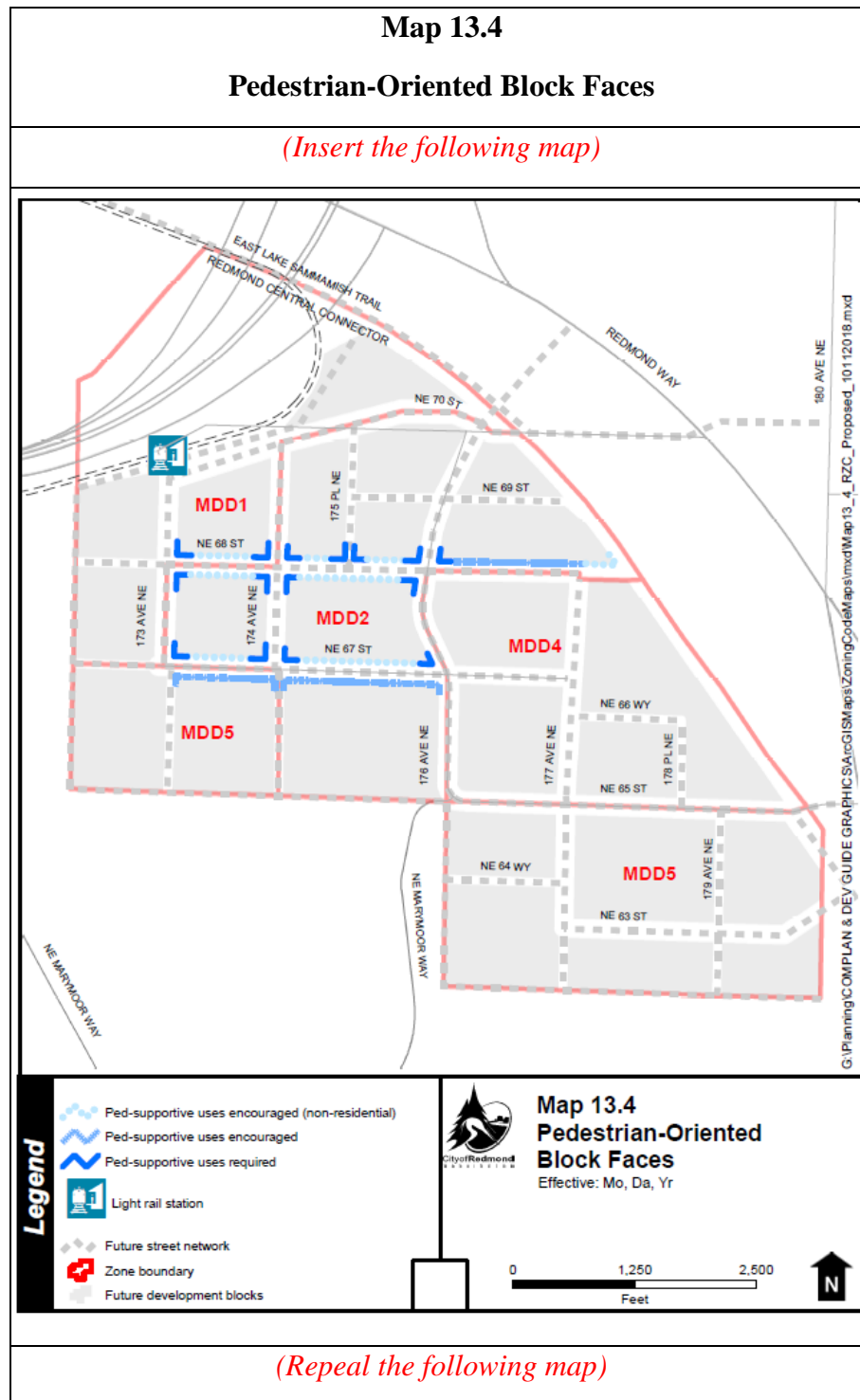
#### ***Amendment***

#### **21.13.140 MDD Building Placement and Form**

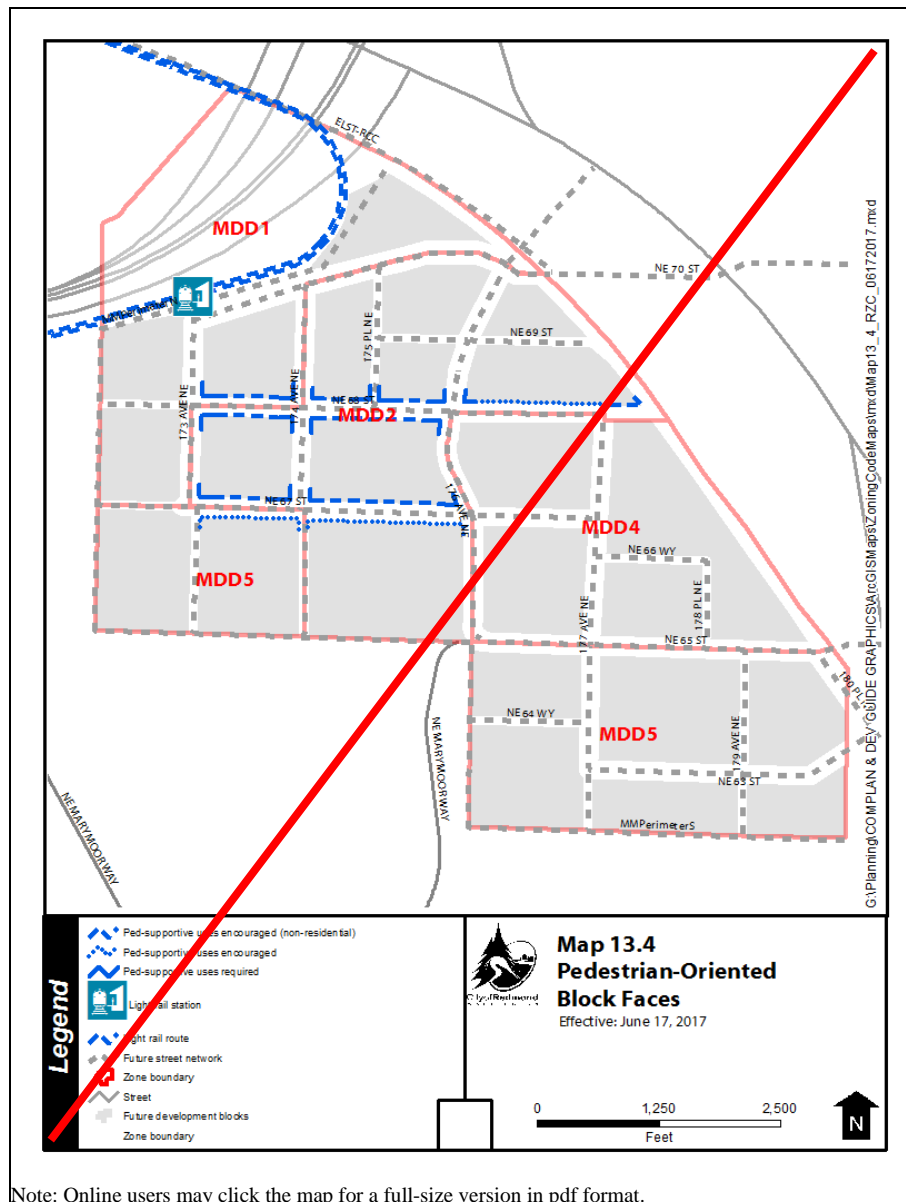
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The map below shows which block faces require or encourage pedestrian-oriented uses. Where not specified, pedestrian-oriented uses are permitted provided they are listed in the allowed uses table for the zone.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



Note: Online users may click the map for a full-size version in pdf format.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

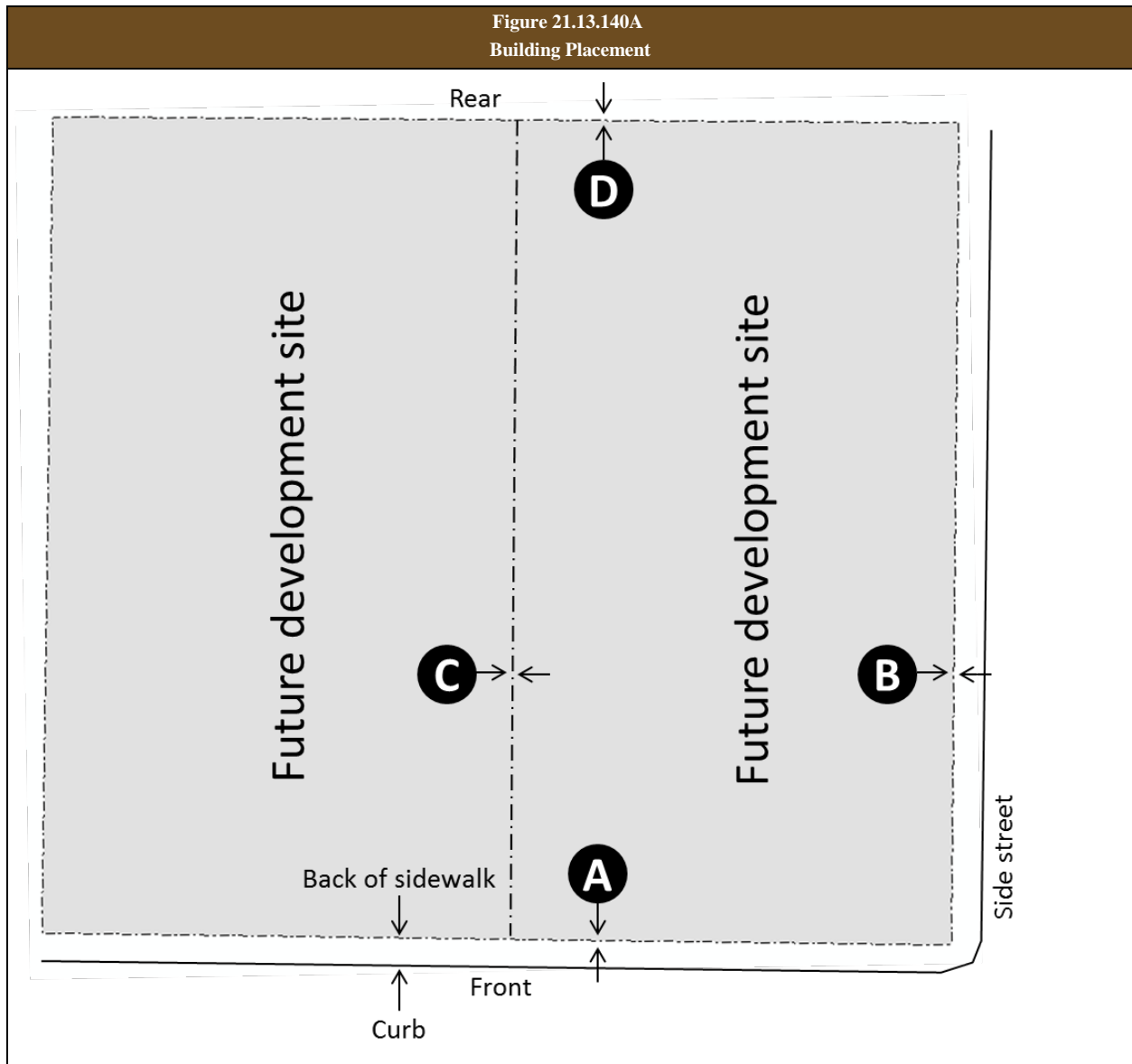
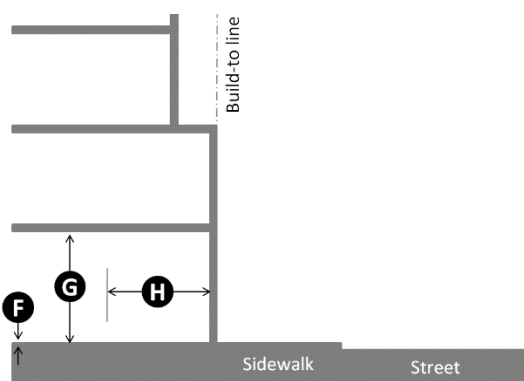
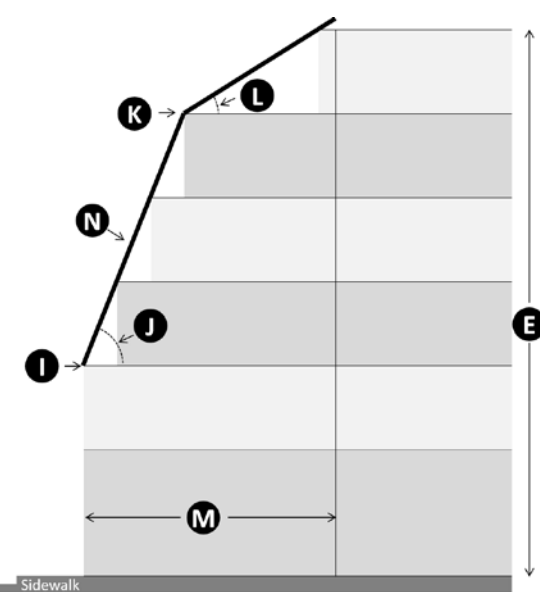


Table 21.13.140A Building Placement				
	MDD1 and MDD2	MDD3	MDD4	MDD5

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Build-to lines and setbacks	<p><b>A</b> and <b>B</b></p> <ul style="list-style-type: none"> <li>• Build-to line (BTL): 0 ft</li> <li>• BTL defined by façade on pedestrian-supportive block faces: min. 80%</li> <li>• BTL defined by façade on other block faces: min. 50%</li> </ul> <p><b>C</b> and <b>D</b></p> <p>Min. setback: 0 ft.</p> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p>Minimum setbacks:</p> <ul style="list-style-type: none"> <li>• Front: 15 ft</li> <li>• Side / interior: 5 ft</li> <li>• Side street: 10 ft</li> <li>• Rear: 10 ft</li> <li>• Alley: 4ft</li> </ul>	<p><b>A</b></p> <p>Min. setback: 30 ft</p> <p><b>B, C, D</b></p> <p>Min. setbacks: 10 ft</p> <p>NE 68th St:</p> <ul style="list-style-type: none"> <li>• BTL: 0 ft</li> <li>• BTL defined by façade: 50%</li> </ul> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p><b>A</b></p> <ul style="list-style-type: none"> <li>• Façade zone: 5-15 ft</li> <li>• Min façade within zone: 50%</li> <li>• Buildings fronting NE 65th St shall measure setback from back of landscape strip</li> </ul> <p><b>B</b></p> <p>Façade zone: 5-15 ft</p> <p>Min façade within zone: 50%</p> <p><b>C</b></p> <p>Min. setback: 5 ft; no minimum if abutting uses are both residential or both non-residential</p> <p><b>D</b></p> <p>Min. setback: 10 ft</p> <p>Alley setback: 4 ft minimum</p> <p>Park</p> <ul style="list-style-type: none"> <li>• Façade zone: 15-25 ft from back of perimeter path shoulder</li> <li>• Min façade within zone: 50% (assumes 12-ft shared-use path along park edge)</li> </ul>
Structures in required setbacks	Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.			
Orientation				

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward pedestrian-oriented block faces; where the building abuts no pedestrian-oriented block face the building front shall face the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward 180th PI NE</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Primary building fronts shall be oriented toward: blocks 1-2: NE 67th St; blocks 3-8: 177th Ave NE or NE 63rd St</li><li>• Secondary building fronts shall be oriented toward: blocks 1-2: Marymoor Park; blocks 3, 4, 6, 8: Marymoor Park; blocks 5, 7: NE 65th St</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li><li>• See Map 13.1 Marymoor Design District Map for block locations</li></ul>	
Figure 21.13.140B Ground Floor Requirements		Figure 21.13.140C Upper-story Setbacks			
					
Table 21.13.140B Building Form					
	MDD1	MDD2	MDD3	MDD4	MDD5
Maximum Height <b>E</b>	6 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories	5 stories	4 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Upper-story Setbacks	See <a href="#">21.13.140.A, Upper-story Setbacks</a>		No standard		See <a href="#">21.13.140.A, Upper-story Setbacks</a>
Ground floor finish level <b>F</b>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a></li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	No standard		<ul style="list-style-type: none"> <li>Residential ground-floor use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential ground-floor use: maximum 6" above sidewalk grade</li> </ul>
Ground floor height (floor to floor) <b>G</b>	Non-residential use: minimum 15 feet	Non-residential use: minimum 15 feet, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a>	No standard		Non-residential use: minimum 15 feet
Ground floor uses	<ul style="list-style-type: none"> <li>Residential uses prohibited where pedestrian-oriented uses are encouraged or required</li> <li>Pedestrian-oriented uses encouraged as part of any light rail station plaza development to activate the plaza</li> </ul>	Residential uses prohibited where pedestrian-oriented uses are encouraged or required, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a>	No standard		
Maximum distance between ground-floor non-residential entries	50 ft		No standard		50 ft
Minimum ground floor non-residential depth <b>H</b>	20 ft		No standard		20 ft
Residential privacy	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply. The residential space designed for future conversion to pedestrian-oriented uses is exempt from this subsection.	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.	No standard	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.

**A. Upper-story setbacks.** All building faces facing a street or path shall integrate average minimum upper-story building setbacks to reduce the perceived scale of building facades, increase the amount of light and air to adjacent streets and paths, promote modulation of building façades that adds variety and

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

provides visual interest, encourage the integration of courtyards and open space; and allow for flexibility in the design of buildings.

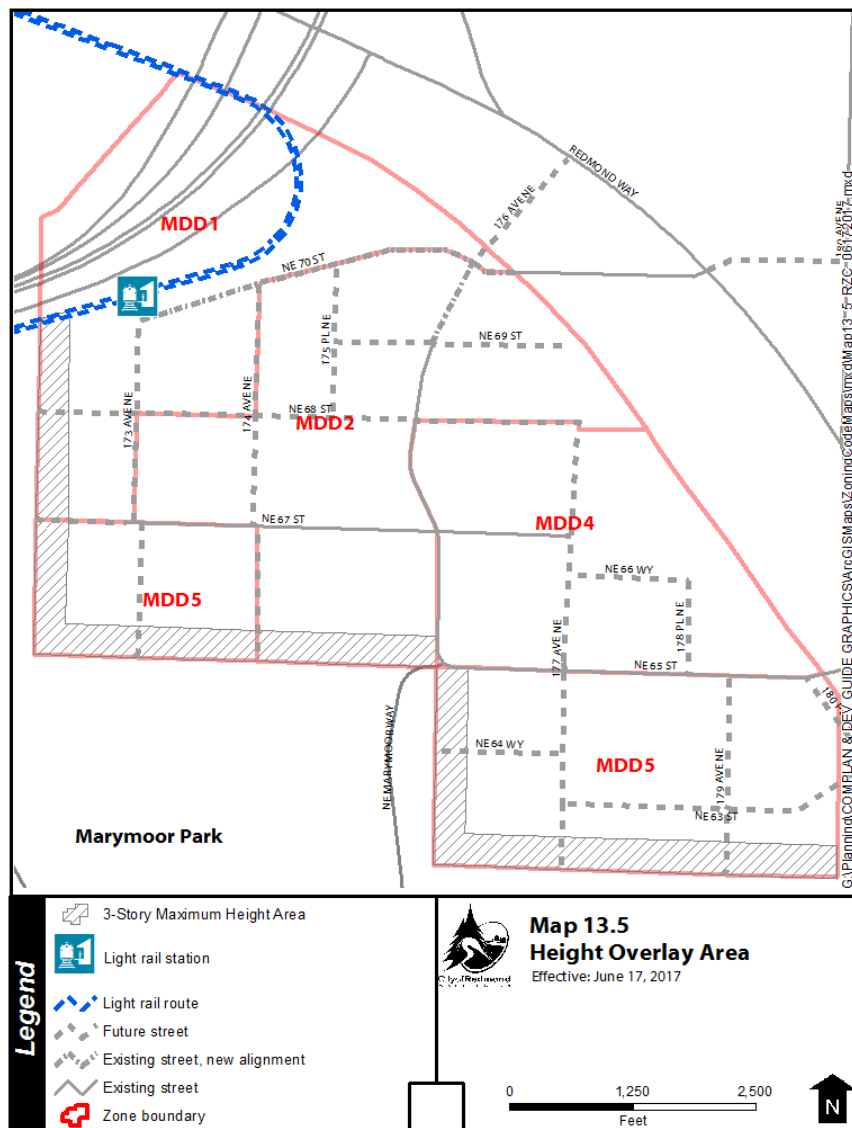
1. The average minimum upper-story building setbacks shall comply with the following:
  - a. From the roof edge of the second story **J**, buildings shall step back at a 68-degree angle **J** up to the roof of the top story of fifth story **K**, whichever is lower.
  - b. From the roof edge of the fifth story **K**, buildings shall step back at a 32-degree angle **L** up to the maximum height limit.
2. Calculations for determining compliance with these standards shall consider the development's first 30 feet of depth **M** along streets and paths.
3. Portions of building may project beyond the average setback **N** provided the block frontage as a whole complies with the minimum average.

### B. Ground floor uses.

1. Where pedestrian-oriented ground floor uses are required as shown in Map 13.4, *Pedestrian-Oriented Block Faces*, the following requirements must be met, in addition to the design requirements found in RZC [Article IV, Design Standards](#).
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
2. Where pedestrian-oriented (non-residential) ground floor uses are encouraged, 100 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential uses are permitted.
3. Where pedestrian-oriented uses are encouraged, a minimum of 50 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses and shall be designed at a maximum of 6 inches above sidewalk grade. Residential uses are permitted. The ground-floor height standard of 15 feet does not apply in this area.
4. In locations where ground floor residential uses are permitted, the units shall be set back a minimum of 10 feet from the sidewalk edge. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Map 13.5**  
**Height Overlay Area**



Note: Online users may click the map for a full-size version in pdf format.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article I**

### **21.13 Southeast Redmond Regulations**

#### ***Staff Contact***

Kimberly Dietz

#### ***Correction Needed***

RZC Map 13.5 is not clear regarding the depth of the Height Overlay Area and must rely on map scaling to reflect the 100' stepback as indicated by the hatched shading on the map.

#### ***Rationale***

The hatched shading on RZC Map 13.5 depicts the 100' stepback to accommodate the Height Overlay Area. The depth of this area when measured perpendicularly from the Marymoor Park edge toward the interior of the respective parcel is 100 feet. Map 13.5 as included below provides a note that clarifies the depth as 100 feet and the direction of measurement.

#### ***Amendment***

#### **21.13.140 MDD Building Placement and Form**

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The map below shows which block faces require or encourage pedestrian-oriented uses. Where not specified, pedestrian-oriented uses are permitted provided they are listed in the allowed uses table for the zone.

2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

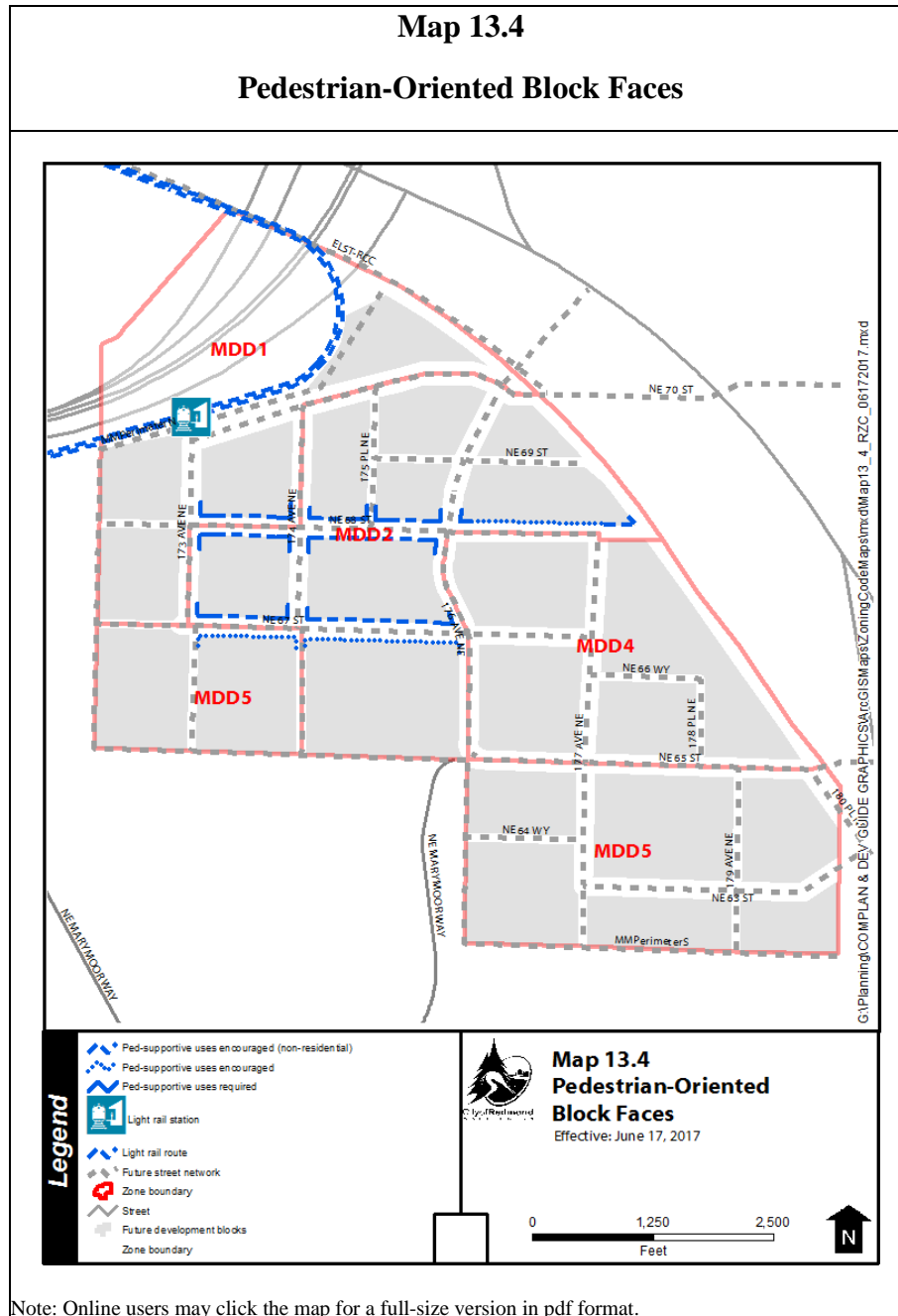


Figure 21.13.140A  
Building Placement

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

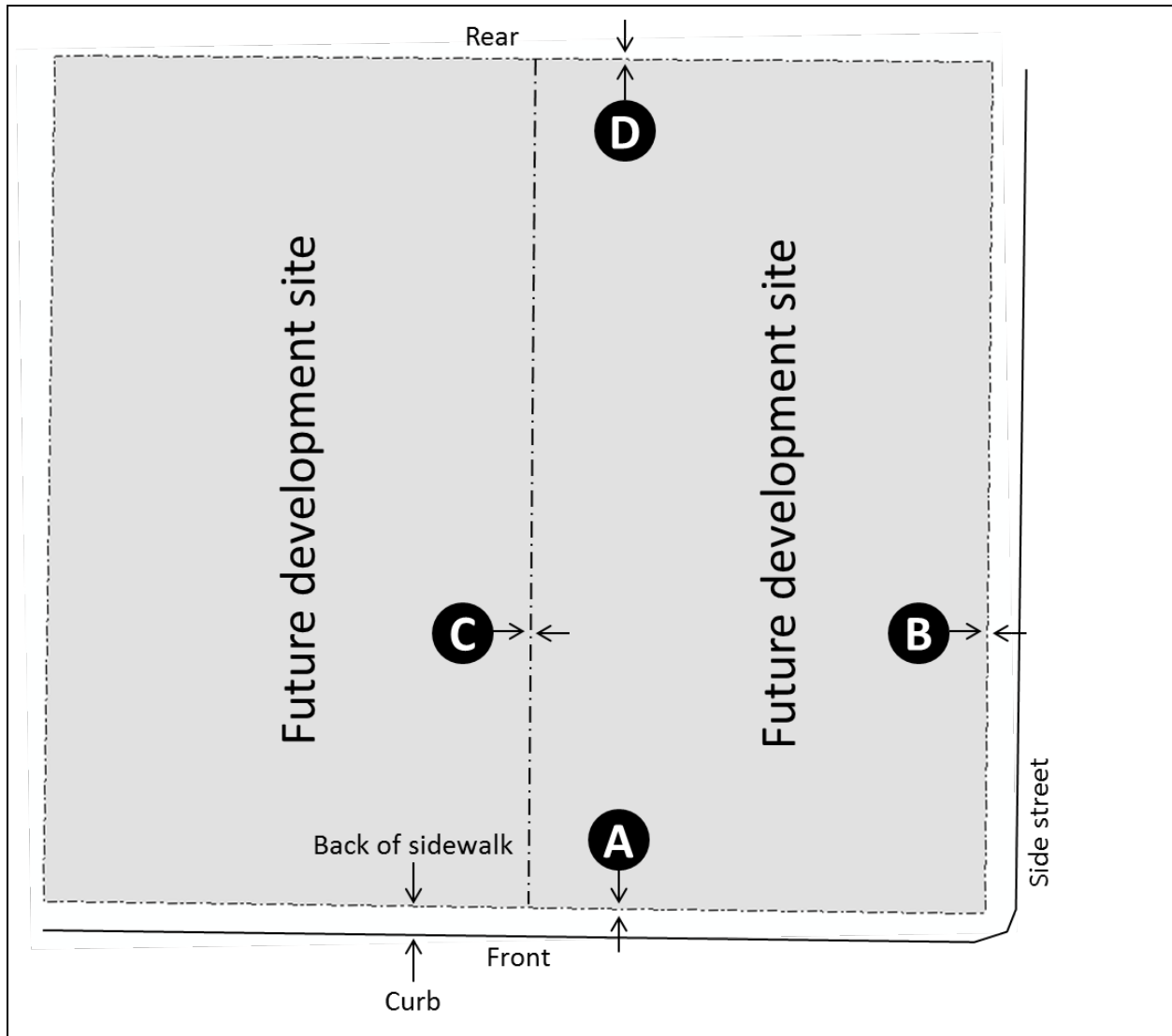
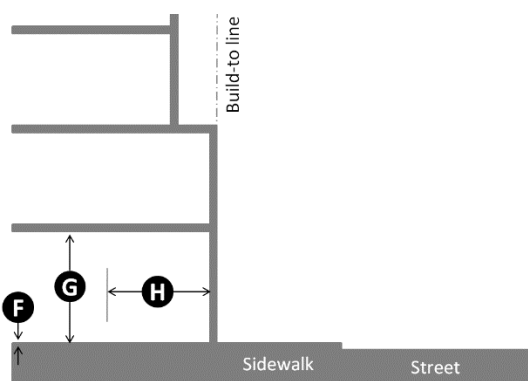
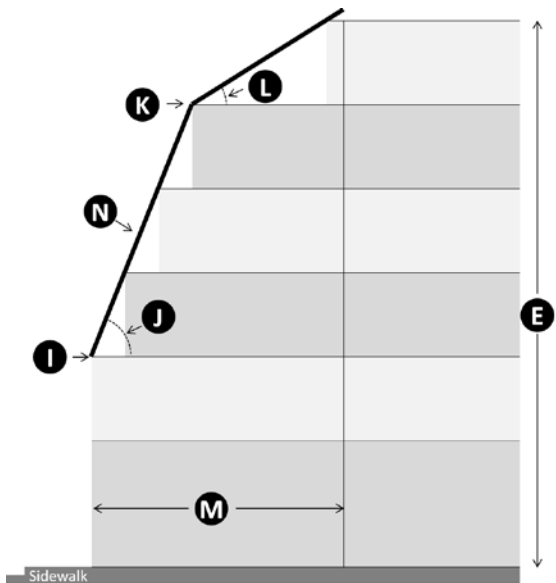


Table 21.13.140A Building Placement				
	MDD1 and MDD2	MDD3	MDD4	MDD5

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Build-to lines and setbacks	<p><b>A</b> and <b>B</b></p> <ul style="list-style-type: none"> <li>• Build-to line (BTL): 0 ft</li> <li>• BTL defined by façade on pedestrian-supportive block faces: min. 80%</li> <li>• BTL defined by façade on other block faces: min. 50%</li> </ul> <p><b>C</b> and <b>D</b></p> <p>Min. setback: 0 ft.</p> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p>Minimum setbacks:</p> <ul style="list-style-type: none"> <li>• Front: 15 ft</li> <li>• Side / interior: 5 ft</li> <li>• Side street: 10 ft</li> <li>• Rear: 10 ft</li> <li>• Alley: 4ft</li> </ul>	<p><b>A</b></p> <p>Min. setback: 30 ft</p> <p><b>B, C, D</b></p> <p>Min. setbacks: 10 ft</p> <p>NE 68th St:</p> <ul style="list-style-type: none"> <li>• BTL: 0 ft</li> <li>• BTL defined by façade: 50%</li> </ul> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p><b>A</b></p> <ul style="list-style-type: none"> <li>• Façade zone: 5-15 ft</li> <li>• Min façade within zone: 50%</li> <li>• Buildings fronting NE 65th St shall measure setback from back of landscape strip</li> </ul> <p><b>B</b></p> <p>Façade zone: 5-15 ft</p> <p>Min façade within zone: 50%</p> <p><b>C</b></p> <p>Min. setback: 5 ft; no minimum if abutting uses are both residential or both non-residential</p> <p><b>D</b></p> <p>Min. setback: 10 ft</p> <p>Alley setback: 4 ft minimum</p> <p>Park</p> <ul style="list-style-type: none"> <li>• Façade zone: 15-25 ft from back of perimeter path shoulder</li> <li>• Min façade within zone: 50% (assumes 12-ft shared-use path along park edge)</li> </ul>
Structures in required setbacks	Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.			
Orientation				

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward pedestrian-oriented block faces; where the building abuts no pedestrian-oriented block face the building front shall face the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward 180th PI NE</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Primary building fronts shall be oriented toward: blocks 1-2: NE 67th St; blocks 3-8: 177th Ave NE or NE 63rd St</li><li>• Secondary building fronts shall be oriented toward: blocks 1-2: Marymoor Park; blocks 3, 4, 6, 8: Marymoor Park; blocks 5, 7: NE 65th St</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li><li>• See Map 13.1 Marymoor Design District Map for block locations</li></ul>	
Figure 21.13.140B Ground Floor Requirements		Figure 21.13.140C Upper-story Setbacks			
					
Table 21.13.140B Building Form					
	MDD1	MDD2	MDD3	MDD4	MDD5
Maximum Height <b>E</b>	6 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories	5 stories	4 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Upper-story Setbacks	See <a href="#">21.13.140.A</a> , <i>Upper-story Setbacks</i>		No standard		See <a href="#">21.13.140.A</a> , <i>Upper-story Setbacks</i>
Ground floor finish level <b>F</b>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street, except as noted in <a href="#">RZC 21.13.140.B</a>, <i>Ground Floor Uses</i></li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	No standard		<ul style="list-style-type: none"> <li>Residential ground-floor use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential ground-floor use: maximum 6" above sidewalk grade</li> </ul>
Ground floor height (floor to floor) <b>G</b>	Non-residential use: minimum 15 feet	Non-residential use: minimum 15 feet, except as noted in <a href="#">RZC 21.13.140.B</a> , <i>Ground Floor Uses</i>	No standard		Non-residential use: minimum 15 feet
Ground floor uses	<ul style="list-style-type: none"> <li>Residential uses prohibited where pedestrian-oriented uses are encouraged or required</li> <li>Pedestrian-oriented uses encouraged as part of any light rail station plaza development to activate the plaza</li> </ul>	Residential uses prohibited where pedestrian-oriented uses are encouraged or required, except as noted in <a href="#">RZC 21.13.140.B</a> , <i>Ground Floor Uses</i>	No standard		
Maximum distance between ground-floor non-residential entries	50 ft		No standard		50 ft
Minimum ground floor non-residential depth <b>H</b>	20 ft		No standard		20 ft
Residential privacy	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply.	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply. The residential space designed for future conversion to pedestrian-oriented uses is exempt from this subsection.	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply.	No standard	The standards in <a href="#">RZC 21.62.020.F.1</a> , <i>Residential Standards</i> , shall apply.

**B. Upper-story setbacks.** All building faces facing a street or path shall integrate average minimum upper-story building setbacks to reduce the perceived scale of building facades, increase the amount of light and air to adjacent streets and paths, promote modulation of building façades that adds variety and

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

provides visual interest, encourage the integration of courtyards and open space; and allow for flexibility in the design of buildings.

1. The average minimum upper-story building setbacks shall comply with the following:
  - a. From the roof edge of the second story **J**, buildings shall step back at a 68-degree angle **J** up to the roof of the top story of fifth story **K**, whichever is lower.
  - b. From the roof edge of the fifth story **K**, buildings shall step back at a 32-degree angle **L** up to the maximum height limit.
2. Calculations for determining compliance with these standards shall consider the development's first 30 feet of depth **M** along streets and paths.
3. Portions of building may project beyond the average setback **N** provided the block frontage as a whole complies with the minimum average.

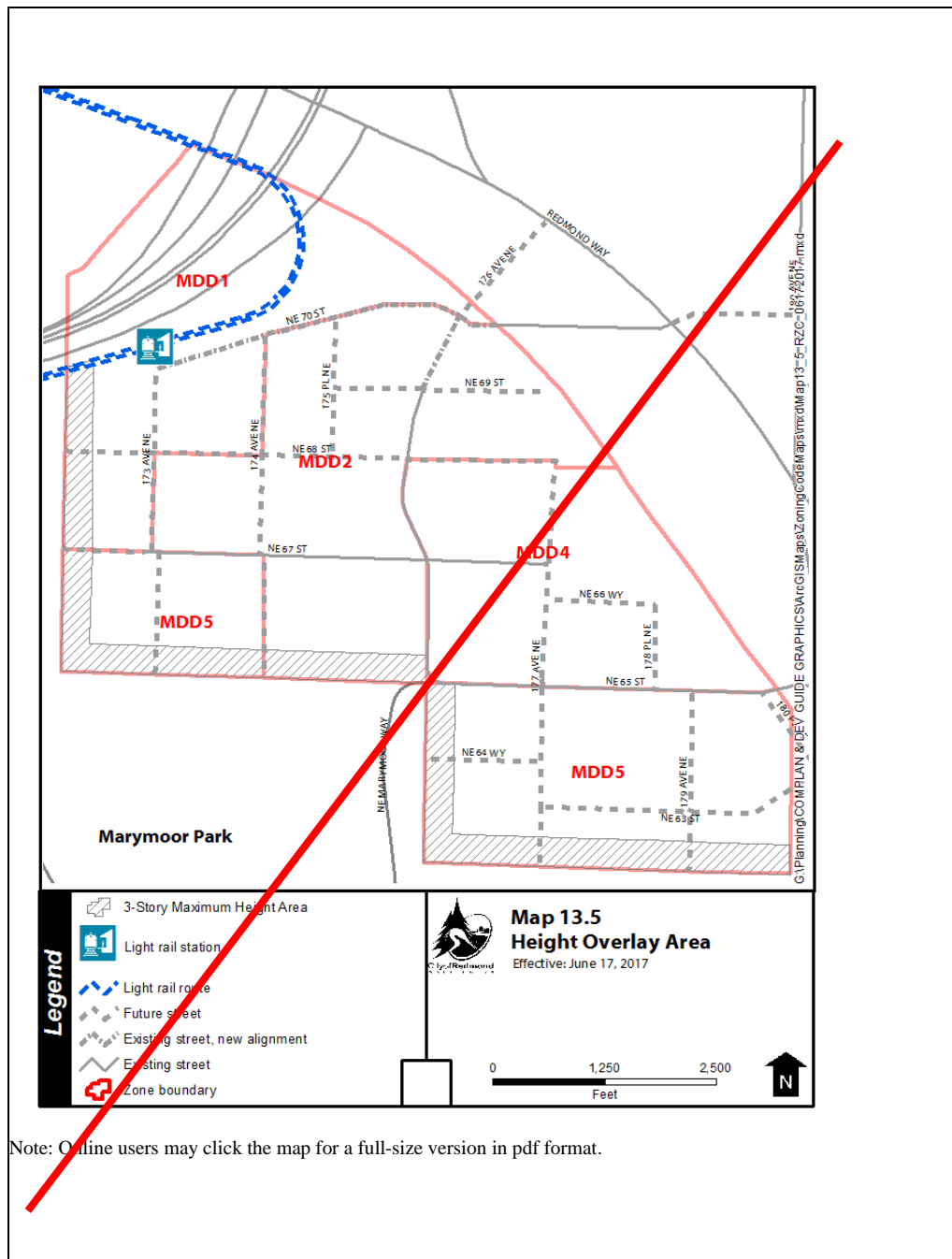
### C. Ground floor uses.

1. Where pedestrian-oriented ground floor uses are required as shown in Map 13.4, *Pedestrian-Oriented Block Faces*, the following requirements must be met, in addition to the design requirements found in RZC [Article IV, Design Standards](#).
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
2. Where pedestrian-oriented (non-residential) ground floor uses are encouraged, 100 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential uses are permitted.
3. Where pedestrian-oriented uses are encouraged, a minimum of 50 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses and shall be designed at a maximum of 6 inches above sidewalk grade. Residential uses are permitted. The ground-floor height standard of 15 feet does not apply in this area.
4. In locations where ground floor residential uses are permitted, the units shall be set back a minimum of 10 feet from the sidewalk edge. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

*(Insert the following map)*



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



Note: Online users may click the map for a full-size version in pdf format.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.10 Downtown Regulations

### Staff Contact

Andrew Bauer

### Correction Needed

Table 21.10.150.A and Map 10.3 conflict regarding the pedestrian system plan.

### Rationale

Ordinance 2679 (Adopted 2/5/2013) updated Map 10.3 Downtown Pedestrian System of RZC 21.10.150, but the corresponding table of 21.10.150.C was not updated to reflect the changes made in Map 10.3.; and

Ordinance 2803 (Adopted 10/6/2015) updated RZC 21.10.150 to change “Front Yard” to “Setback Zone” and “Street” to “Roadway” to be consistent with the Transportation Master Plan, Pedestrian Chapter, p 83; however, 21.10.150.B and Figure 21.10.150A were not updated.

Therefore, revise RZC 21.10.150.C figures and table to properly reflect Ordinances 2679 and 2803.

### Amendment

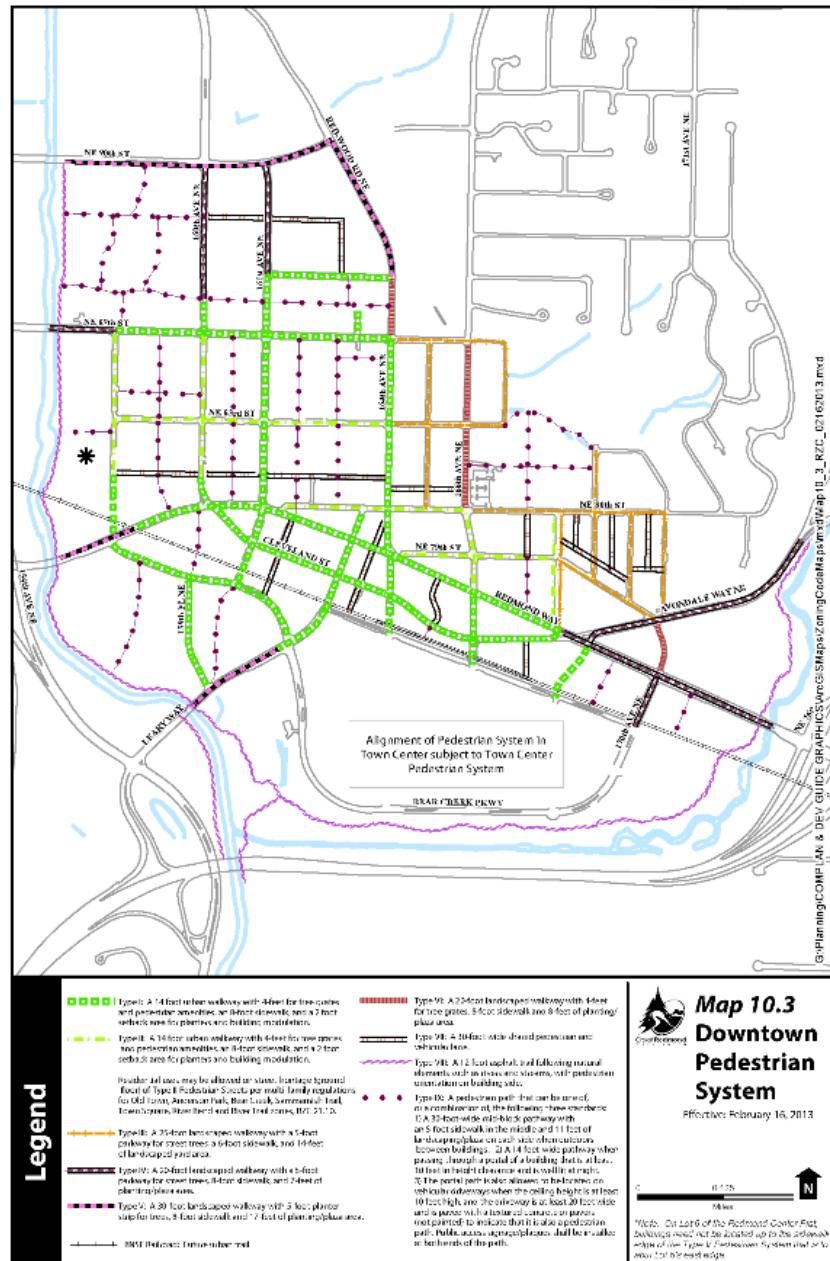
### RZC 21.10.150 Pedestrian System

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- A. Purpose. The purpose of the Downtown pedestrian system is to:
  - 1. Provide safe pedestrian routes removed from traffic;
  - 2. Enhance the appearance of buildings and their settings;
  - 3. Provide a unified design element to complement varying architectural styles;
  - 4. Soften the appearance of parking lots and service storage areas; and
  - 5. Provide for the planting of street trees and other vegetation appropriate for an urban setting.
- B. Installation of Pedestrian System. The various components of the pedestrian system are shown on Map 10.3, Downtown Pedestrian System; the tables and graphics included in RZC 21.10.150.C, Pedestrian System Description; Map 10.4, Town Center Pedestrian System; and the table in RZC 21.10.150.O, Downtown Streets Cross Sections, all of which are incorporated as a part of this section. As property is developed or redeveloped, corresponding portions of the systems shall be installed or otherwise provided for by the property owner/developer. The ~~setback zone front-yard-distance~~ specifies the minimum ~~distance front-yard-setback~~ measured from the back of sidewalk. Where the ~~setback zone front-yard-distance~~ is specified as zero feet, the building shall be built to the back of the sidewalk. The mid-block segments shown on the map represent desired connections between blocks. In order to provide flexibility, the actual alignment shall be determined through the site plan land use permit process.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### Map 10.3 Downtown Pedestrian System



*Note: Online users may click the map for a full-size version in PDF format.*

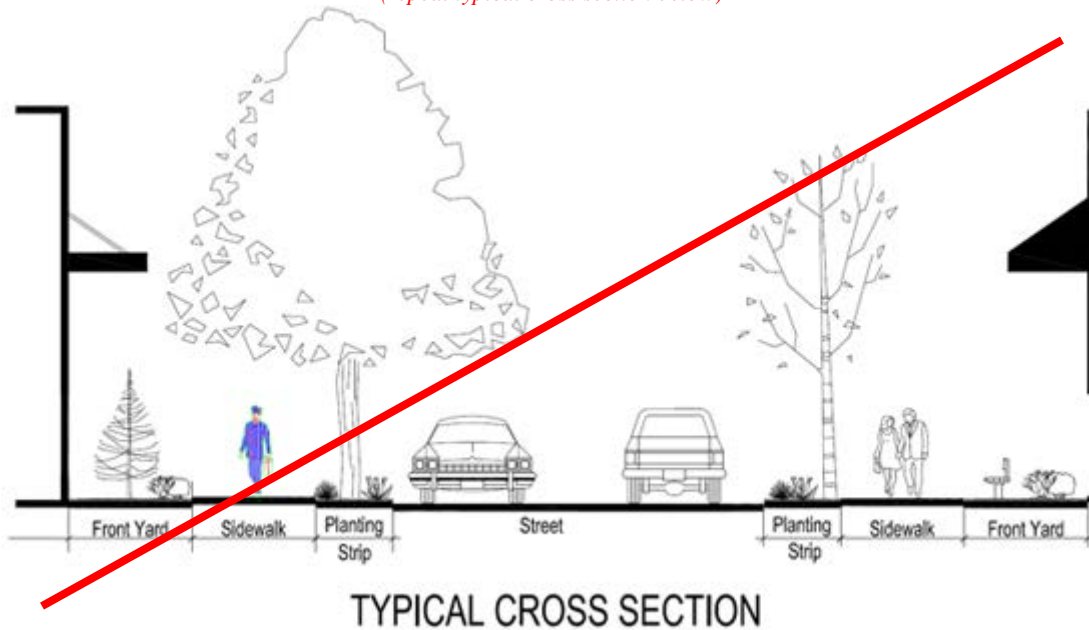
C. Pedestrian System Description. The table and graphics below depict the various pedestrian system cross sections that are called out in the corresponding Map 10.3, Downtown Pedestrian

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

System, above. Pedestrian System Types I through VI are grouped together in a common table as they are located along street fronts.

**Figure 21.10.150A**  
**Downtown Pedestrian System: Typical Cross-Section**

*(repeal typical cross section below)*



*(insert new typical cross section)*



**Table 21.10.150A**  
**Downtown Pedestrian System: Cross-Section Dimensions**

	Ped. Zone	Roadway	Ped. Zone	
--	-----------	---------	-----------	--

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Cross Section	Setback Zone	Sidewalk	5-foot Planting Strip or 4-foot Furniture Zone with Tree Grates		5-foot Planting Strip or 4-foot Furniture Zone with Tree Grates	Sidewalk	Setback Zone
I	<del>0</del> <u>2</u>	<del>10</del> <u>8</u>	4		4	<del>10</del> <u>8</u>	<del>0</del> <u>2</u>
II	<del>0</del> <u>2</u>	<del>10</del> <u>8</u>	4		4	<del>10</del> <u>8</u>	<del>0</del> <u>2</u>
III	14	6	5		5	6	14
IV	7	8	5		5	8	8
V	17	8	5		5	8	17
VI	8	8	4		4	8	8

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article II

## 21.20 Affordable Housing

### *Staff Contact*

Sarah Stiteler

### *Correction Needed*

The MFT ordinance was not adopted at the time of the Marymoor Subarea Plan. The following language was included in RZC 21.30 in the event the amendment was not passed: 21.20.030.J: Multifamily properties providing affordable housing may be eligible for property tax exemption as established in RMC Chapter 3.38. to the extent the same is adopted by the City Council

### *Rationale*

Because the Marymoor Subarea Plan was adopted by the City Council on 6/6/2017 (Ordinance 2883), this code section should be amended to reflect the City's Council's action.

### *Amendment*

#### **21.20.030 General Requirements and Incentives**

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- A. Pursuant to RCW 36.70A.540, the City finds that the higher income levels specified in the definition of “affordable housing” set forth in the definitions section of this Zoning Code are necessary to address local housing market conditions in the City. The income levels specified in the definitions section of this Zoning Code shall therefore be used in lieu of the “low-income household” income levels set forth in RCW 36.70A.540.
- B. Certain provisions in this section such as affordability levels and bonuses may not apply or may be superseded as otherwise specified in [RZC 21.20, Affordable Housing](#) or RMC Chapter 3.38 Multifamily Housing Property Tax Exemption to the extent the same is adopted by the City Council.
- C. At least 10 percent of the units in new housing developments in those areas specified in [RZC 21.20.020, Applicability](#), of 10 units or greater must be affordable housing units.
- D. At least one bonus market-rate unit is permitted for each affordable housing unit provided, up to 15 percent above the maximum allowed density. For example, if the maximum allowed density for the site is 20 units per acre, the density bonus shall not exceed three units per acre, yielding a total allowed density, with bonus, of 23 units per acre, or 20 units + 15 percent bonus = 23 units. In areas where density limitation is expressed as a Floor Area Ratio (FAR), density bonuses will be calculated as an equivalent FAR bonus.
- E. Each low-cost affordable housing unit provided counts as two affordable housing units for the purpose of satisfying the affordable unit requirement under subsection [RZC 21.20.030.B](#) of this section. For purposes of computing bonus market-rate units under subsection [RZC 21.20.030.D](#) of this section, two bonus market-rate units are permitted for each low-cost affordable housing unit provided, up to 20 percent above the maximum density permitted on the site.
- F. The number of required affordable housing units is determined by rounding fractional numbers up to the nearest whole number from 0.5. In single-family zones, the required number of affordable housing units shall be calculated as a minimum of 10 percent of the greater of: (1) proposed dwelling units on

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the site, excluding cottage housing density bonus or other bonuses, or (2) net buildable area multiplied by the site's allowed density.

- G. The affordable housing units and, if applicable, any bonus market-rate units shall not be included in the total number of the housing units when determining the number of required affordable housing units.
- H. If additional density is achieved as a result of a rezone per Comprehensive Plan policy HO-38, the determination of whether market-rate bonus units shall be permitted and the number of bonus units permitted will be determined on a site-specific basis. The number of bonus units, if any, shall be established in the ordinance adopting the rezone. Considerations for whether bonus units will be permitted include but are not limited to the following: (1) the number of total units as a result of the rezone and (2) the capacity of the site for development, taking into account the potential for adverse impacts such as to traffic, parking, or environmental issues.
- I. Depending on the level of affordability provided, the affordable housing units may be eligible for the impact fee waivers described in RMC 3.10.070.
- J. Multifamily properties providing affordable housing may be eligible for property tax exemption as established in RMC Chapter 3.38 ~~to the extent the same is adopted by the City Council.~~
- K. Measurement in square feet of floor area of all affordable units shall be defined by the gross leasable area within the unit.
- L. Cottages, duplexes, and size-limited dwellings may be used to meet the requirements of this section.
- M. Accessory Dwelling Units (ADUs) shall not be used to meet the requirements of this section.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article II

### 21.52 Transportation Standards

#### *Staff Contact*

Andrew Bauer

#### *Correction Needed*

Clarification is necessary to describe that a Transportation Management Program (TMP) may apply in instances of a development seeking a parking reduction.

#### *Rationale*

A cross-reference to the parking reduction standards from the TMP applicability standards in RZC 21.52.020.A provides the necessary clarification. Otherwise, the code is unclear in this regard.

#### *Amendment*

### **21.52.020 Transportation Management Program**

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#### A. Applicability.

1. All development applications that warrant transportation mitigation are required to comply with this division. A Transportation Management Program (TMP) is required:
  - a. When a nonresidential development generates demand for more than 25 mobility units **during PM trips**, provided that under this requirement in mixed use developments a TMP is required only for the nonresidential portion of the development;
  - b. In order for a development to achieve concurrency as required in RZC 21.52.10, Transportation Concurrency; or
  - c. Based on the amount of parking provided by the development, as required in RZC 21.40, Parking Standards.
2. Where a TMP is required separate from subsection A.1.a above, the TMP may be required to exceed the minimum requirements of this section when a more stringent standard is specified.
- 3. A TMP may be utilized as a method for reducing the required off-street parking stalls, pursuant to the standards in RZC 21.40.010.D, Vehicle Parking.**
- ~~3~~4. The fee charged for the review and monitoring of a TMP shall be set by ordinance.

**RZC Article IV**

**21.64 Environmental Regulations**

**Staff Contact**

Kimberly Dietz

**Correction Needed**

The use of the term “hydrologic” is incorrect in describing the model used for hydraulic analysis.

**Rationale**

A hydraulic model is used for the type of analysis described in RZC 21.64.040 Frequently Flooded Areas. This name should be consistent with industry terminology for clarity and for reference to state regulations such as 220-660 WAC Hydraulic Code Rules.

**Amendment**

**21.64.040 Frequently Flooded Areas**

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- A. **Classification and Rating of Frequently Flooded Areas.** To promote consistent application of the standards and requirements of this chapter, frequently flooded areas within the city of Redmond shall be rated or classified according to their characteristics, function and value, and/or their sensitivity to disturbance.
1. **Frequently Flooded Areas Classifications.** Frequently flooded areas shall be classified according to the criteria in this section.
    - a. **Floodplain.** The total area subject to inundation by the base flood (the flood that has a one percent chance of occurring in any given year).
    - b. **Flood Fringe.** The portion of the floodplain outside of the floodway which is generally covered by flood waters during the base flood and is generally associated with standing water rather than rapidly flowing water.
    - c. **FEMA Floodway.** The channel of the stream and that portion of the adjoining floodplain which is necessary to contain and discharge the FEMA base flood flow without increasing the FEMA base flood elevation more than one foot.
    - d. **Zero-Rise Floodway.** The channel of the stream and that portion of the adjoining floodplain which is necessary to contain and discharge the base flood flow without increasing the base flood elevation. The zero-rise floodway will always include the FEMA floodway.
  2. **Classification of frequently flooded areas shall be determined by the Committee based on consideration of the following factors:**
    - a. **Maps adopted pursuant to this chapter including the frequently flooded areas map, which identifies the approximate location and extent of the 100-year floodplain. This map shall be used as a general guide only for the assistance of property owners and other interested parties; boundaries are generalized. The actual type, extent, and boundaries of frequently flooded areas shall be determined in the field by a qualified consultant according to the procedures, definitions, and criteria established by this chapter. In the event of any conflict between the critical area**

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

location and designation shown on the City's map and the criteria or standards of this section, the criteria and standards shall prevail. The City will employ ~~hydrologic~~ hydraulic models to define the extent of the zero-rise floodway. If the zero-rise floodway has not yet been defined for the property in question, the applicant will be responsible for modeling the base flood elevation and delineating the extent of the zero-rise floodway, consistent with the assumptions in the Bear Creek Basin Plan as adopted by the City. In the absence of a City ~~hydrologic~~ hydraulic model, FEMA data will be acceptable;

- b. Flood Insurance Rate Maps published by the Federal Emergency Management Agency;
- c. Application of the criteria contained in these regulations; and
- d. Consideration of the technical reports submitted by qualified consultants in connection with applications subject to these regulations.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article IV *Staff Contact*

### 21.70 State Environmental Policy Act Procedures

Jae Hill

#### ***Correction Needed***

The reference in 21.70.070 to the Responsible Official is incorrect and should reference 4.50 instead of 4.35.

#### ***Rationale***

This incorrect reference should be amended for accuracy.

#### ***Amendment***

#### **21.70.070 Responsible Official**

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For those proposals for which the City is a lead agency, the Responsible Official shall be the City of Redmond Technical Committee as defined in RMC Title 4. ~~3550~~, *Technical Committee*. For all proposals for which the City is a lead agency, the Technical Committee shall make the threshold determination, supervise scoping and preparation of any required EIS and perform any other functions assigned to the lead agency or Responsible Official by those sections of the SEPA rules that have been adopted by reference.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article IV

### 21.72 Tree Protection

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RZC 21.72.060.A.1 requires a 35 percent tree retention in all new “Developments” and includes language that further clarifies “Development”. However, the RZC provides a definition of “Development”.

#### *Rationale*

The additional language that attempts to clarify “Development” is not necessary and may cause conflict with the adopted definition provided in RZC 21.78 Definitions as follows:

**Development.** The division of a parcel of land into two or more parcels; the construction, reconstruction, conversion, structural alteration, relocation, or enlargement of any structure; any mining, excavation, grading, landfill, drainage, removal of vegetation, or disturbance of land or water; and use of land or water or the intensification or extension of the use of land or water.

For the purposes of administering RMC Chapter 3.10, Impact Fees, and [RZC 21.52](#), Transportation Standards, “development” shall mean, in addition to the activities in the previous paragraph, any change in the use of a building or structure, or any changes in the use of land, where the construction, expansion, or change, when occupied or used for its intended purpose, has adverse impacts on, and may create additional demand and need for public facilities, programs, projects, or services, including fire, park, school or transportation facilities, programs, projects, or services.

For the purposes of administering RZC 21.64.040, *Frequently Flooded Areas*, development shall mean any man-made change to improved or unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations, storage of equipment or materials, subdivision of land, removal of substantial amounts of vegetation, or alteration of natural site characteristics.

#### *Amendment*

### **21.72.060 Tree Protection Standards**

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#### **A. Tree Protection, In General.**

1. In all **new** developments, ~~including additions to existing non single family buildings and parking areas;~~ a minimum of 35 percent of all significant trees shall be retained. Trees that are located within Native Growth Protection Areas, critical areas, and their associated buffers as provided in [RZC 21.64](#), *Critical Areas*, or that have otherwise been designated for protection shall not be removed. Exceptions to this standard shall be requested and reviewed in accordance with RZC [21.72.090](#), *Exceptions*.
2. **Landmark Trees.** Landmark trees shall not be removed unless an exception has been applied for and granted.

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3. Hazardous Trees. Hazardous trees or dead trees posing a hazard, outside of NGPAs, critical areas and buffers, should be removed and are not considered significant trees.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article VI

## 21.76 Review Procedures

### *Staff Contact*

Administrative Interpretation

### *Correction Needed*

It is unclear the requirement to obtain a site plan entitlement (SPE) applies to a light rail transit system.

### *Rationale*

SPE approval is required for light rail station facilities, including associated parking, access, landscaping and other station elements as would be typical of other commercial site plans. SPE approval is not required for light rail transit system elements between stations such as track and guideway, which are linear transportation facilities similar to streets.

### *Amendment*

### **RZC 21.76.070.Y. Site Plan Entitlement.**

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1. Purpose. The purpose of this section is to ensure that site plans reviewed individually or collectively by the Technical Committee, Design Review Board, Landmarks and Heritage Commission, and Code Administrator achieve the following purposes:
  - a. Compliance with the provisions of the RZC and all other applicable law;
  - b. Coordination, as is reasonable and appropriate, with other known or anticipated development on private properties in the area and with known or anticipated right-of-way and other public projects within the area;
  - c. The encouragement of proposals that embody good design principles that will result in high-quality development on the subject property;
  - d. The adequacy of streets and utilities in the area of the subject property to serve the anticipated demand from the proposal.
  - e. Determination that the proposed access to the subject property is the optimal location and configuration for access.
2. Scope. Review and approval of a Site Plan Entitlement is required for any public, semi-public, or private proposal for new construction or exterior modification to a building or site, including multifamily, attached dwelling units in non-single-family zones, commercial, industrial, utility construction, expansion, or exterior remodeling of structures, parking, or landscaping, where the proposed use is shown as permitted in the applicable permitted use chart. All of the above projects require the review and approval of a Site Plan Entitlement except for:
  - a. Detached single-family residential buildings.
  - b. Tenant improvements not encompassing or requiring modification to the exterior of an existing building; ~~and~~
  - c. Light rail transit system elements between stations such as track and guideway; and

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- d. Any action noted above which meets the criteria to be reviewed as an Administrative Modification as provided in RZC [21.76.090.D](#).
- 3. Decision Criteria.
  - a. The Technical Committee, composed of the Departments of Planning and Public Works, shall review all Development Review permits with the State Environmental Policy Act and the RZC.
  - b. The Landmarks and Heritage Commission will review all Certificates of Appropriateness for compliance with the RZC.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VI**

### **21.76 Review Procedures**

#### ***Staff Contact***

Judy Fani

#### ***Correction Needed***

RZC 21.76.020.E.2 Incorrectly references RZC Article III, Design Standards as RZC Article IV.

#### ***Rationale***

The correction ensures clarity for references between sections of the code.

#### ***Amendment***

### **21.76.020 Overview of the Development Process**

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#### **E. Design Review.**

##### **1. Purpose.** The purpose of design review is to:

- a. Encourage and promote the public health, safety, and general welfare of the citizens of Redmond, including the development and coordination of municipal growth and services;
- b. Supplement the City's land use regulations in order to promote a coordinated development of the undeveloped areas of the City, and conserve and restore natural beauty and other natural resources;
- c. Encourage originality, flexibility, and innovation in site planning and development, including the architecture, landscaping, and graphic design of proposed developments in relation to the City or design area as a whole;
- d. Discourage monotonous, drab, and unsightly developments and to promote the orderliness of community growth, and the protection and enhancement of property values for the community as a whole and as they relate to each other;
- e. Aid in ensuring that structures, signs, and other improvements are properly related to their sites and the surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping and ensuring that proper attention is given to exterior appearances of structures, signs and other improvements;
- f. Protect the heritage of the City by ensuring that historic resources retain integrity, ensuring that developments adjacent to historic landmarks are compatible, and by encouraging design that is appropriate to historic design districts;
- g. Protect and enhance the City's pleasant environments for living and working, and thus support and stimulate business and industry, and promote the desirability of investment and occupancy in business and other properties;
- h. Stabilize and improve property values and prevent blight areas to help provide an adequate tax base to the City to enable it to provide required services to its citizens; and

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- i. Foster civic pride and community spirit by reason of the City's favorable environment and thus promote and protect the peace, health, and welfare of the City and its citizens.
2. Applicability. Compliance with RZC ~~Article IV~~Article VII, *Design Standards*, shall be required for all applications requiring a building permit for exterior modifications, new construction and signs, projects requiring a Level II or III Certificate of Appropriateness, and any private or public development within the Shoreline Jurisdiction. The following are exempt from this requirement:
  - a. One- and two-unit residential structures unless the structure is a historic landmark; and
  - b. Tenant improvements not associated with a historic landmark or not encompassing modifications to the exterior of an existing building.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VI**

### **21.76 Review Procedures**

#### ***Staff Contact***

Judy Fani

#### ***Correction Needed***

RZC 21.76.050-060(K) includes a conflict between process chart in .050 (Type IV Process Chart) and code language in .060.K. The chart refers to calendar days, code language refers to business days regarding Hearing Examiner recommendations and reconsiderations. The chart and/or code should be revised for consistency in how days (calendar VS business) are counted.

#### ***Rationale***

This revision makes the chart consistent with the text in 21.76.050-060(K) and is also consistent with other provisions where business days are used when referring to Hearing Examiner reconsideration periods, e.g. Type I chart, and corresponding text in 21.76.060.I.5; Type II chart and corresponding text in 21.76.060.I.5; and for Type III chart and corresponding text in 21.76.060.J which covers both Hearing Examiner and Landmark Commission.

#### ***Amendment***

### **21.76.050 Permit Types and Procedures**

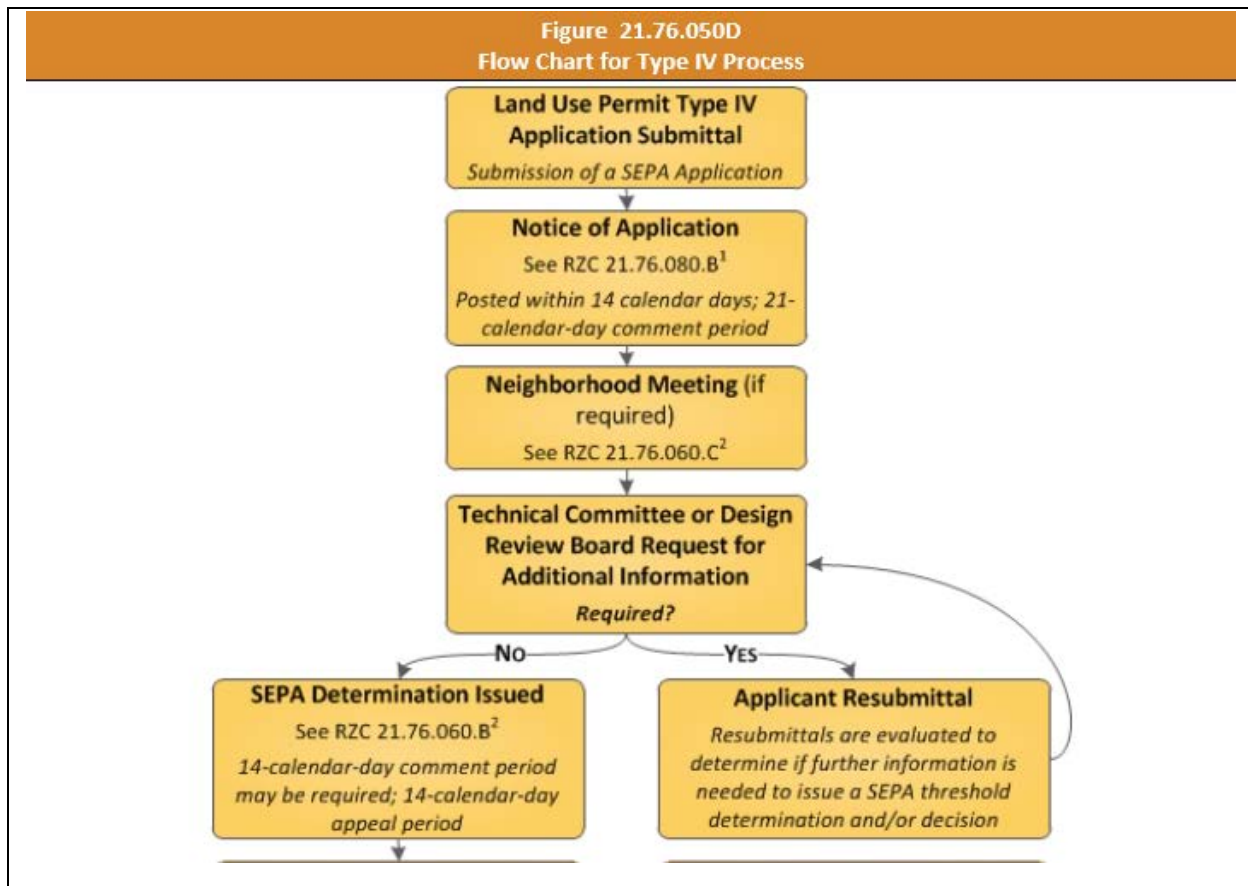
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#### **I. Type IV Review.**

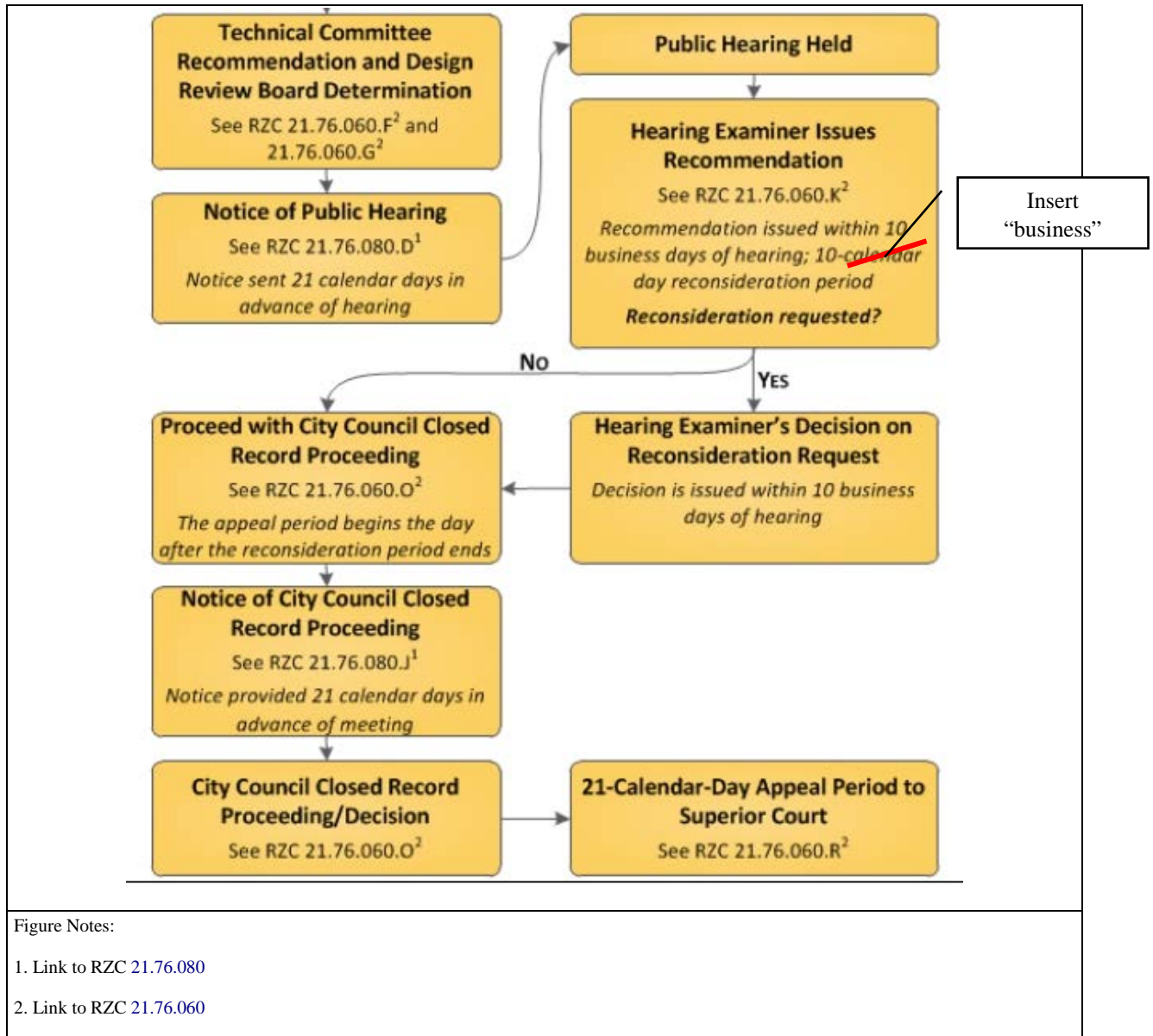
Overview of Type IV Review. A Type IV review is a quasi-judicial review and recommendation made by the Hearing Examiner and a decision made by the City Council. Environmental review is conducted when required. At an open record public hearing, the Hearing Examiner considers the recommendation of the Technical Committee and, when required, the Design Review Board, as well as public testimony. Depending on the application, the Technical Committee may require a neighborhood meeting to obtain public input. The Hearing Examiner makes a recommendation to the City Council, which considers the recommendation in a closed record proceeding and makes a final decision. Public notification is provided at the application, public hearing, and decision stages of application review. There is no administrative appeal. The City Council's decision may be appealed to the King County Superior Court.

Process Flow Chart. The flow chart below in Figure 21.76.050D generally depicts the process that will be used to review a typical Type IV land use permit. The process may vary for individual permits based on the nature and complexity of the issues involved. This flow chart is therefore provided for general reference only. More detail on each of the steps is provided in RZC 21.76.060, *Process Steps and Decision Makers*, and RZC 21.76.080, *Notices*.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



For reference only:

### 21.76.060 Process Steps and Decision Makers

#### K. Hearing Examiner Recommendations on Type IV Reviews.

1. Overview. For Type IV reviews, the Hearing Examiner makes a recommendation to the City Council after receiving the recommendation of the Technical Committee and holding an open record public hearing. The City Council considers the Hearing Examiner's recommendation in a closed record proceeding.
2. Hearing Examiner Public Hearing. The Hearing Examiner shall hold an open record public hearing on all Type IV permits. The open record public hearing shall proceed as follows:

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- a. Notice of the hearing shall be given as provided in RZC [21.76.080.D](#).
  - b. Any person may participate in the Hearing Examiner's public hearing on the Technical Committee's recommendation by submitting written comments to the Technical Committee prior to the hearing, by submitting written comments at the hearing, or by providing oral testimony and exhibits at the hearing.
  - c. The Administrator shall transmit to the Hearing Examiner a copy of the department file on the application, including all written comments received prior to the hearing and information reviewed by or relied upon by the Administrator. The file shall also include information to verify that the requirements for notice to the public (Notice of Application and Notice of SEPA Threshold Determination) have been met.
  - d. The Hearing Examiner shall create a complete record of the public hearing, including all exhibits introduced at the hearing and an electronic sound recording of each hearing.
3. Hearing Examiner Authority. The Hearing Examiner shall make a written recommendation to approve a project or approve with modifications if the applicant has demonstrated that the proposal complies with the applicable decision criteria of the RZC. The applicant bears the burden of proof and must demonstrate that a preponderance of the evidence supports the conclusion that the application merits approval or approval with modifications. In all other cases, the Hearing Examiner shall make a recommendation to deny the application.
  4. Conditions. The Hearing Examiner may include conditions in the recommendation to ensure a proposal conforms to the relevant decision criteria.
  5. Recommendation. The Hearing Examiner shall issue a written report supporting the recommendation within 10 business days following the close of the record. The report shall contain the following:
    - a. The recommendation of the Hearing Examiner; and
    - b. Any conditions included as part of the recommendation; and
    - c. Findings of fact upon which the recommendation, including any conditions, was based and the conclusions derived from those facts.
  6. Mailing of Recommendation. The office of the Hearing Examiner shall mail the written recommendation, bearing the date it is mailed, to each person included in the parties of record. The Administrator will provide notice of the Council meeting at which the recommendation will be considered to all parties of record.
  7. Request for Reconsideration. Any party of record may file a written request with the Hearing Examiner for reconsideration within 10 business days of the date of the Hearing Examiner's recommendation. The request shall explicitly set forth alleged errors of procedure, law, or fact. No new evidence may be submitted as part of a request for reconsideration. The Hearing Examiner shall act within 10 business days after the filing of the request for reconsideration by either denying the request or issuing a revised decision. The decision on the request for reconsideration and/or revised decision shall be sent to all parties of record.

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8. All Hearing Examiner recommendations on Type IV permits shall be transmitted to the City Council for final action, as provided in RZC 21.76.060.O.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article VI

### 21.76 Review Procedures

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RZC 21.76.060.G incorrectly states “The Design Review Board shall consider the application at an open public meeting of the Board in order to determine whether the application complies with Article III, Design Standards.” This should be Article II.

#### *Rationale*

The correction establishes accuracy between sections of the code.

#### *Amendment*

### **21.76.060 Process Steps And Decision Makers**

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- G. **Design Review Board Determinations on Type II, III, IV and V Reviews.** When design review is required by the Design Review Board, the Design Review Board shall consider the application at an open public meeting of the Board in order to determine whether the application complies with Article III, Design Standards. The Design Review Board’s determination shall be given the effect of a final decision on design standard compliance for Type II applications, shall be given the effect of a recommendation to the Hearing Examiner on a Type III or Type IV application, and the effect of a recommendation to the City Council on a Type V application. The Design Review Board’s determination shall be included with the written report that contains the Technical Committee recommendation or decision. The Design Review Board’s determination may be appealed in the same manner as the decision of the applicable decision maker on the underlying land use permit.

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## RZC Article VI

## 21.76 Review Procedures

### *Staff Contact*

Judy Fani

### *Correction Needed*

RZC 21.76.070.C.2 incorrectly references RZC 21.76.070.AB Variances as RZC 21.76.070.BB.

### *Rationale*

The correction establishes accuracy regarding references to sections of the code.

### *Amendment*

## **21.76.070 Land Use Actions And Decision Criteria**

---

- A. **Purpose.** The purpose of this chapter is to establish the procedures (if different than the standard review type) and the decision criteria for each development application or special procedure. With the exception of Criteria Applicable to all Land Use Permits in RZC 21.76.070.B below, the actions are listed in alphabetical order.
- B. **Criteria Applicable to All Land Use Permits.**
1. Purpose. The purpose of this section is to provide general criteria that ensure overall consistency between proposed land use permits, and applicable regulations, and the Comprehensive Plan.
  2. Scope. The decision criteria below shall apply to all land use permits.
  3. Criteria.
    - a. Consistency. Land use permits are reviewed by the City to determine consistency between the proposed project and the applicable regulations and Comprehensive Plan provisions.
      - i. A proposed project's consistency with the City's development regulations shall be determined by consideration of:
        - A. The type of land use;
        - B. The level of development, such as units per acre or other measures of density;
        - C. Availability of infrastructure, including public facilities and services needed to serve the development; and
        - D. The character of the development, such as development standards.
      - ii. Upon review of a land use permit and accompanying site plan, the decision maker shall determine whether building design and/or site design complies with the following provisions:
        - A. The Comprehensive Plan, RZC 21.02, Preface, RZC Article I, Zone-Based Regulations, RZC Article II, Citywide Regulations, and the Appendices that carry out these titles;
        - B. The provisions of RMC Title 15, Buildings and Construction, that affect building location and general site design;
        - C. The Washington State Environmental Policy Act (SEPA) if not otherwise satisfied;

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- D. RZC [Article VI](#), *Review Procedures*, to the extent it provides the procedures to ensure compliance with the requirements in subsections B.3.a.ii.B and B.3.a.ii.C of this section.
- E. Both within and outside Transition Overlays, decision makers authorized by the RZC to decide upon discretionary approvals may condition such approvals and development permits, including but not limited to site plan approvals, to minimize adverse impacts on other properties and uses, and to carry out the policies of the Comprehensive Plan.
- b. Limitations on Review. During project review, the City shall not reexamine alternatives to or hear appeals on the items identified in subsection B.3.a.i of this section, except for issues of code interpretation.
- c. Burden and Nature of Proof. The burden of proof for demonstrating that the application is consistent with the applicable regulations is on the proponent. The project application must be supported by proof that it conforms to the applicable elements of the City's development regulations and the Comprehensive Plan, and that any significant adverse environmental impacts have been adequately addressed.

### C. Administrative Design Flexibility.

- 1. Purpose. The purpose of this section is to promote creativity in site design, allow flexibility in the application of standards in certain zones, and to achieve the creation of sites and uses that may benefit the public by the application of flexible standards not otherwise possible under conventional development regulations.
- 2. Scope. Administrative design flexibility shall only be considered for adjusting standards in the categories listed below for each type of land use. Requests for adjustment to standards not listed shall be processed as a variance as set forth in RZC [21.76.070.BAB](#), *Variances*.

### AB. Variances.

- 1. Purpose. The purpose of this section is to provide a mechanism by which the City may grant relief from certain regulations, where practical difficulty renders compliance with the provisions of that code an unnecessary hardship, where the hardship is a result of the physical characteristics of the subject property, and where the purpose of that code and of the Comprehensive Plan can be fulfilled.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article VI

## 21.76 Review Procedures

### *Staff Contact*

Jae Hill

### *Correction Needed*

RZC 21.76.090.C should be harmonized with RZC 21.74.030.E.4.C and vice versa. A preliminary plat is a Type III approval, and is therefore subject to expiry and extension in both 21.76.090.C and 21.74.030.E.4.c.

### *Rationale*

The proposed amendments identified below ensure clarity between sections of code and procedures.

### *Amendment*

#### **21.76.090.C. Termination of Approval of Type I, II, and III Permits.**

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1. Approval of a Type I, II, or III application shall expire two years from the date approval was final unless significant action proposed in the application has been physically commenced and remains in progress. [This expiration excludes preliminary plats subject to expiration under 21.74.030.E.](#)
2. The period may be extended on a yearly basis by the approval authority upon showing proper justification. Proper justification consists of one or more of the following conditions:
  - a. Economic hardship;
  - b. Change of ownership;
  - c. Unanticipated construction and/or site design problems;
  - d. Other circumstances beyond the control of the applicant determined acceptable by the Technical Committee.
3. Once the time period and any extensions have expired, approval shall terminate; and the application is void and deemed withdrawn.
4. Shoreline Substantial Development Permits, Shoreline Conditional Use Permits, and Shoreline Variances. See RZC 21.68.200.C.9.

#### **21.74.030.E. Limitation on Preliminary Approval.**

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- a. Final approval of a subdivision must be acquired within seven years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2014, and within five years of the date of preliminary plat approval if the date of preliminary plat approval is on or after January 1, 2015, after which time the preliminary plat approval is void.
- b. Final approval of a subdivision must be acquired within ten years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2007, and not subject to the requirements of RCW Chapter 90.58, the Shoreline Management Act, after which time the preliminary plat approval is void.<sup>4</sup>

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c. The Hearing Examiner may grant an extension of the time periods set forth in 4.a and 4.b above for one year if the applicant has attempted in good faith to submit the final plat within the required time period; provided, however, the applicant must file a written request with the Planning Department requesting the extension at least 30 days before expiration of the required time period.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article VII

### RZC 21.78 Definitions

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RZC 21.78 -- Manufacturing and Wholesale Trade definition excludes retail sales, however the Manufacturing Park zoning (21.14.040) allows for “Retail sales of goods manufactured on the premises, or accessory or secondary to the primary manufacturing and wholesale trade use, are permitted. Area devoted to retail sales shall not exceed the lesser of 10 percent of combined gross floor area or 1,000 square feet.”

This 10% restriction also appears in the Business Park zone (Table 21.14.030C, Line 14, Reg B) and the Industrial Zone (Table 21.14.050C, Line 7, Reg C); the restriction does not appear in the Regional Retail (21.13.030), NDD2 & NDD3 (21.13.020), or MDD4 (21.13.100) zones. Removal of the retail prohibition from the definition would, in effect, allow retail by-right with no restriction in these other zones.

Also, “on the premises” is not defined: do immediately adjacent or proximal sites count as coincident sites? How do we define “on the premises” or do we find another term?

#### *Rationale*

Amending the definition of “Manufacturing and Wholesale Trade” to strike the retail prohibition establishes the retail limitations to be wholly within 21.14.040 (or other applicable zone) instead of the definition.

#### *Amendment*

#### **Manufacturing and Wholesale Trade**

---

An establishment that engages in the transformation of raw materials into finished products, in the sale or distribution of those products to persons, firms, or corporations for resale, in the storage of materials or products in a warehouse or similar structure, or in the assembly or fabrication of goods. ~~A manufacturing or wholesale trade establishment does not engage in the retail sale of products to the end consumer.~~ Manufacturing and wholesale trade does not include any activity relating to marijuana.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VII**

### **21.78 Definitions**

#### ***Staff Contact***

Administrative Interpretation

#### ***Correction Needed***

It is unclear whether the phrase “neat and approximate” as contained in the definition of Preliminary Plat implies that minor changes in the configuration of an approval short plat or preliminary plat, such as the adjustment in the location of lot lines, are subject to the Administrative Modification review process.

#### ***Rationale***

RZC 21.76.090.D states that the Administrative Modification process is for the “modification to an approved project.” This implies that once a preliminary plat has been approved that any proposed change in the configuration of the plat would require that the project go through the Administrative Modification process.

The intent of the code is clear that preliminary plat is a general layout of the subdivision and only a neat and approximate plan. It is clear that minor changes to the plan are anticipated as the project develops into the final plat phase. As these changes are anticipated, there is no need for an Administrative Modification.

#### ***Amendment***

#### **Preliminary Plat**

---

A neat and approximate drawing of a proposed subdivision showing the general layout of streets and alleys, lots, blocks, and other elements of a subdivision consistent with the requirements of the Zoning Code. The preliminary plat shall be the basis for the approval or disapproval of the general layout of a subdivision.

The minor alterations of a preliminary approved short plat or subdivision may be brought forward to final plat without obtaining an Administrative Modification. The Administrator may determine that alterations are not minor in nature and therefore, will be required to obtain an Administrative Modification prior to final plat approval.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article VII

## 21.78 Definitions

### Staff Contact

Jae Hill

### Correction Needed

Provide a graphic or illustration to clarify the definition of Story.

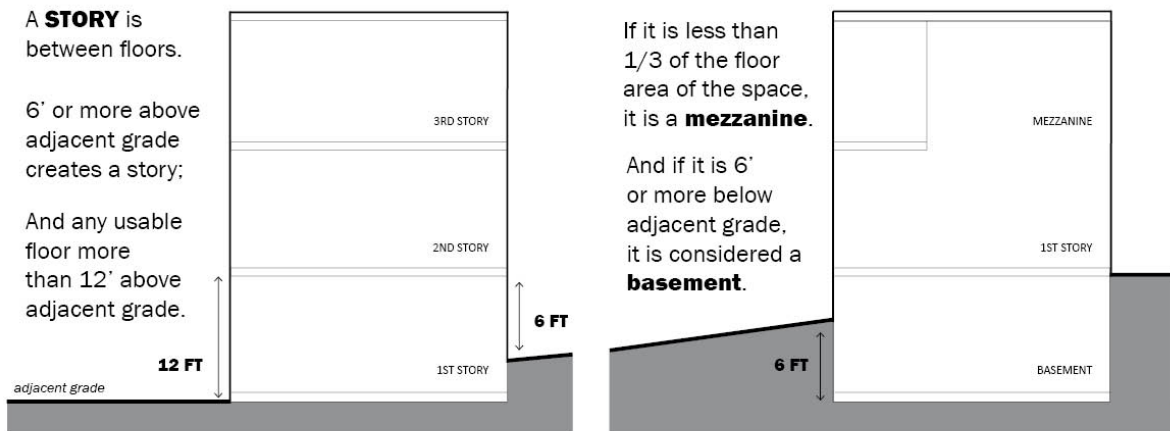
### Rationale

The illustration supplements the existing definition and provides increased clarity.

### Amendment

### Story

That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above. If the finished floor level directly above a usable or unused underfloor space is more than six feet above grade as defined herein for more than 50 percent of the total perimeter or is more than 12 feet above grade as defined herein at any point, such usable or unused underfloor space shall be considered a story. For non-buildings, or for other instances where measurement in stories is insufficient, a story shall equal 12 feet.



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RMC Title 3. Revenue and Finance 3.10 Impact Fees

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RMC 3.10.080 references the SIC but should reference the 2007 NAICS.

#### *Rationale*

NAICS was developed under the auspices of the Office of Management and Budget (OMB), and adopted in 1997 to replace the Standard Industrial Classification (SIC) system.

#### *Amendment*

### **3.10.080 Calculation of park, fire, and school impact fees using adopted impact fee schedules.**

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(A) Method of Calculation. All park, fire, and school impact fees shall be calculated using the schedules set forth in this section, except where an independent fee calculation study has been prepared and approved as provided in RMC [3.10.120](#).

(1) When using the impact fee schedules set forth in this section, the park, fire, and school impact fees shall be calculated by using the following formula:

$$\begin{array}{rclcl} \text{Number of} & & \text{Impact Fee} & & \text{Amount of} \\ \text{units of each} & \times & \text{Amount for a} & = & \text{Impact Fee that} \\ \text{use} & & \text{facility type} & & \text{shall be paid for} \\ & & & & \text{that facility type} \end{array}$$

(2) The number of units of each use determined as follows: (i) for residential uses it is the number of housing units for which a building permit application has been made and (ii) for office, retail, or manufacturing uses it is the gross floor area of building(s) to be used for each use expressed in square feet divided by 1,000 square feet. If uses other than parking vehicles which do not constitute a stock in trade and uses accessory to residences will take place outside of buildings, the calculations shall include the land area on which these uses will take place.

(3) Using the formula in subsection (A)(1) of this section, park, fire, and school impact fees shall be calculated separately for each use and each facility type. The total impact fees that shall be paid for any development are the sum of these calculations.

(4) If a development activity will include more than one use in a building or site, then the fee shall be determined using the above schedule by apportioning the space committed to the various uses specified on the schedule.

(5) If the type of use or development activity is not specified on the impact fee schedules in this section, the Administrator shall use the park, fire, or school impact fee applicable to the most

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

comparable type of land use on the fee schedules. The Administrator shall be guided in the selection of a comparable type by the most recent ~~Standard Industrial Code Manual~~ North American Industry Classification System (NAICS) edition and the Redmond Zoning Code. If the Administrator determines that there is no comparable type of land use on the above fee schedule, then the Administrator shall determine the proper fee by considering demographic or other documentation which is available from state, local, and regional authorities.

(6) In the case of a change in use, development activity, redevelopment, or expansion or modification of an existing use, the park, fire, or school impact fee shall be based upon the net positive increase in the impact fee for the new development activity as compared to the previous development activity. The Administrator shall be guided in this determination by the sources and agencies listed above.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RMC Title 7. Animals RMC 7.04 Animal Control

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RMC 7.04.154 Beekeeping includes the language "where permitted" but beekeeping isn't listed as a permitted use in any zone. Standards exist for several zones.

#### *Rationale*

Removing "where permitted" allows beekeeping to be identified as a use, where necessary and under certain conditions, in the specified zones.

#### *Amendment*

#### **RMC 7.04.154 Beekeeping.**

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Beekeeping, ~~where permitted~~, is subject to the following requirements:

- (A) No more than four hives per lot shall be allowed in areas zoned R-1, R-2, or R-3, and no more than two hives per lot shall be allowed in areas zoned R-4, R-5 or R-6, provided, that a beekeeper who picks up a swarm of bees may hold them for a period of no more than two weeks, notwithstanding the provisions of this section.
- (B) Colonies shall be maintained in small movable frame hives.
- (C) Adequate space shall be maintained in the hives to prevent overcrowding and swarming.
- (D) Colonies shall be requeened with a young hybrid queen annually, or as often as necessary to prevent any swarming or aggressive behavior.
- (E) All colonies shall be registered with the Washington State Department of Agriculture in accordance with apiary law, RCW 15.60.030.
- (F) Hives shall not be located within twenty-five feet of any property line, except under the following conditions:
  - (1) When situated eight feet or more above adjacent ground level; or
  - (2) When there is a solid fence at least six feet high separating the hive from the property line, extending at least twenty feet from the hive along the property line in both directions.
- (G) Bees living in trees, buildings or any other space (except in movable frame hives), abandoned colonies or diseased bees shall constitute a public nuisance and shall be abated, as set forth in this chapter. (Ord. 2640 § 1 (part), 2011; Ord. 1442 § 4, 1988).

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RMC Title 7. Animals RMC 7.04 Animal Control

#### *Staff Contact*

Administrative Interpretation

#### *Correction Needed*

RMC 7.04.157 Chickens describes the maximum number of chickens (female chickens, pullets, or hens) allowed to be kept on individually owned properties. However, the number of chickens allowed to be kept within the Residential Innovative (RIN) zoning designation was not previously included in the corresponding table and code section. This omission was an oversight as the RIN zoning designation is a single-family zoning designation by the Redmond Zoning Code, Chapter 21.08, Section 21.08.070.

#### *Rationale*

The RIN zone allows densities of four or five units to the acre, depending on the site size.

The maximum allowed number of chickens is consistent with the maximum number of chickens allowed on individually owned properties in the R-4 and R-5 zones. All other provisions of Section 7.04 Animal Control as well as other related section of Redmond, King County, and Washington State code also apply.

#### *Amendment*

#### **RMC 7.04.157 Chickens.**

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(A) Types. Female chickens, pullets, or hens. Water fowl including ducks, geese, and swans, and other fowl are excluded from this section.

(B) Limitations.

(1) Female chickens, pullets or hens, hereby referred to as chickens, are allowed in Single-Family zones, the Urban Recreation zone, and on publicly-owned park properties.

(2) In Single-Family and Urban Recreation zones, the following maximum number of chickens may be kept on an individually-owned property:

<b>Zoning Designation</b>	<b>Allowed maximum number of chickens</b>
UR	10
RA-5	10
R-1	10
R-2	10
R-3	8

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

R-4	7
R-5	6
R-6	4
R-8	0
<u>RIN</u>	<u>Based on the size of the lot and corresponding density:</u>  <u>A. Lots below 30,000 square feet shall be allowed a maximum of six (6) chickens.</u>  <u>B. Lots greater than 30,000 square feet shall be allowed a maximum of seven (7) chickens.</u>

(3) On publicly-owned park properties, there shall be no limit on the number of chickens kept provided that RMC [7.04.151](#), Animal structures and runs requirements are met.

(C) Chicken Husbandry Registration. Approval of a Chicken Husbandry registration is required to house chickens on any property. The property owner(s) shall complete a Chicken Husbandry registration confirming that:

- (1) The property owner has read and understands RMC 7.04 Animal Control.
- (2) The property owner agrees to maintain the subject property and chicken husbandry activity in a manner that complies with RMC 7.04 Animal Control.
- (3) Property owners who housed chickens prior to December 6, 2011 are permitted to maintain chicken husbandry activities consistent with the RMC 7.04 Animal Control in effect as of December 6, 2011.

(D) Shelter and Run.

- (1) Chickens shall be sheltered in a clean structure which shall be located no less than fifteen feet from any property line.
  - (a) The shelter shall provide protection from the following:

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- i. Weather by providing a fully enclosed structure including walls, roof, floor, and securable door.
  - ii. Predators by being made of sturdy material such as plywood.
  - iii. Rodents by limiting small points of uncontrolled access, no larger than one-half inch.
- (2) On publicly-owned park properties, there shall be no minimum setback for existing structures provided that RMC [7.04.151](#), Animal structures and runs requirements are met.
- (3) Chicken shelter, run, and other structures such as feed storage shall not be located in the front yard and shall be screened at a minimum of Type II – Visual Screen (RZC 21.32 Landscaping) from adjoining streets and access corridors.
- (4) RZC 21.08.230 Accessory Structures shall apply to chicken shelter, run, and other structures. In addition, the shelter shall be limited to no greater than 200 square feet in gross floor area and shall be no greater than eight feet in height.
- (5) A chicken run is an enclosed outside yard, no greater than six feet in height, for keeping chickens.
- (1) A run shall provide protection from the following:
- (a) Weather by providing a covered portion of run space that allows chickens to escape rain and snow.
  - (b) Predators by being made of sturdy, small gauge animal fencing such as chain link or chicken wire along the entire perimeter of the run. Floor fencing should also be installed. The top of the run shall be covered with additional similar fencing or netting in a manner that helps prevent chickens from straying.
- (6) The setback required for a chicken shelter and run may be reduced to five feet from any property line provided that the property adjacent to the proposed location of the chicken shelter and run is either:
- (a) Occupied primarily by a non-residential use such as church, school, or park;
  - (b) A permanently dedicated easement or tract such as a native protection growth easement or open space tract that is at least 10 feet in width; or
  - (c) A street or permanent trail or access corridor that includes a right of way at least 10 feet in width.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

(E) Confinement. Adequate measures shall be taken to provide safety for the chickens and to prevent them from straying onto adjacent property.

(F) Animal Waste. Adequate measures shall be taken to properly dispose of animal wastes. Accumulation of animal waste shall be prohibited from being stored within the required fifteen-foot animal shelter setback.

(G) Slaughter. Slaughter is intended only for personal consumption and no more than one chicken may be slaughtered on any property located in a residential zone within a twenty-four-hour period. Adequate measures such as arrangement with a mobile slaughter unit or veterinary service shall be taken to slaughter any more than one chicken within a twenty-four-hour period outside of any City of Redmond Residential zone. (Ord. 2640 § 1 (part), 2011).

**CITY OF REDMOND PLANNING COMMISSION  
MINUTES**

November 28, 2018

**COMMISSIONERS PRESENT:** Chairman Captain, Vice Chairman Miller,  
Commissioners East, Kritzer, Nichols and  
Rodriguez

**STAFF PRESENT:** Kim Dietz, Judy Fani, and Jae Hill, Planning  
Department

**EXCUSED ABSENCE:** Commissioner Rajpathak

**RECORDING SECRETARY:** Carolyn Garza, LLC

**CALL TO ORDER:**

The meeting was called to order at 7:00 p.m. by Chairman Captain.

**APPROVAL OF THE AGENDA**

MOTION to approve the Agenda by Vice Chairman Miller. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

**APPROVAL OF MEETING MINUTES**

MOTION to approve the October 24, 2018, Meeting Minutes by Commissioner Kritzer. MOTION seconded by Vice Chairman Miller. The MOTION passed unanimously.

MOTION to approve the November 7, 2018, Meeting Minutes by Vice Chairman Miller. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

MOTION to approve the November 14, 2018, Meeting Minutes by Vice Chairman Miller. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

**ITEMS FROM THE AUDIENCE:** None

**Report Approval – Proctor Willows Comprehensive Plan Amendment, Mr. Jae Hill, Redmond Planning Dept.**

Commissioner Kritzer asked to speak prior to the Report Approval to offer an amendment to what is written in the report and stated being open to input from fellow Commissioners. The suggested changes arose after the Chairman and Vice Chairman had reviewed the report, which was why this was being brought as an amendment at this time.

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In the report, Commissioner Kritzer felt that the depth of the discussion around affordability had not been captured in the staff report and wanted to be sure this would be fully conveyed in the report. Commissioner Kritzer distributed to the Commissioners at the meeting suggested language drafted after a discussion with Planning staff.

The report states that the Commission had inquired about deeper levels of affordability and that the Commission noted that city-wide analysis of affordable housing is important to do but that this was beyond the scope of this particular proposal. Commissioner Kritzer hoped to include more information regarding why affordability was being discussed and two possible edits.

Chairman Captain suggested this statement not be identified as an amendment but an attachment since the report would not be changed around the suggestion. Mr. Hill stated that how Commissioner's Kritzer's amendment proceeds is up to the discretion of the Commission; the report could be amended with a motion and approval of the substitution language, or this could be attached to the report. Commissioner East stated not having received the suggested changes, and Commissioner Kritzer stated that this has been emailed. Commissioner Rodriguez stated having just received the suggested changes.

Commissioner Kritzer did not wish to slow the process down but asked that, if the Commissioner were interested in the amendments, the Commission could approve the Report as amended and note what should be included in the final Report Approval. Mr. Hill replied that this was correct. Chairman Captain asked that the actual words be read for clarity and if the Commission believes this acceptable, approval of the Report as-is with the changes for the final document could be made. Mr. Hill asked if there was a Motion on the floor to amend and Commissioner Captain replied no, and Commissioner Kritzer replied not yet. Mr. Hill stated that a Motion could be made to amend and then the language be read. Commissioner Kritzer stated being open to amendments on the amendment, as the language was suggested but may not capture what the Planning Commission believed was encapsulated in the discussion.

MOTION to amend the Report in the following sections by Commissioner Kritzer.

Regarding the statement, "The Commission inquired on requiring even deeper levels of affordability;" the proposed amendment was to add at the end of this sentence: comma, "noting that one of the key arguments cited by proponents of the zoning amendment is that it will increase the supply of more affordable housing in Redmond." The intention was for more clarity that this was not only an inquiry but that this was a key part of the overall discussion and reasoning to change the zoning, and why the deeper discussion had been held regarding whether the City could go further in affordability.

Regarding the statement, "The Commission noted that city-wide review and analysis of affordable housing, and ways to achieve more of it;" the proposed amendment was to add at the end of this sentence: comma, "would be necessary to determine the appropriate level of changes to the proposed affordable housing provisions if they were to consider recommending different targets in this case. Therefore, that recommendation was determined to be beyond the scope of the proposal before them. However, the Commission noted that once this comprehensive

affordable housing analysis has been done, it should be used as a guide in similar cases to this one to ensure the City pushes for strong enough affordability standards when making zoning changes.” Commissioner Kritzer stated that the goal was to capture the discussion regarding how not only there should be a review of affordable housing city-wide but that if that review had been available, the Commission would have more easily been able to determine AMI targets. If this review happens, this could be a tool for similar cases in the future.

Commissioner Kritzer restated that the MOTION was to make these amendments. MOTION seconded by Commissioner Nichols.

Chairman Captain asked for any discussion. Commissioner East stated that Commissioner Kritzer had done a good job of summing up the discussion that had occurred and agreed that this would set the intention for the future. Commissioner Nichols stated this was important and useful information to convey to the City Council. Chairman Captain agreed and clarified to the audience that this was adding information for the City Council to consider in their decision, and in no way put additional pressures on the applicant or changed what the applicant had proposed and that had been approved by the Commission.

The MOTION passed unanimously.

MOTION to approve the Planning Commission Report on the Proctor Willows Comprehensive Plan Amendment and Rezone as amended. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously. Chairman Captain stated that the necessary follow-up paperwork would be completed at the end of the meeting.

#### **Briefing, Periodic Cleanup of Redmond Zoning Code, Ms. Kim Dietz, Redmond Planning**

Chairman Captain stated that the following was a briefing only, and not a deep analysis at this stage.

Ms. Dietz stated that the Periodic Cleanup brought by staff is regarding the zoning code and municipal code. The briefing would provide an overview of the recommended amendments in the Commission packets. A Commission recommendation regarding the preferred review process was asked for.

This is a type six permit review, in which the Commission holds a Public Hearing, Study Sessions, and a recommendation is made to City Council on the package. The Commission’s recommendation is anticipated during December or January 2019 for the amendments to be presented to the City Council for review, starting in March 2019.

Since the last update in 2015, staff has logged 129 amendments, but only 29 minor corrections were to be reviewed by the Planning Commission as part of the recommended amendment package. Staff continually logs necessary corrections as they arise. Categories that will not be reviewed at this meeting are Policy Consistent amendments which will be more substantive and New Policy amendments which are identified to be something different from the current policy direction and code. The 29 corrections that are to be reviewed include administrative

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interpretations for clarity such as fixing outdated references, inadvertent omissions, and repairs of maps. The amendments do not change the intent, purpose or direction of the code.

If the Commission recognizes something that deserves more conversation, this should be identified for staff so that these can be removed from the current package and discussed as part of the Policy Consistent package to be brought in 2019.

Slides were shown but not specifically identified for the audio recording.

Staff proposed coming back to the Commission on December 12, 2018, for a Public Hearing and Study Session and based on availability, to continue the Study Session if needed on January 2, 2019, or January 9, 2019. The Commission could make the recommendation to City Council on January 23, 2019, if ready.

One possible approach for the Commission's review of the amendments could be to identify questions and issues for each item as discovered during Commissioner's individual review. Staff could also be available to walk through each on December 12, 2018.

Vice Chairman Miller stated that administrative interpretations should be examined more closely than the others, and asked if a hard copy package of the edits could be provided to the Commissioners if needed as this would be more efficient than going back and forth within the electronic document. Ms. Dietz asked how many hard copies would be needed and Chairman Captain and Vice Chairman Miller agreed two.

Chairman Captain asked if there were a code that requires maintenance of a property in plain sight of the public. Ms. Dietz replied that this question examined in depth may be outside the scope of this particular package; however, Ms. Dietz would consult with the Code Enforcement Officer. Chairman Captain had also used damaged sidewalks as an example in the question but clarified that the City was responsible for this. Chairman Captain added detail to the question, that this would concern the failure of an owner to take care of property which results in inconvenience, damage or injury to others. Mr. Hill replied that there is a section of code regarding the abatement of nuisances; if a property is generally unattractive but does not create an unsafe or unhealthful condition, there is no process for enforcement. Chairman Captain asked for clarification that this question was not within the scope of the package presented and Mr. Hill replied no, that the question was not within the scope of the package.

**Continued Public Hearing and Study Session, Scope for 2018-2019 Comprehensive Plan Docket, Ms. Judy Fani, Senior Planner**

Chairman Captain confirmed that the Public Hearing had remained open.

Ms. Fani stated that at this meeting the revised Technical Committee Report had been distributed. The Issues Matrix is 12 pages in length. There are 13 items from previous dockets carrying forward; seven are city-initiated items; four are privately initiated, and six are up for removal. The Technical Committee Report had been revised to add a new docket proposal,

Overlake Neighborhood Plan Update, as two carry forward proposals regarding Overlake were combined and a number of other related items needed to be analyzed.

Seven criteria are used to evaluate each proposal. Of the four privately initiated proposals, Overlake Mixed Use and Urban Center Boundaries was recommended by the Technical Committee as all criteria had been met. The second was not recommended, as all criteria were not met, but the applicant and Business Park owners testified at the last Public Hearing that they were willing to work with staff on the new Overlake Plan Update scope. The Southeast Redmond Comprehensive Plan and Rezone had several issues identified and placed in the Issues Matrix.

The fourth was a returning applicant regarding Avondale and Northeast 104<sup>th</sup> Street, a proposal for a Land Use designation change from Single-Family to Multifamily Urban with the rezone sometime in the future, specifically to provide senior and affordable housing. A new Policy is also proposed to increase the density from this subject parcel to parcels north of the site. Not all criteria had been met, and the Technical Committee believed that this proposal was very similar to another made two years ago.

In response to a letter from the applicant claiming that other Multifamily housing with higher densities already exists along Avondale, research showed that from the mid-1980s to 1995, when zones were established, the Policy that the applicant does not meet, LU 36, was not in effect at that time. This is why the standard is being applied to the property of the applicant.

This meeting was both Public Hearing and Study Session number two, and these would continue until the Commission is comfortable making a recommendation to City Council. The Docket would return to the Commission on December 12, 2018, and if necessary, again on January 9, 2019.

### **Public Hearing**

Mr. Clay White with LDC, Inc. 20210 142<sup>nd</sup> Avenue Northeast in Woodinville, stated that the primary reason this process was being required was that the zoning is not appropriate for the property. If the property had been developable this would have occurred over the last four years. The client has spent six years short platting the property and moving through a Development Agreement process from 2006 to 2012. Immediately upon the short plat being completed, the Neighborhood Plan process began with adoption in 2014.

Mr. White continued by stating that the Technical Committee found that the project did not meet three of the seven criteria, but those three focused on the issue of timing versus the vision for the property. Four years have been spent trying to develop the property. The Northeast Design District 2 (NDD2) zoning has severe limitations because of code restrictions. Staff response was not agreed with. The Northeast Design District 1 (NDD1) zoning is more appropriate, and to the east of the property, NDD1 exists. The request is for additional review. The property simply is not developable as NDD2. Additional materials submitted at this meeting highlight how all criteria have been met.

Mr. Sidd Jha, 401 East 34<sup>th</sup> Street, MS S5X, New York, New York, 10016, represented Pier 67 Capital Partners and stated having distributed a letter to the Commissioners emphasizing that the property had been upzoned only once in the past seventy years, R3 to R4. The Bear Creek Neighborhood Plan Policy 18 along Avondale should be considered. The request is only to docket the proposal for further consideration and not for approval. Rejecting the proposal from the docket would eliminate the opportunity for a hearing on merits.

Vice Chairman Miller asked Mr. Jha if the belief of the client was that the property was proximate to Downtown, and Mr. Jha replied that the belief was the property met the requirements of LU 36, near Downtown. Vice Chairman Miller stated having heard the distance was almost two miles away at the last Public Hearing. Mr. Jha replied that this may be the case, but there is a Neighborhood Commercial Area 2,000 feet north of the site with Multifamily areas adjacent. The ability for the site to satisfy the requirement for Multifamily Urban can occur because of the location. The Comprehensive Plan refers to the Bear Creek Neighborhood Plan which must be Multifamily Urban.

Vice Chairman Miller replied that the reference was to maintain uses and semantics will be discussed; attention needed to be focused on Urban Centers and what is near is based on pedestrian distances. The issue for the Planning Commission was to apply the public interest as expressed in the Comprehensive Plan and Neighborhood Plans, as well as working with staff to apply technical knowledge. How the Bear Creek Plan applies would be discussed in the Issues Matrix.

Chairman Captain expressed concern that the project was being discussed at a higher level than the docket process scope permitted. Vice Chairman Miller stated a desire to be clear on the proximity issue. Mr. Jha stated a belief that Multifamily through other criteria and Policy could be established.

Chairman Captain expressed concern that multiple page letters submitted during the meeting cannot be given the time deserved at the same meeting. Chairman Captain stated that no comment would be given regarding what is received in this manner at the same meeting and how this is handled as a Commission in the future could be discussed separately.

Chairman Captain stated that there were no other speakers signed in and the Study Session could begin. Vice Chairman Miller asked if the Public Hearing would be held open and Chairman Captain replied yes, as well as online comments. Vice Chairman Miller agreed with the comment of Chairman Captain regarding the late receipt of letters. Ms. Fani suggested that the Public Hearing be held open to the end of the December 12, 2018 meeting and could be further extended at that point if needed, and Chairman Captain agreed.

### **Study Session**

Vice Chairman Miller stated regarding Issue One, timing, being satisfied with the answer and willing to close.

Vice Chairman Miller addressed Issue 2A, stating that the goal of the question was that while there were many elements of the Old Town Study that have since become obsolete or involved design concepts that have since been discarded, there could be a better sense from staff regarding the specific Historic Core design elements on Leary in particular, hoped to be maintained even if not on the docket. Ms. Fani replied that Minutes, Meeting Summaries and Public Hearing comments were considered. The time and effort invested would not be discarded but rather would be referred to because of the amount of input, consultant time, money and staff resources. The work was expected to return to the Commission when the Planning Director decided how to merge with other development work occurring Downtown in a more comprehensive view.

Vice Chairman Miller stated that there were time elements in regard to development Downtown where a certain concern existed; balancing the issues of Downtown merchants and property owners and the need to have design direction and policy in place to guide new development. There are two parcels in the area ripe for development now, and the opportunity to provide the necessary guidance to obtain the kind of performance out of Downtown that is hoped for was needed. Setting the project aside, for now, was not at issue but rather an assurance that this would be addressed in the future which still was not clear. Mr. Hill replied that an item can be a part of the staff workplan even if not on the docket. Chairman Captain stated that the Commission could ask for updates on subjects at any time, even if not on the docket, and while there are no specifics at this time this is not a closed chapter. Mr. Hill replied that the purpose of the Study Session at this meeting was for staff to provide a quick summary, but if a more substantial discussion item were desired a Motion for that direction can be made. Vice Chairman Miller stated agreement with removing this from the docket but wished to make a Motion for more substantial discussion.

MOTION by Vice Chairman Miller for staff to come back with a presentation on how Redmond will address the individual elements of the Old Town Historic Core Design Guidelines at a future date. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

Chairman Captain agreed with Vice Chairman Miller that the time was appropriate for the issue to return.

Commissioner Kritzer asked if the broader planning for Redmond by the Planning Director would be required to be on the docket, and Mr. Hill replied that some code fixes could come back as zoning code amendments separately. Any issue that is not contrary to the Comprehensive Plan can be executed through a zoning code amendment. If a change to the Comprehensive Plan is needed, this would need to be on the docket for amendment. The periodic Comprehensive Plan Update must be completed by 2023. Vice Chairman Miller stated that strategy, timeline priorities, and clear rules were needed to guide new development on key parcels.

Chairman Captain asked Vice Chairman Miller what should occur with the Issues Matrix item, and Vice Chairman Miller replied that as the Motion for a presentation had been made and Issue 2A could be closed.

Vice Chairman Miller continued to Issue 2B. The answers were satisfactory and the Issue could be closed.

Commissioner Kritzer addressed Issue 3. Staff response was appreciated and there were no further questions. Vice Chairman Miller asked if F1 and F2 were still separate items and Ms. Fani replied yes, but the applicant had indicated willingness to work with staff.

Vice Chairman Miller asked for more detail on the proposal as gentrification and unintentional consequences have occurred in the past, in example along Link Light Rail in the Rainier Valley, and the result was not how the line and benefits had been presented to the community. F1 and F2 are proximate to a Light Rail Station, but services, infrastructure, and energy may not be present to create the community at a higher density. Housing could be replaced that, while is older, is also affordable resulting in people being displaced. Adding to an Urban Center subtracts from a neighborhood. More needs to be known in order to make a decision to put the project on the docket. Mr. Hill replied that the discussion and information requested is what would occur if the item is added to the docket after basic threshold criteria have been met. Once on the docket, the materials requested would return to the Commission. The proposal now is to shift the boundary further north to include a parcel and to change the zoning change afterward. If more information is desired, Mr. Hill recommended placing the item on the docket.

Vice Chairman Miller stated that transit-oriented development is different than high-density development. Commissioner Nichols stated a belief that the sticking point of Vice Chairman Miller to put the item on the docket was criteria number seven, consistency with the City overall vision. Vice Chairman Miller replied yes. Commissioner Nichols stated that whether the development was transit-oriented or high-density was not the question to put the item on the docket; but whether or not the proposal is consistent or inconsistent with the City vision. Vice Chairman Miller stated that F1 should be on the docket but that F2 needed discussion. Commissioner Nichols replied that what was being discussed at this level was not what would be put on the property but if the project meets the basic criteria to continue to discuss. Vice Chairman Miller did not agree that the property was part of a Center and clarity was needed. Chairman Captain replied that this clarity would come when the project would be discussed on the docket with the ability to say yes or no at that point.

Vice Chairman Miller stated that this was an argument to approve everything proposed. Chairman Captain did not agree because technicalities were not the scope at this point; the question was if further discussion was warranted or not, and this appeared to need further discussion. Commissioner Nichols stated that the scope at this point was to determine whether or not the basic criteria is met and not for deeper discussion. Vice Chairman Miller questioned if criteria number four had been met because of the Microsoft Campus. Commissioner Nichols stated not believing the location of the Campus was relevant or a problem with the Urban Center. Vice Chairman Miller replied that there was not a problem until the definition of Urban Center was examined; allowing high-density development and labeling this an Urban Center should require infrastructure that Urban Centers are supposed to have, but this could be discussed when on the docket.

Chairman Captain appreciated the comment of Vice Chairman Miller that this could be discussed when on the docket. Commissioner Nichols stated that the information requested by Vice Chairman Miller was not available at this level and was not a part of the docket decision process.

Vice Chairman Miller stated wondering if there were other alternatives better suited. Chairman Captain reiterated that this would come at a docket discussion. Vice Chairman Miller replied that the topic was relevant at this point because it was the proposal. Commissioner Rodriguez asked Vice Chairman Miller for clarification that in order to have confidence that the Commission is applying the criteria for the procedural aspect, Vice Chairman Miller desired clarity on the definition of an Urban Center to determine if criteria number four has been met. Vice Chairman Miller replied yes.

Mr. Hill stated that an Urban Center is allowed to be 640 acres, one square mile. There are approximately 80 acres left to add to the site before maximum capacity is met per the Urban Center definition. Part of this is included in shifting the current boundary. Chairman Captain asked if in essence, the project was already on the docket as it was being discussed at this detail, and Mr. Hill replied that there was a carry-over item proposed to remove, C5, an evaluation of the Overlake Urban Center Boundary. Because the Overlake Neighborhood Plan was a potential docket item as well as a private applicant request, this was not included for consideration on the docket in a third place. The applicant came with a similar proposal and incorporating all together was timely, hence criteria number four is met in that respect. Vice Chairman Miller asked if F1 and F2 would precede or follow the Overlake Neighborhood Plan and Mr. Hill replied that there would be iteration after the docket is set. Updates to water and sewer, as an example, would be a part of the suggested Overlake Neighborhood Plan. Commissioner Nichols stated that the Commission had the ability to send a proposal back to staff and applicant with instruction to work further.

Vice Chairman Miller stated that F1 should go to the docket.

Chairman Captain stated that a break would be taken until 8:30 p.m.

The meeting resumed. Commissioner Kritzer was satisfied closing Issue 3. Vice Chairman Miller asked that F2 be addressed and Chairman Captain asked for clarification that F2 was on the Issues Matrix. Vice Chairman Miller requested that F2 be revisited later in the meeting and Chairman Captain agreed.

Commissioner Nichols addressed Issue 4, applying the code to NDD2 zoned properties; the question had generally been answered but Commissioner Nichols asked for clarification that if overlapping restrictions create an untenable situation, the goal would be to discuss with staff through a pre-application what possible remedies there were and possibly involving zoning code changes. Mr. Hill replied that a pre-application would occur if there were an application and the applicant was trying to find ways to make the application work. If through analysis the combination of setbacks was untenable, staff could be approached outside of a pre-application process and suggest amendments to remedy the situation. Any proscribed within the Comprehensive Plan such as the number of units requires a Comprehensive Plan Update. If only regarding the zoning code, an amendment can be made to the zoning code in a similar process to the Periodic Cleanup. Commissioner Nichols stated that the question was answered and was satisfied closing the Issue.

Chairman Captain asked to for more information about the process, however. Commissioner Nichols replied that there were further Issues Matrix items for the proposal.

Commissioner Kritzer continued with Issue 5, concerns addressed by the applicant, F3. There were two areas in staff response needing clarification, the noise setback and the criteria of timeliness, and Commissioner Kritzer asked when there would be another opportunity for the applicant to integrate into a cycle. More commentary regarding the reason the property has not been developable would also be appreciated. The issue of timeliness does apply to the criteria being used at this level. Ms. Fani replied that on timeliness, the specific criteria is whether or not the application is timely in response to what the City is doing or planning. Overlake issues are timely because staff is discussing an Overlake boundary extension, not indicating that this would be done but to say the City was planning to analyze. This application was not timely, however, because long range planning has already been completed. Four to five years in long term planning is short because of implementation time. Commissioner Kritzer asked when the next opportunity for the applicant to be a part of a neighborhood planning process would be and Ms. Fani replied every 10 to 15 years, not to say that neighborhood plans are not reviewed with Comprehensive Plan changes. An overhaul of a neighborhood plan with a Citizen Advisory Committee takes approximately 18 months. Commissioner Kritzer asked where in the criteria a proposal that doesn't fit for the docket but may fit somewhere else would be addressed. Mr. Hill replied that one criterion was if this process were the most appropriate method, depending on purpose and intent.

Commissioner Nichols asked for clarification that the area is a part of the vision for the overall neighborhood, intended for business or industrial use to make up for the potential loss of business or industrial use in the Marymoor Village area. Mr. Hill replied correct, that the idea was that the Land Uses swap places so that industrial areas correspond with areas with truck traffic, for example.

Vice Chairman Miller asked for clarification regarding the contention that of 5.85 acres of land, only 5,000 to 7,000 square feet is buildable. Ms. Fani replied that this depended on the development scenario and setbacks and buffers for a Business Park could be analyzed. Vice Chairman Miller had calculated 254,826 square feet on the parcel and stated that the statement seemed remarkable. Mr. Hill replied that the intention of the statement may have been to relate that only 7,000 square feet of the parcel may be unencumbered by a set back or regulation. If there is an activity that would trigger the noise ordinance, the activity would be moved toward the Neighborhood Commercial 1 (NC1) zone and not the NDD1 zone. There are ways of structuring uses to avoid a setback or buffer.

Chairman Captain asked if a conceptual Business Park overlay should be brought by staff. Commissioner Rodriguez stated that this stage was regarding consideration to be put on the docket and not the merits of a proposal; an overlay would not be necessary to move forward. The two areas the project failed in criteria were timeliness and consistency with overall vision and Plan and subsequently, the question was whether or not the Commission agrees with staff.

Vice Chairman Miller stated that the staff description of the NDD1 and NDD2 zones from the Southeast Redmond Plan was accurate, a transitional zone. More should be learned around the

assertion that only a remarkably small portion of the parcel is developable. Mr. Hill restated that threshold criteria only was being used at this level. Chairman Captain asked if these questions could be asked and answered on the docket and Mr. Hill replied yes if the Commission finds that the project meets the threshold criteria. Chairman Captain asked for clarification that if the project was not determined to meet the threshold criteria but there were questions, this could warrant the project being placed on the docket and Mr. Hill replied no, this stage is to determine if the criteria are met only. Further questioning regarding the merits of a project does not apply to this stage.

Chairman Captain asked if projects should be broken down item by item at the time of making a final decision and Ms. Fani replied that at the Commission could break these down, vote on the entire project as a whole, or condition the recommendation. Commissioner Nichols stated that a decision on how the Commission would vote on the report should not be made now, but Chairman Captain clarified that this was a procedural question only. Commissioner Nichols replied that when the Issues Matrix is complete, the individual items will be discussed before a vote. Chairman Captain stated that the question was only for processing next steps personally.

Chairman Captain stated that Commissioner Kritzer had stated being satisfied to close the Issue but discussion and questions had followed and asked if the Issue could be closed. Commissioner Rodriguez asked if accepting the project as a docket item would be overriding the intent of the Southeast Redmond Neighborhood Plan. Mr. Hill replied, in a sense; depending on how the Approval is worded once on the docket. The intent of the Plan was to establish transitional zones and a Commission decision may relay that this needs further review. Commissioner Rodriguez stated that either the project does or does not comply with the Southeast Redmond Neighborhood Plan and if it does not, the project fails the threshold test and does not continue to the docket. Mr. Hill replied with the caveat that many Plan changes that come to the Commission are in some way contrary to the adopted Plan. Commissioner Rodriguez asked for clarification that there were many nuances around intent by an applicant, and Mr. Hill replied yes, the decisions are not black and white.

Chairman Captain stated that the last sentence in staff response or recommendation read that staff suggests working with the applicant to identify and consider alternate amendments that maintain the intended purpose, and asked for clarification. Mr. Hill replied that this could be changes to the Comprehensive Plan and or zoning code that modify allowed uses, setbacks or any characteristics of the zone that have been established, while still maintaining the property as an NDD2 style Business Park but with the flexibility to meet the intent of the owner or Developer differently.

Vice Chairman Miller asked what the relationship would be of that discussion and the carry over proposal for Multifamily housing and Business Park or Manufacturing Park zone studies. Mr. Hill replied that the Multifamily housing question only applies to Business Park; this is a Business Park zone but not Manufacturing Park. Multifamily housing is not allowed in the same way as in the Business Park

Commissioner Kritzer asked if Issue 5 would remain open, and Chairman Captain stated that the Issue would be closed. The Commissioners agreed.

Commissioner Kritzer moved on to F4, Land Use designation from Single-Family to Multi-family. Detail in the response was appreciated. The question regarding proximity to an Urban Center was compelling.

Vice Chairman Miller asked to add this same question to the Issues Matrix for the next meeting, to be considered after the written information received during Public Testimony at this meeting, particularly regarding the Bear Creek Plan, has been read. Another discussion should be around if Neighborhood Commercial is intended as a magnet for Multifamily, or if NC serves existing residential regardless of type.

Commissioner East stated that a written letter had been received in conjunction with F3 and asked if this should be discussed on the Issues Matrix at the next meeting as well. Chairman Captain asked for clarification on procedure around the re-opening of a closed item. Commissioner East replied that this would be a different item with new information, however.

Commissioner Kritzer stated that looking at adherence to criteria, the proposal does not align in a couple of areas. Chairman Captain asked if reading what was presented at this meeting might affect Issues six and seven also. Commissioner Rodriguez thanked staff for providing findings of the Growth Management Hearings Board and was satisfied to close Issue seven. Commissioner Kritzer stated that Issue six could be closed but a new similar Issue would be created.

Vice Chairman Miller spoke on the newly added Issue. More information was desired regarding F2, creating the Overlake Village Station District particularly in relationship to a new Neighborhood Plan. It appeared that the applicant was proposing specific subarea Policies and staff response was that this may be better handled through a Development Agreement. Mr. Hill replied that while some items may come through in a Development Agreement later, this would be handled through the Neighborhood Plan. The Policies proposed were intended to flip the planning process; the applicant would present a Master Plan and Development Agreement that would filter up to the Comprehensive Plan rather than starting at the Comprehensive Plan and filtering down. This is why the Technical Committee recommended against the proposal as this is not how the Redmond Planning process works. Vice Chairman Miller agreed with the Technical Committee and asked if there would purpose in learning why the applicant wanted to approach the City this way. Mr. Hill replied that Master Planning and Development Agreements are encouraged in the code currently, but functional plans were being asked to change and this was the issue. The Developer had a different vision for the area than the adopted outcomes prescribed by the City; larger blocks, less street grid, and concepts to retain more developable area within that core. Vice Chairman Miller asked that the Issue remain on the Matrix for a more robust discussion of how this came to be. Mr. Hill replied that the applicant had not worked with staff to develop the proposal.

Chairman Captain re-stated that there were two items remaining on the Issues Matrix. The Public Hearing and comments would continue through December 12, 2018, to be extended if necessary.

### **Reports/Scheduling/Topics for Next Meeting(s)**

Redmond Planning Commission  
November 28, 2018

Ms. Fani stated that Vice Chairman Miller had asked for more information regarding the proposed ADA item discussed for the docket at the last meeting. The Planning Director had responded that there is currently an online ADA poll. A statement on the poll reads that 1,300 physical barriers to accessibility had been identified in 47 Parks in Redmond, and five questions were related to the priority in how to proceed. Ms. Fani would send to all Commissioners. Commissioner East asked if the poll could be sent to the community as well and Ms. Fani replied yes, and that people who have opted in for Redmond emails had received the poll. Chairman Captain asked if Commissioner East was asking if the poll could be forwarded to others, and Commissioner East replied that the poll should be forwarded to PTA Councils as members may be heavy park users. Ms. Fani stated that Parks staff would be approached as well regarding outreach.

Vice Chairman Miller asked for the status of the ADA audit for Public Right-of-Way and Ms. Fani replied that an update would be brought to the next meeting.

#### **Communication with Staff**

Mr. Hill did not have items to discuss.

#### **ADJOURNMENT:**


MOTION to adjourn by Vice Chairman Miller. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

The meeting adjourned at 9:07 p.m.

Minutes Approved On:

12/12/2018

Planning Commission Chair



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**CITY OF REDMOND PLANNING COMMISSION  
MINUTES**

December 12, 2018

**COMMISSIONERS PRESENT:** Vice Chairman Miller, Commissioners East, Nichols and Rodriguez

**STAFF PRESENT:** Kim Dietz and Jae Hill, Planning Department

**EXCUSED ABSENCE:** Chairman Captain, Commissioner Kritzer, and Commissioner Rajpathak

**RECORDING SECRETARY:** Carolyn Garza, LLC

**CALL TO ORDER:**

The meeting was called to order at 7:00 p.m. by Vice Chairman Miller.

**APPROVAL OF THE AGENDA**

MOTION to approve the Agenda by Commissioner Nichols. MOTION seconded by Commissioner Rodriguez. The MOTION passed unanimously.

**APPROVAL OF MEETING MINUTES**

MOTION to approve the November 28, 2018, Meeting Minutes by Commissioner East. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

**ITEMS FROM THE AUDIENCE:** None

**Continued Public Hearing and Study Session, Scope for 2018-2019 Comprehensive Plan Docket, Mr. Jae Hill, Redmond Planning**

Mr. Hill stated that staff had been directed at the last meeting to conduct a further analysis of written testimony provided at the last meeting to further assist the Commission in decision making.

Mr. Hill began with Issue 5A. The applicant had stated that criteria number three did not apply to the proposal, in regard to requiring consistency with the overall vision of the City. However, staff had found that in the Washington State Administrative code, there is a requirement that development regulations be internally consistent with the Comprehensive Plan; the Comprehensive Plan then tiers into functional and Neighborhood Plans. Development regulations should be consistent with those Plans.

The Southeast Neighborhood Plan created the Northwest Design District 2 (NDD-2) designation which is now implementing the Neighborhood Plan and Comprehensive Plan goals. The Southeast Redmond Neighborhood Plan was adopted only four years ago, effective November 1, 2014. The 192<sup>nd</sup> Avenue Northeast Corridor Design Guidelines became effective in mid-2017 and the Marymoor Neighborhood Design Guidance is currently being developed. Timeliness is related to the fact that Redmond is still implementing the previous plan; the Comprehensive Plan actually calls out for a review period for each Design District between five and ten years after implementation. The understanding is that the Northeast Design District has not had time to be fully implemented and run a course.

The applicant asserts that development standards contained within this zone cannot be implemented and that setbacks create an undevelopable parcel. This is a time to be evaluating those standards individually as opposed to cancelling the Northeast Design District. The preferred City Land Use pattern, Framework 3 (FW-3), identifies the Southeast Redmond area as a place for high technology, manufacturing, and industrial uses; and for office, housing and retail to move more towards the Downtown centers and Overlake. During Public Testimony the applicant claimed that further value to the property was not being realized through the rezone. This does not have a bearing on threshold criteria but staff wished to respond that they disagreed with this. The Client claimed severe limitations based on code restrictions and staff noted that if there are restrictions they would work with the applicant to address these.

Vice Chairman Miller stated that Issue 5A could be closed.

Mr. Hill continued to Issue number 8 regarding neighborhood commercial. The City has not had any application of the Neighborhood Commercial 1 (NC-1), but there are some small, developed Neighborhood Commercial 2 (NC-2) neighborhoods; the PCC site at Avondale and 116 St., and at Snyder's Corner across from the park. The NC-2 neighborhoods were not intended to be a magnet or a place to concentrate uses but are to service existing or planned residential uses. Vice Chairman Miller commented that this was an area of the Comprehensive Plan that was ready for review to better serve existing neighborhoods.

Vice Chairman Miller stated that Issue 8 could be closed.

Mr. Hill presented Issue number 10. The applicant claimed that property had been rezoned only once in the last 70 years while the population of the city has continued to grow. However, there are no policies requiring a property to be rezoned at the same growth factor as the rest of the City. The applicant asserted that there is a note in maps of Education Hill and Bear Creek Neighborhood Plans which makes the property governed by the Bear Creek Plan instead of the Education Hill Plan. The note states that the Education Hill Neighborhood Boundary was amended by the Bear Creek Neighborhood Plan effective March 2011. Staff assertion is and has been that the areas referenced along Avondale Road had been moved out of Education Hill and into the Bear Creek Neighborhood because of different topographical characteristics that belonged in Bear Creek. N-ED-1 (Education Hill) and N-BC-1 (Bear Creek) clearly show that movement was where the topography changed. The applicant's property remains within the Education Hill Neighborhood and according to N-BC-1 is not within the Bear Creek Neighborhood.

Vice Chairman Miller stated that Issue 10 could be closed.

### **Continued Public Hearing**

Mr. Sidd Jha representing Pier 67 Capital Partners, 401 East 34<sup>th</sup> Street, MS S5X, New York, New York, 10056 stated being present to comment again on the proposal submitted. Referencing page 6 of 7 of the Issues Matrix, Mr. Jha stated that there is still a portion of the eastern boundary along Education Hill adjacent to Avondale Road unaccounted for and the property of the client falls within that area. The applicant is not in disagreement with Bear Creek, but the question rather was what happens to remaining parcels along the northern area of Avondale. Jha asserted that the property under consideration should not move into the Bear Creek Plan and is still subject to the Education Hill Plan, but the area is subject to Bear Creek Land Use Policies on maps. The proposal should be considered onto the Docket in order to further discuss these issues. The client is willing to take a reasonable amount of cost to produce studies and reports necessary to consider if the Commission places the proposal on the docket. Mr. Jha respectfully requested that the Commission place the proposal on the docket.

Vice Chairman Miller closed the Public Hearing, both verbal and written.

MOTION to recommend approval of the Technical Committee Recommendation for the 2018-2019 Docket by Commissioner Nichols. MOTION seconded by Commissioner Rodriguez.

Commissioner Nichols commented that the purpose was to apply threshold criteria to the proposals and not to look at merits of the proposals and stated being in agreement with the Technical Committee Recommendation regarding the proposals and the application of the threshold criteria by the Technical Committee. Commissioner Nichols continued that F1 belongs on the docket but F2 does not. Proposal F3 does not belong on the docket as this is not timely or in alignment with the Southeast Redmond Neighborhood Plan vision, and if the property owner continues to experience development problems the City should be worked with to resolve issues. Proposal F4 is too similar to a proposal rejected last year.

Commissioner Rodriguez asked, from a staff perspective, how an applicant might cure the timeliness of a proposal, particularly if planning is a five to ten-year perspective; if a similar proposal is presented for the Docket next year and is rejected as not timely, what could an applicant do in an attempt to conform to the correct criteria. Mr. Hill replied that every planning action has a life, and where the plan is in implementation determines timeliness. The fairest way for an applicant to determine timeliness would be the five to ten-year review threshold. The docket process can be used to request a zone change if a resolution is not found at that time.

Commissioner East appreciated the different perspectives given during the process as a learning opportunity and agreed with Commissioner Nichols and the Technical Committee Report to include F1 on the docket but not F2, F3 or F4.

Vice Chairman Miller asked for clarification regarding the Overlake Village Station District and how the proposal in question would move forward if not on the docket. An answer had been

provided by staff that the proposal would be addressed in the newly proposed Updates to the Overlake Neighborhood Plan docket item, but Vice Chairman Miller asked why had the proposal come in as it has. Mr. Hill replied that the applicant wanted the functional and Comprehensive Plans for that neighborhood to reflect the preferred design and outcome of the applicant. Proposed Station District policies would have had the effect of making the proposal law, circumventing the process. This is why the Technical Committee recommended against the proposal. The Master Plan and Development Agreements would still come through the process absent these policies. If the applicant wished to participate with work in advance of the Overlake Neighborhood Plan Update, The Master Plan and Developer Agreement process which includes public outreach must still be used. Vice Chairman Miller was in agreement that the Overlake Village Station District should be addressed through the local planning process.

Vice Chairman Miller asked for a summary regarding ADA and Public Right-of-Way. Mr. Hill replied that there were two processes currently in motion; an ADA study and the Parking Management Strategic Plan review.

Vice Chairman Miller stated being in agreement with the staff recommendation but believed that the items moving forward should be subject to a robust discussion, F1 in particular, around the intent of an Urban Center. The proposal F4 remained unchanged from the rejected proposal of last year and there are alternative routes forward including the next Education Hill Neighborhood Plan cycle.

Vice Chairman Miller asked for a vote on the MOTION. The MOTION passed unanimously.

**Public Hearing and Study Session, Periodic Cleanup of Redmond Zoning Code, Kimberly Dietz, Redmond Planning**

Ms. Dietz stated that minor corrections would be addressed at this meeting. As a general schedule, this item is anticipated to move to City Council early in 2019 after a Planning Commission recommendation of a type six permit. The Redmond Zoning Code and Municipal Code's periodic cleanup currently includes 129 proposed amendments, with the Technical Committee's recommendation including 29 minor correction amendments for presentation at this meeting. The Commission reviewed a prior cleanup package in 2015. Later in 2019, staff anticipates providing portions of the rest of the amendments to the Planning Commission for review.

The minor amendments for the Commission's review will clarify unclear or incorrect code. Intent or direction of codes would not be changed; in example, a correction to a reference is not changing code but only correcting where the reference is pointing in the case of it being incorrect.

**Public Hearing**

Vice Chairman Miller opened the Public Hearing for both verbal and written comments.

No one testified nor were any written comments submitted.

Redmond Planning Commission

December 12, 2018

Ms. Dietz continued with an explanation of Administrative Interpretations, responding to previous request by Commissioner Miller. She described a requirement in the Revised Code of Washington whereby policies and codes must be consistent with one another. Slides were presented to display the definition and practice of Administrative Interpretation; in example, to offer examples and ideas but not to direct a specific action.

The current review package includes six Administrative Interpretations among other minor corrections. These are only providing additional information for staff or applicants to address a question at hand and not changing code.

Vice Chairman Miller asked for clarification regarding backyard chicken husbandry.

Ms. Dietz replied that when the code was created to allow for backyard chicken husbandry, the City had a list of residential zones and specifics regarding how chickens could be obtained and kept based on zone density, yard size, and open space type. This translated into the number of chickens that would be allowed. What was missed was the RIN zone. This correction would clarify a piece of the code inadvertently missed originally.

Vice Chairman Miller stated that the next meeting with this issue would be January 9, 2019, and that there had not been any issues raised by the Commission. In response to the Commission's question, Ms. Dietz stated that the January 9, 2019, meeting was not a requirement of the Public Hearing. Commissioner Nichols requested clarification whether the December 19, 2018 meeting was tentative. Mr. Hill replied that the Periodic Cleanup was not scheduled for December 19, 2018 and January 9, 2019 would be the next meeting. Vice Chairman Miller suggested that staff prepare an informal Issues Matrix if needed, to address any additional questions between the Commission and staff before January 9, 2019, but Mr. Hill replied that addressing questions during the Study Session would be preferable.

Vice Chairman Miller held the Public Hearing open through the January 9, 2019 meeting.

Mr. Hill stated that a Motion could be made at this meeting to direct staff to prepare the 2018-19 Comprehensive Plan Docket Planning Commission Report and that it be signed by the Vice Chairman. MOTION to direct staff to prepare the Planning Commission Report and obtain the signature of the Vice Chairman by Commissioner Nichols. MOTION seconded by Commissioner Rodriguez. The MOTION passed unanimously.

### **Reports/Scheduling/Topics for Next Meeting(s)**

Mr. Hill stated that there would be no meeting on December 19, 2018. The meeting on January 9, 2019, would include continued discussion regarding the zoning code cleanup and the initial Study Session for the Shoreline Master Program Periodic Update.

### **Communication with Staff**

Mr. Hill stated that Old Town standards were being reviewed by staff and this would still be brought to the Commission in 2019 as requested at a previous meeting.

**ADJOURNMENT:**

MOTION to adjourn by Commissioner Nichols. MOTION seconded by Commissioner Rodriguez. The MOTION passed unanimously.

The meeting adjourned at 7:48 p.m.

Minutes Approved On:

JAN 09, 2019

Planning Commission Chair

[Signature]

**CITY OF REDMOND PLANNING COMMISSION  
MINUTES**

January 9, 2019

**COMMISSIONERS PRESENT:** Chairman Captain, Vice Chairman Miller,  
Commissioners East, Nichols, Rajpathak and  
Rodriguez

**STAFF PRESENT:** Kimberly Dietz and Cathy Beam, Planning  
Department

**EXCUSED ABSENCE:** Commissioner Kritzer

**RECORDING SECRETARY:** Carolyn Garza, LLC

**CALL TO ORDER:**

The meeting was called to order at 7:00 p.m. by Chairman Captain.

**APPROVAL OF THE AGENDA**

MOTION to approve the Agenda by Vice Chairman Miller. MOTION seconded by  
Commissioner Nichols. The MOTION passed unanimously.

**APPROVAL OF MEETING MINUTES**

MOTION to approve the December 12, 2018, Meeting Minutes by Vice Chairman Miller.  
MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

**ITEMS FROM THE AUDIENCE:** None

Chairman Captain stated that community participation was welcomed at the meetings.

**Continued Public Hearing and Study Session, Periodic Cleanup of Redmond Zoning Code,**  
Kimberly Dietz, Redmond Planning

Ms. Dietz introduced herself as part of the Planning Department's Strategic Initiatives Division.  
The recommended amendment package includes minor corrections. No additional information  
was presented but the December 12, 2018, presentation was ready to show for the benefit of the  
Public Hearing if needed. There were no new questions or comments from the community or  
Commissioners since the last meeting.

Vice Chairman Miller asked which, if any, changes proposed quantifiably or demonstrably effect  
the level of staff operations or level of effort in the completion of staff duties, as well as effect

timelines, cost, and level of effort of individuals or entities of those doing business with the City. Ms. Dietz replied that these were questions considered by staff in bringing the proposal to the Commission. A slide was displayed listing proposed amendments. Staff looked at substance compared to the intent of existing code versus how current staff operations would change in the way of potential or unintended impacts at the Development Services Center, or by way of private or public development. The recommended amendments are intended to be minor in substance, in that there would be no impacts as asked for by Vice Chairman Miller. The amendments are not intended to change existing operations of staff in their review or carrying out of code items. The amendments are not anticipated to have any impacts to change existing timelines or costs.

Ms. Dietz stated that some questions were initially received and had been directed to the packet of materials on the webpage. No further questions have been received after direction to the webpage.

### **Continued Public Hearing**

As there were no speakers and no further questions from the community or Commission, Chairman Captain closed the Public Hearing.

Ms. Dietz stated the recommendation of the Commission could be taken on the packet going forward to the City Council for action, to be incorporated into a Report to be reviewed by the Director of the Planning Department. The Report would then be routed to the Commission for signature at the next available meeting.

MOTION to approve the changes to the Redmond Zoning Code and direct staff to return with a Report for further action by Vice Chairman Miller. MOTION seconded by Commissioner Nichols. The MOTION passed unanimously.

Chairman Captain acknowledged the presence of Mr. Jae Hill, Manager of Long-Range Planning and Erika Vandenbrande, Planning Director.

Chairman Captain congratulated Commission Kritzer and newborn daughter, Fiona.

### **Study Session, Shoreline Master Program Periodic Update, Cathy Beam, Redmond Planning**

Ms. Beam stated having distributed a copy of the slide presentation to the Commissioners.

Freshwater shorelines such as Bear Creek, Evans Creek, the Sammamish River, and Lake Sammamish are included under the Shoreline Management Act. State Law pertains to lakes over 20 acres in size, and rivers and streams with a certain velocity flow.

The Shoreline Management Act was passed by the legislature in 1971 and adopted by voters in 1972. The goal is to prevent inherent harm in an uncoordinated or piece-meal development of the shorelines of the State. Policies include recognizing State-wide interests over local, long-term over short-term benefits, no net loss of shoreline ecological functions, public access both physically and visually, and how the shorelines are used.

Jurisdictions are required to have a Shoreline Master Program establishing requirements for what can occur in the shoreline jurisdiction. In Redmond, the jurisdiction is generally 200 feet landward from the freshwater shorelines mentioned previously.

The update involves no policy changes, therefore no changes related to the Comprehensive Plan. However, shoreline regulations in the Zoning Code are proposed for amendments. Critical Areas regulations are incorporated by reference into shoreline regulations; therefore, that chapter of the zoning code is also considered to be a part of shoreline regulations. There are updates to the wetland section of the Critical Areas regulations for consistency with Department of Ecology wetland guidance documents. Critical Areas regulations typically cover streams, wetlands, geologic hazards such as steep slopes, landslide and erosion hazards, critical aquifer recharge areas, fish and wildlife habitat and floodplains.

The Redmond Shoreline Master Program covers environment policies and designations, economic development and land use, criteria related to public access, a historic and cultural element, and design. The purpose is to ensure no net loss of shoreline ecological functions, protection of waters from adverse impacts, protection of the public right to access of shoreline areas, protection of aesthetic qualities, opportunities for restoration and to ensure appropriate uses of Shoreline. Single family residences or water related uses are encouraged.

A review of the Shoreline Management Act is periodically required. Adoption is anticipated by the end of June 2019. Rules need to be reviewed for consistency with several changes to State laws, as well as for consistency with Redmond City Plans and regulations due to updates. Being responsive to changes in circumstances and information also inform updates, such as recurring themes in setbacks. There are none in this update, however.

Key changes include: cost adjustments for permits exemptions; monetary thresholds on dock replacements; inclusion of exceptions by State statutes; and updating shoreline administration and procedures such as updating permit filing procedures and ADA retrofits. Further changes include updating wetland regulations through guidance documents from the State Department of Ecology and incorporating recent wellhead changes. There are minor renumbering changes to wireless regulations.

Exhibit D in Commissioner packets is a summary checklist of requirements.

As with all Comprehensive Plan or zoning code amendments, Redmond is required to file with the Department of Commerce and this was done in early November 2018. A SEPA determination of non-significance (DNS) was issued in November 2018, and a comment and appeal period occurred with no comments or appeals. A drop-in office hours event was hosted in early December 2018, and in late December postcards were issued to all property owners within the Shoreline jurisdiction, approximately 3,600, which included information about the Public Hearing and contact information. The required legal notice was also issued in anticipation of the Public Hearing in early January in the newspaper, City Hall and at the library.

The Public Hearing is scheduled for January 23, 2019. Up to two study sessions will be held in February 2019, with a Commission recommendation in early March. Council process and action then follows. Filing with the Department of Ecology would be early June 2019. The State deadline is June 30, 2019. The Department of Ecology will also be issuing a notice towards the end of the Planning Commission process. The Redmond contact at the Department of Ecology will be present at the hearing. Joint notice was discussed, but Redmond does not define a time period with an end date ahead of time for hearings, so separate processes will be followed.

Ms. Beam asked for questions, comments, and any items that should be included in the Hearing.

Chairman Captain commented that the January 23, 2019, meeting would not only be a Public Hearing but also a Study Session.

Vice Chairman Miller asked if any of the changes presented would quantifiably or demonstrably affect staff operations or level of effort in the completion of their tasks, or effect timelines, costs or level of effort of individuals or entities of those doing business with the City. Vice Chairman Miller suggested an additional column in Exhibit D to identify impacts to assist the Commission.

Ms. Beam replied understanding that a column or two on the edge of Exhibit D was requested. Vice Chairman Miller replied yes. Ms. Beam stated that this can be done.

Chairman Captain asked Vice Chairman Miller if the impact would be related to dollar or manpower impacts. Vice Chairman Miller replied dollar and effort in terms of securing permits. Knowing potential impacts will help voting to be informed.

Ms. Beam confirmed that what was requested was staff operations impacts and timelines, and costs to an individual proposing a project.

Commissioner Rodriguez asked if what the City of Redmond chooses to do above and beyond State regulation could be flagged; in example, if Redmond is attempting to enforce or recommend a change in policy because the practice is beneficial, beyond what is required for statutory compliance. Ms. Beam replied that the only item Redmond is proposing above and beyond statutory compliance is the consistency with the recent wireless and wellhead.

Commissioner Nichols asked for clarification regarding the difference between a floodway and a floodplain. Ms. Beam drew a graphic for the Commissioners showing water within a 100-year floodplain with a one percent per year chance there will be flooding. The fast-moving water of a floodplain is called the floodway portion. The backwater on either side is called the flood fringe. The floodway plus the flood fringe equals the floodplain.

Chairman Captain commented that a good example of a floodplain is the Sammamish River by Marymoor which is most of the year floodway, then beyond in winter.

Chairman Captain asked if, when stating the shoreline extends from the shoreline 200 feet landward, this is taken from the ordinary high-water mark. Ms. Beam replied yes.

Chairman Captain stated again that the next meeting would be a combination Public Hearing and Study Session. Ms. Beam stated that Exhibit D would be amended to include the requested columns.

### **Reports/Scheduling/Topics for Next Meeting(s)**

Mr. Hill asked Commissioners to email availability for the January 23, 2019, meeting as well as February availability each week on Wednesdays so that there can be flexibility for scheduling for quorums. Chairman Captain stated being available for the January 23, 2019, meeting.

### **Communication with Staff**

Mr. Hill reminded Commissioners to disclose living within a shoreline jurisdiction prior to deliberation if applicable. If the task was project specific a Commissioner could recuse, but this is not necessary for projects that affect such a large number of people. The Commission is self-policing.

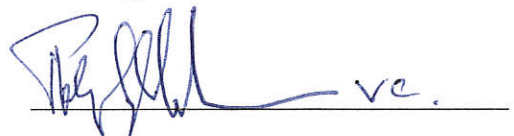
### **ADJOURNMENT:**

MOTION to adjourn by Commissioner Nichols. MOTION seconded by Vice Chairman Miller. The MOTION passed unanimously.

The meeting adjourned at 7:38 p.m.

Minutes Approved On:

Planning Commission Chair

A handwritten signature in blue ink, appearing to be "Reg Hill", followed by the initials "vc." and a horizontal line.

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## TECHNICAL COMMITTEE REPORT

**To:** Planning Commission

**From:** Technical Committee

**Staff Contacts:** Erika Vandenbrande, Director, Planning and Community Development  
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425-556-2733

Jae Hill, AICP, Manager, Long Range Planning  
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**Date:** November 7, 2018

**Project File Number:** LAND-2018-01232

**Project Name:** Redmond Zoning Code – Periodic Cleanup (Minor Amendments)

**Related File Numbers:** SEPA-2018-01265

**Applicant:** City of Redmond

**Applicant's Representative:** Same as staff contacts

**Reason for Proposal Adoption:** The proposed amendments are recommended by the Technical Committee to provide a periodic cleanup to portions of the Redmond Zoning Code (RZC) and Redmond Municipal Code (RMC). The amendments correct typographical errors; address inconsistencies or missing references to other portions of the RZC, RMC, and state and federal regulations; and revise place names, outdated terminology, and identifiers.

The recommended minor corrections have been determined to be exempt from SEPA review per WAC 197-11-800.19(B) as follows:

(19) Procedural actions. The proposal, amendment or adoption of legislation, rules, regulations, resolutions or ordinances, or of any plan or program shall be exempt if they are:

- (a) ...
- (b) Text amendments resulting in no substantive changes respecting use or modification of the environment.
- (c) ...

## **I. APPLICANT PROPOSAL**

### **A. APPLICANT**

City of Redmond

### **B. BACKGROUND AND REASON FOR PROPOSAL**

The City of Redmond periodically proposes amendments to its development regulations to address errors, discrepancies, and ambiguities. As a normal course of business, staff records proposed code corrections as discovered during the interim between the City Council's action on such, then brings the collected amendments to the City Council for concurrence and approval. Staff also identifies other potential code updates due to changed conditions, new state or federal regulation, and emerging technologies or practices. Since the City Council's last such action (*Ord. 2803, eff. Oct. 17, 2015*), staff has logged over 120 items including necessary code corrections and administrative interpretations.

Staff analyzed and organized the comprehensive list of corrections and interpretations into three categories based on the item's intent and scope (Attachment A).

- Minor corrections include typographical errors, inconsistent or missing references to other portions of the RZC, revised place names, and outdated terminology or identifiers. Such minor corrections are exempt from SEPA review per WAC 197-11-800.19(B).
- Policy consistent amendments are anticipated to require a relatively small amount of discussion and include issues such as clarifying vague language, providing definitions, and creating consistency with recently

updated state laws. Beginning in 2019, staff will further develop these items for subsequent consideration and action.

- New policy amendments are likely to result in significant discussion and require varying amounts of research. These are also likely to be recommended for individual consideration such as through the annual docketing process.

The first of the three categories—minor corrections—is the sole focus of this recommendation; subsequent phases of review will address the remaining categories. For minor corrections, staff considered whether the correction or interpretation was constrained as follows:

- Clearly maintains the intent, purpose, and direction of current regulation.
- Scope and scale is limited to a small, isolated portion of the RZC.
- Administrative interpretation of issue relying solely on existing code for clear and concise direction.

## **II. RECOMMENDATION**

The Technical Committee recommends approval of the proposed amendments to the Redmond Zoning Code and Redmond Municipal Code.

## **III. PRIMARY ISSUES CONSIDERED**

The primary issues considered for this package were clarity, accuracy, consistency and updates based on changed conditions. The Existing Conditions section below provides general descriptions and representative examples of the corrections, organized by type. Attachment A provides additional information concerning the individual amendments.

## **IV. SUPPORTING ANALYSIS**

### **A. EXISTING CONDITIONS**

#### Corrections for Clarity

The following describe amendments that improve the clarity of code in sections where the existing code is somewhat vague, define terminology in association with federal and state regulations, or reduce confusion where the code inaccurately describes a condition:

- RZC 21.08.070 RIN (Residential Innovative) Single-Family Urban Residential to clarify for smaller dwelling units.
- RZC 21.20.030 General Requirements and Incentives to clarify a Multifamily Property Tax Exemption reference pursuant to City Council's action.
- RZC 21.52.020 Transportation Management Program to clarify application of the Transportation Management Program.

- RZC 21.64.040 Frequently Flooded Areas to correct terminology for hydraulic modeling.
- RZC 21.72.060 Tree Protection Standards to clarify language regarding *Development*, a defined term.
- RZC 21.76.050 Permit Types and Procedures to clarify the measurement of business days regarding the Hearing Examiner's issuance of recommendation.
- RZC 21.76.090.C Termination of Approval of Type I, II, and III Permits to ensure consistency between code sections, clarifying expiration per RZC Limitation of Preliminary Approval.
- Clarifying the definitions of *Manufacturing and Wholesale Trade* and *Story* (of a structure).
- RMC 7.04.154 Beekeeping to clarify language regarding this activity as a permitted use.

This representative example recommends a clarification to accurately address the type of model used to map frequently flooded areas and to ensure consistency with the similar description of the modeling such as by the Washington Administrative Code (WAC):

A hydraulic model is used for the type of analysis described in RZC 21.64.040 Frequently Flooded Areas. This name should be consistent with industry terminology for clarity and for reference to state regulations such as 220-660 WAC Hydraulic Code Rules.

#### 21.64.040 Frequently Flooded Areas

...

2. Classification of frequently flooded areas shall be determined by the Committee based on consideration of the following factors:
  - a. Maps adopted pursuant to this chapter including the frequently flooded areas map, which identifies the approximate location and extent of the 100-year floodplain. This map shall be used as a general guide only for the assistance of property owners and other interested parties; boundaries are generalized. The actual type, extent, and boundaries of frequently flooded areas shall be determined in the field by a qualified consultant according to the procedures, definitions, and criteria established by this chapter. In the event of any conflict between the critical area location and designation shown on the City's map and the criteria or standards of this section, the criteria and standards shall prevail. The City will employ ~~hydrologic~~ hydraulic models to define the extent of the zero-rise floodway. If the zero-rise floodway has not yet been defined for the property in question, the applicant will be responsible for modeling the base flood elevation and delineating the extent of the zero-rise floodway, consistent with the assumptions in the Bear Creek Basin Plan as adopted by the City. In

the absence of a City hydrologic hydraulic model, FEMA data will be acceptable;

#### Correction of References

The following recommendations correct references to other sections of the RZC or RMC, ensuring accurate navigation for users of the code:

- RZC 21.10.060 Bear Creek (BC), Valley View (VV), and Trestle (TR) Zones to repair a cross-reference to design guidelines.
- RZC 21.10.150 Pedestrian System to correct references regarding the pedestrian system plan.
- RZC 21.70.070 Responsible Official to correct reference to the RMC regarding the Technical Committee.
- RZC 21.76.020 Overview of Development Process and RZC 21.76.060 Process Steps and Decision Makers to correct reference to the RZC regarding Design Standards.
- RZC 21.76.070 Land Use Actions and Decision Criteria to correct a reference to RZC Variances.
- RMC 3.10.080 Calculation of park, fire, and school impact fees using adopted fee schedules to correct reference to the 2007 North American Industry Classification System (NAICS) edition.

This representative example recommends amending a reference for accuracy, correcting the code numbering to a specific section of the RZC.

Table 21.10.060B Regulations Common to All Uses	
Standard	Notes and Exceptions
Other Standards	
2 Stories	A. The maximum height may be increased to four stories when the site's development plan can demonstrate the goals and objectives outlined in Comprehensive Plan Policy DT-37, and the design guidelines outlined in RZC 21.62.020.G.2.cC are met through the site plan entitlement process.

#### Correction of Inadvertent Omissions

The following are amendments that rectify inadvertent omissions:

- RZC 21.08.260 Attached Dwelling Units to include the RIN zoning designation regarding minimum lot sizes for multiplexes.
- RZC 21.13.020 Northeast Design District to correct references to Ecological Score Requirements.
- RMC 7.04.157 Chickens to include the number of chickens allowed in the RIN zone.

This representative example recommends an amendment to restore specific use of the ecological score as an incentive for new development and to remove a newly obsolete reference. The omission occurred through Ordinance 2858, eff. Dec. 6, 2016 — a comprehensive, detailed amendment regarding Low Impact Development.

Table 21.13.020F Incentive Program		
	Applicable Performance Areas	Maximum Incentive
Increase ecological score to 46 by incorporating items <del>18 or 19, 6 or 20, and 7, 13 and 17. 13 or 14, 6 or 15, 7, and 12.</del>	NDD1	1 additional story

- b. Increase ecological score to 46 by incorporating items ~~18 or 19, 6 or 20, and 7, 13 and 17~~ 13 or 14, 6 or 15, 7, and 12: incorporate green roofs or landscaped roofs, additional replacement trees or canopy-forming trees, and vegetated walls, and land for community food gardens ~~and pervious paving for nonpollution-generating impervious surfaces~~, according to the standards described in RZC 21.32.060, Ecological Score Requirements.

#### Map Repair

The following recommended map repairs ensure consistency with the associated RZC text:

- RZC 21.12 Overlay Regulations to include new street names in maps and associated code sections, as authorized by the Fire Chief per RMC 15.06 Fire Code.
- RZC 21.13.140 MDD Building Placement and Form to provide consistency in terminology between code and associated map regarding pedestrian oriented uses and to provide clarity regarding measurement of Height Overlay Area depth.

#### Administrative Interpretations

RZC 21.76.100.D authorizes the code administrator — the Director of Planning and Community Development or designated representative to interpret the provisions of the RZC except where expressly provided otherwise. The following recommendations were previously approved as Administrative Interpretations:

- RZC 21.08.180 Residential Development and Architectural, Site, and Landscape Design Regulations to clarify the technique for measuring a structure's height.
- RZC 21.08.180.D.2.b Building Orientation to clarify the methods for setting back a garage from the front street elevation and providing a transition area in the front yard toward the front street.
- RZC 21.76.070.Y Site Plan Entitlement to clarify whether a site plan entitlement applies to light rail transit systems.
- To clarify the definitions of a *Preliminary Plat*.

## **B. COMPLIANCE WITH CRITERIA FOR PLAN AMENDMENTS**

Redmond Comprehensive Plan Policies PI-16 and LU-26 direct the City to take several considerations, as applicable, into account as part of decisions on proposed amendments to the Comprehensive Plan.

The following is an analysis of how this proposal complies with the requirements for amendments.

### **1. Consistency with Growth Management Act (GMA), State of Washington Department of Commerce Procedural Criteria, VISION 2040 or its successor, and the King County Countywide Planning Policies.**

The proposal considers direction by the GMA, the Department of Commerce, VISION 2040, and Countywide Planning Policies. GMA's planning goals include encouraging development in urban areas, reducing sprawl, encouraging efficient multimodal transportation systems, providing a variety of housing choices and levels of affordability, encouraging economic development, maintaining and enhancing natural resources and open space, protecting the environment and quality of life, and encouraging community participation in planning processes.

RCW 36.70A establishes the procedural requirements for planning and maintaining consistency between a jurisdiction's Comprehensive Plan and development regulations. The proposal addresses minor corrections as amendments to the Redmond Zoning Code and Redmond Municipal Code, ensuring previously established consistency with Redmond Comprehensive Plan policies as well as with direction by the GMA, the Department of Commerce, VISION 2040, and Countywide Planning Policies.

Staff provided notice to the Department of Commerce on October 29, 2018, consistent with the required notification procedures (RCW 36.70A.106 and WAC 365-196-630).

**2. Consistency with Redmond's Comprehensive Plan, including the following sections as applicable:**

**a. Consistency with the goals contained in the Goals, Vision and Framework Policy Element.**

The proposal is limited to minor corrections within the RZC and RMC concerning typographical errors; inconsistencies or missing references to other portions of the RZC, RMC, and state and federal regulations; and revise place names, outdated terminology, and identifiers. The amendments maintain existing purpose, intent, and scope of current policies and codes, therefore continuing to ensure consistency with the Goals, Vision, and Framework Policy Element as previously established by the City Council's respective actions.

**b. Consistency with the preferred land use pattern as described in the Land Use Element.**

Similarly, the proposal's individual amendments also maintain previously established consistency with the City's preferred land use pattern as described in the Land Use Element.

**c. Consistency with Redmond's community character objectives as described in the Community Character/Historic Preservation Element or elsewhere in the Comprehensive Plan.**

The proposal, comprised of minor corrections, clearly avoids modifications to the purpose, intent, and scope of the respective portions of the RZC and RMC. Therefore, as previously established through City Council actions, the amendments continue to maintain consistency with Redmond's community character objectives.

**d. Consistency with other sections as applicable including the Natural Environment; Economic Vitality; Transportation; Parks, Arts, Recreation, Culture and Conservation Elements.**

As the proposed amendments herein avoid modifications to the purpose, intent, and scope of respective portions of the RZC and RMC, the proposal also continues to maintain consistency with the Natural Environment; Economic Vitality; Transportation; Parks, Arts, Recreation, Culture and Conservation Elements of the Comprehensive Plan.

**3. Potential general impacts to the natural environment, such as impacts to critical areas and other natural resources, including whether development will be directed away from environmentally critical areas and other natural resources.**

The proposal, limited to minor corrections as described above, does not change citywide policies or regulations that protect the environment.

**4. Potential general impacts to the capacity of public facilities and services. For land use related amendments, whether public facilities and services can be provided cost-effectively and adequately at the proposed density/intensity.**

The proposal, being comprised of amendments that maintain respective portions of the RZC and RMC, does not propose changes that would result in impacts to the capacity of public facilities and services.

**5. Potential general economic impacts, such as impacts for business, residents, property owners, or City Government.**

The proposal is limited to minor corrections within the RZC and RMC concerning typographical errors; inconsistencies or missing references to other portions of the RZC, RMC, and state and federal regulations; and revise place names, outdated terminology, and identifiers. As the amendments avoid modifications to the purpose, intent, and scope of existing policies and regulations, economic conditions for businesses, residents, or property owners will not be altered.

Due to the amendments addressing accuracy and clarity of the code, it is anticipated that the proposal will enhance the efficiency and communication between the City Government and its customers such as during interactions involving the Development Services Center.

**6. For issues that have been considered within the last four annual updates, whether there has been a change in circumstances that makes the proposed amendment appropriate or whether the amendment is needed to remedy a mistake.**

The City Council's last action of this nature was on October 17, 2015 for action on Ordinance 2803. Minor corrections to the RZC and RMC are processed periodically, with staff recording such issues and need for the City Council's action during the interim between such actions.

**C. RELATIONSHIP TO PENDING AMENDMENTS IN THE 2017-18 COMPREHENSIVE PLAN AMENDMENT PACKAGE.**

The proposal has been reviewed to confirm that the respective amendments avoid impacting or addressing the substance of policies and code pending action via the 2017-2018 Comprehensive Plan Amendment package. The amendments contained herein include minor corrections that are non-substantive in scope, limited to typographical errors, inconsistent or missing references to other portions of the RZC, revised place names, and outdated terminology or identifiers.

## **V. AUTHORITY AND ENVIRONMENTAL, PUBLIC AND AGENCY REVIEW**

### **A. AMENDMENT PROCESS**

RZC 21.76.070.AE and 21.76.050.K require that amendments to the Comprehensive Plan or Zoning Code (except zoning map amendments consistent with the Comprehensive Plan) be reviewed under the Type VI process. Under this process, the Planning Commission conducts a study session(s), an open record hearing(s) on the proposed amendment, and makes a recommendation to the City Council. The City Council is the decision-making body for this process.

### **B. SUBJECT MATTER JURISDICTION**

The Redmond Planning Commission and the Redmond City Council have subject matter jurisdiction to hear and decide whether to adopt the proposed amendment.

### **C. WASHINGTON STATE ENVIRONMENTAL POLICY ACT (SEPA)**

The City of Redmond, as the lead agency for this proposal, determined on October 31, 2018 that the proposal is categorically exempt from the SEPA threshold determination and EIS requirements pursuant to WAC 197-11-800.19(b).

### **D. 60-DAY STATE AGENCY REVIEW**

State agencies were sent 60-day notice of the proposed amendments on October 29, 2018.

### **E. PUBLIC INVOLVEMENT**

The public has opportunities to comment on the proposed amendment through the Planning Commission review process and public hearing. A public hearing is scheduled for December 12, 2018. The hearing notice is attached as Exhibit C.

During development of the recommended amendments, notice regarding the proposal was provided through the following City of Redmond webpages:

- [Zoning Code](#);
- [Development](#); and
- [Public Hearing Notices](#).

Notice was also provided by mail and email to the parties of record regarding the 2015 Comprehensive Plan and Zoning Code Miscellaneous Amendments (*Ord. 2803, eff. Oct. 17, 2015*).

#### **F. APPEALS**

RZC 21.76.070.AE identifies Zoning Code Amendments as a Type VI permit. Final action is held by the City Council. The action of the City Council on a Type VI proposal may be appealed by filing a petition with the Growth Management Hearing Board pursuant to the requirements.

#### **VI. LIST OF EXHIBITS**

- Exhibit A: [Recommended Redmond Zoning Code and Redmond Municipal Code Periodic Cleanup – Minor Corrections 2018 - 2019](#)
- Exhibit B: [Categorical Exemption from SEPA Determination](#)
- Exhibit C: [Public Hearing Notice for December 12, 2018 Hearing](#)

**Conclusion in Support of Recommendation:** The Technical Committee has found the proposal to be in compliance with the Redmond Zoning Code, Redmond Comprehensive Plan, Redmond Municipal Code, and State Environmental Policy Act (SEPA) rules.



ERIKA VANDENBRANDE,  
Director of Planning & Community Development



MARTIN PASTUCHA,  
Director of Public Works

# Redmond Zoning Code Redmond Municipal Code

Periodic Cleanup

*Minor Corrections*

2018 – 2019

**Staff:**

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# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

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## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

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## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

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RMC 7.04.154 Beekeeping includes the language "where permitted" but beekeeping isn't listed as a permitted use in any zone. Standards exist for several zones.	120
<b>RMC Title 7. Animals RMC 7.04 Animal Control</b>	<b>121</b>
RMC 7.04.157 Chickens describes the maximum number of chickens (female chickens, pullets, or hens) allowed to be kept on individually owned properties. However, the number of chickens allowed to be kept within the Residential Innovative (RIN) zoning designation was not previously included in the corresponding table and code section.	121

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

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# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### Staff Contact

Andrew Bauer

### Correction Needed

Lack of clarity/cross-reference to additional applicable regulations for “smaller dwelling units.”

### Rationale

Amendment provides a cross-reference for clarity purposes only.

### Amendment

### RZC 21.08.070 RIN (Residential Innovative) Single-Family Urban Residential

A. Purpose. The RIN Single-Family Urban Residential zone is intended to promote single-family housing consisting of smaller dwelling units to respond to changing household sizes and ages. It will provide opportunities for households of various sizes, ages, and incomes to live in a neighborhood by promoting diversity in the size, type, and price of new single-family homes. Also, this zone will blend new development with existing residential development to help maintain neighborhood character, particularly in neighborhoods with a predominance of small to moderately sized homes. The zone will help to provide appealing and active streetscapes that promote a more walkable and enjoyable neighborhood experience. The density allowed within the zone shall be four to five dwelling units per gross acre depending on the size of the site and the size of dwellings proposed.

B. Regulations Common to All Uses.

Table 21.08.070A Regulations Common to All Uses			
	Regulation	Site area of 30,500 square feet or greater	Site area less than 30,500 square feet
Minimum	Average Lot Size	4,000 square feet	7,000
	Required Density	80 percent of net acres	80 percent of net acres
	Lot Width Circle	35 feet	40 feet
	Lot Frontage	20 feet	20 feet
	Setbacks		
	Front	15 feet	15 feet
	Garage	18 feet	18 feet
	Side / Interior (each side)	5 feet / 10 feet	5 feet / 10 feet
	Side Street	15 feet	15 feet
	Rear	10 feet	10 feet
	Alley	4 feet	4 feet
	Lake Sammamish	35 feet	35 feet
	Building Separation	15 feet; 10 feet for cottages, size-limited dwellings, small-lot short plats, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units.	15 feet; 10 feet for cottages, size-limited dwellings, small-lot short plats, accessory dwelling units, and locations where these structures or cottages adjoin larger dwelling units.
	Open Space	20 percent of total lot area	20 percent of total lot area
Maximum	Density	5 units per acre, except when participating in cottage housing or programs with bonus density provisions	4 units per acre, except when participating in cottage housing or programs with bonus density provisions
	Lot Coverage for Structures	35 percent of total lot area	35 percent of total lot area

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	Impervious Surface	65 percent of total lot area	60 percent of total lot area
	Building Height	25 feet; 30 feet in Shoreline Jurisdiction	25 feet; 30 feet in Shoreline Jurisdiction
	Drive-through	n/a	Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Special Regulations table below.
	<u>Smaller dwelling units</u>	<u>See RZC 21.08.360</u>	<u>n/a</u>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### *Staff Contact*

Administrative Interpretation

### *Correction Needed*

In RZC 21.08.180.C.2.a.iii.A, it is unclear how to measure the structure's height for purposes of meeting the Residential Design Standards and variation in structure height requirements.

### *Rationale*

The definition of Elevation as currently defined by the Redmond Zoning Code state, "The architectural view of the front, side, or back surface of a structure to include doors, windows, and rooftop screening that is an extension of the façade, but excluding any roof area and rooftop equipment or structures."

The design standards citation and definition acknowledges that the intent of the code is to ensure there is visual interest and variation along the street frontage of newly planned developments. Due to natural topography, there are conditions where a 10% height difference measured at average finish grade results in a lack of visual variation or interest.

Measuring from the lowest street facing elevation of a home's living space (or street facing garage) will ensure that whether a site is level or has shifts in the topography, the homes have a visual variation from the street frontage and therefore meet the intent of the code.

### *Amendment*

## **21.08.180 Residential Development and Architectural, Site, and Landscape Design Regulations**

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### **C. Variety and Visual Interest in Building and Site Design.**

1. Purpose. The purpose of this section is to:
  - a. Promote building and site design that is consistent with the neighborhood character of each of the City's residential neighborhoods; and
  - b. Provide variety and visual interest by using various combinations of building elements, features and treatments and variation in site design elements while remaining consistent with neighborhood character.
2. Design Criteria.
  - a. Variety in Building Design.
    - i. The same combination of building elements, features and treatments shall not be repeated for more than 20 percent of the total dwelling units in any new residential development. Dwelling units with the same combination of features and treatments shall not be located side by side with each other or directly across a street from each other.
    - ii. Dwelling units in developments of five or more lots may have the same combination of features as long as the details are varied to achieve visual interest. Dwelling units in developments of less than five lots shall not repeat the same combination of primary and

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

secondary features. The development of a new dwelling unit on a single lot shall not repeat the same design of an existing home that is located side by side with it or directly across a street from it.

- iii. In making the determinations required in subsections C.2.i and C.2.ii, of this section, architecture within new residential developments will be evaluated by the Administrator as a combination of at least three primary features and at least three secondary features per dwelling unit. The primary features may include:

A. Variation in structure height by a minimum of at least 10 percent;

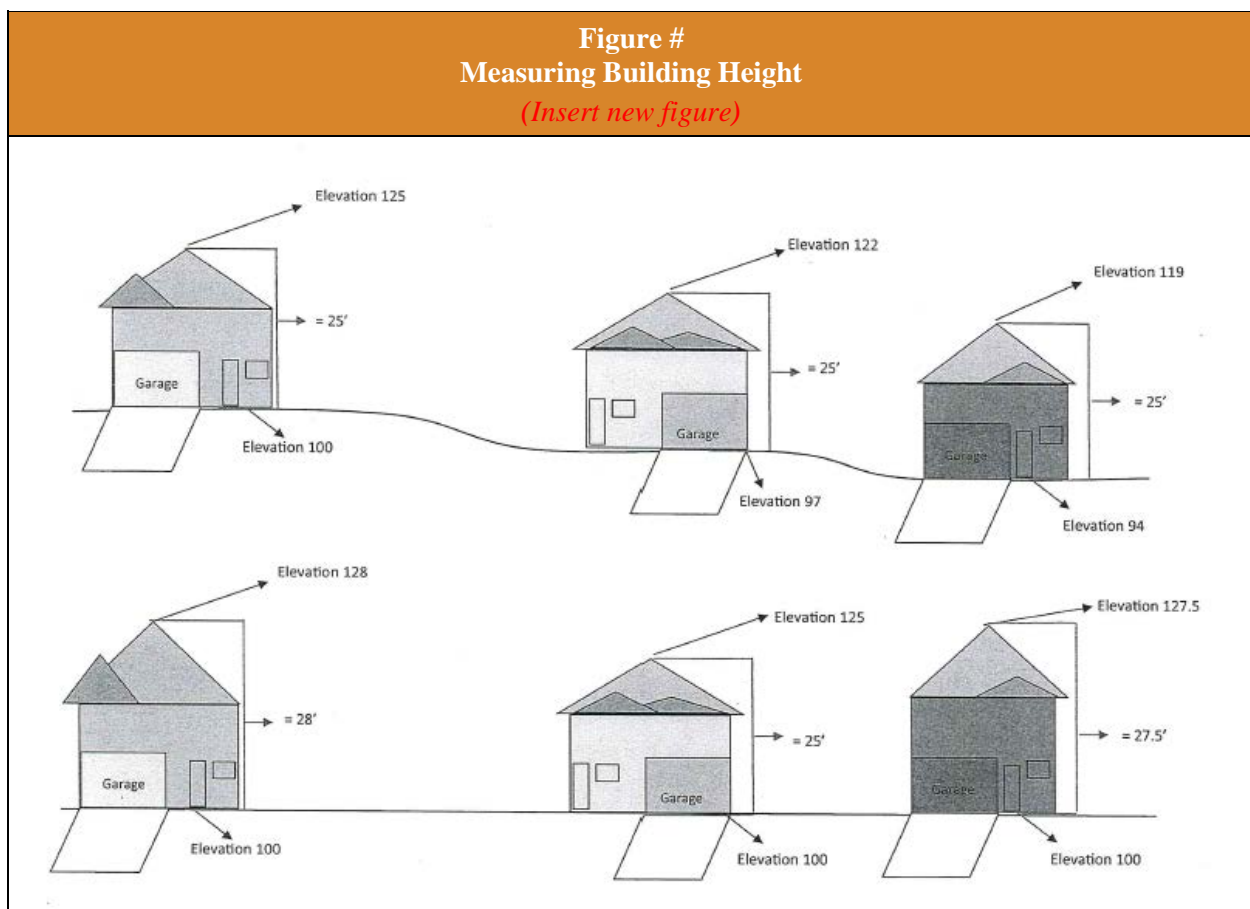
1. For the purposes of this section, building height shall be measured from the main ground floor living space elevation that is street facing or a street facing garage elevation, whichever is lower to the height roof elevation point visible from the street, as depicted in Figure #.

B. Varying roof pitch, shape, and orientation between adjacent structures;

C. Variation in structure width of greater than five feet;

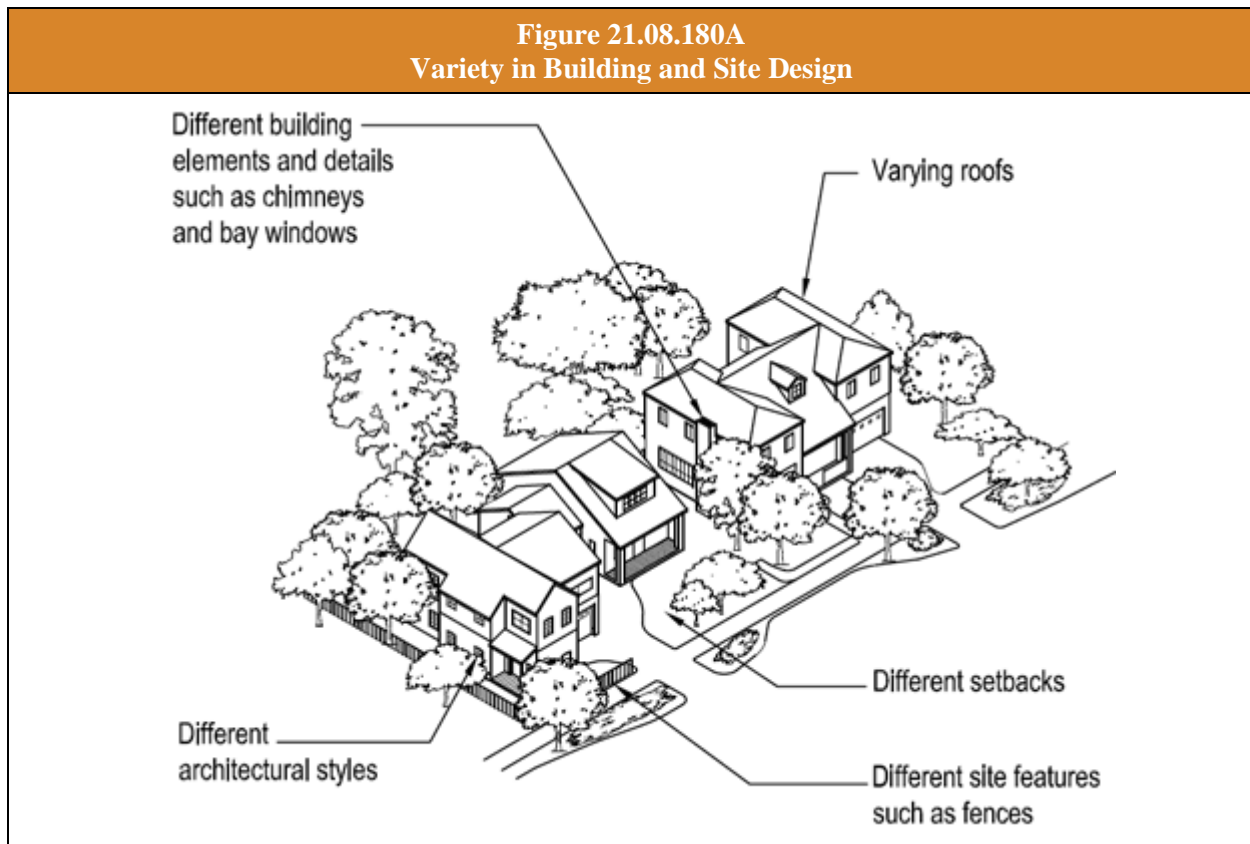
D. Variation in dwelling unit type or size by a minimum of at least 10 percent;

E. Variation in garage orientation (i.e., front, side, alley, detached);



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

2. Secondary features may include:
  - A. Variation in setbacks from the street of greater than four feet;
  - B. Entry enhancement and differentiation;
  - C. Variation in building materials, colors, and detailing;
  - D. Façade articulation and modulation;
  - E. Visible window trim and mullions
- iv. Other secondary building elements, treatments, features, or site designs which meet or exceed the intent of this section may be approved by the Administrator.



C.

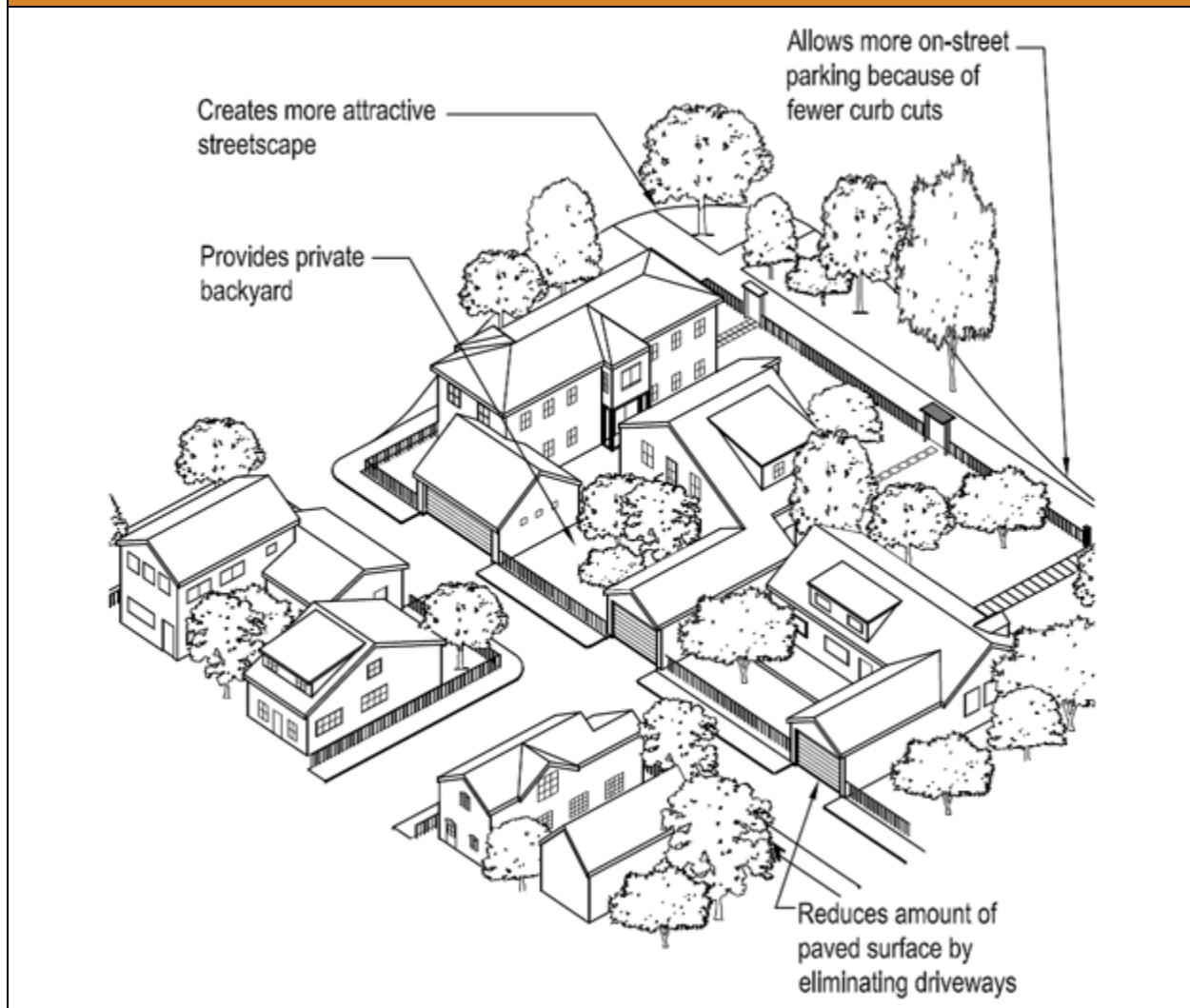
2.

- b. Variety in Site Design. Variation in site design shall be achieved through the use of various site planning methods and techniques. Examples of techniques to provide variety in site design include, but are not limited to:
  - i. Variation in lot sizes or orientation;
  - ii. Variation in type of driveway (shared or not shared);
  - iii. Alleys (See Figure 21.08.180B below.);

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- iv. Variation in landscape design; and (v) Other similar site design features which achieve variety and visual interest and meet or exceed the intent of this section may be approved by the Administrator.

**Figure 21.08.180B**  
**Benefits of Alley Access**



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### *Staff Contact*

Administrative Interpretation

### *Correction Needed*

It is unclear regarding acceptable techniques for meeting the code requirements for setting the garage back from the front street elevation of a proposed home.

### *Rationale*

RZC 21.08.180 states: The purpose of this section is to establish residential design standards for all areas of the City that:

- a) Provide variety and visual interest in new residential development in a manner that is compatible with the neighborhood character;
- b) Create engaging and active streetscapes through design and vegetation that brings living space toward the street;
- c) Ensure that dwelling units are of a scale that is proportional to their lot size and location;
- d) Design home that feature living space as the dominant feature of the street elevation;

Subsection D.2.B.ii further states, “The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door)” clarifying that the front elevation of the home begins at the surface wall facing the street that is comprised of elements such as windows and doors and not architectural design elements such as eaves, porches, or front stoops.

The definition of Elevation as currently defined by the Redmond Zoning Code state, “The architectural view of the front, side, or back surface of a structure to include doors, windows, and rooftop screening that is an extension of the façade, but excluding any roof area and rooftop equipment or structures.”

This portion of the Code and definition acknowledges both that the intent of the code is to ensure the living space front elevation is the dominant feature of the street frontage of the home and that the front elevation shall only be measured from the wall façade of the home and not projecting architectural elements.

### *Amendment*

#### **21.08.180.D.2.b Building Orientation**

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#### **D. Building Orientation.**

1. Purpose. The purpose of this section is to:
  - a. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
  - b. Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
  - c. Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street. (See Figure 21.08.180C below.)
2. Design Criteria.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- a. Setbacks on Arterials. With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located. In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:
  - i. Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.
  - ii. All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
  - iii. All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
    - A. This setback shall be measured from the edge of the proposed right-of-way.
    - B. Multistory vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
    - C. The multistory vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.
    - D. The multistory vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180.F.2.vii, Vegetation for the North Redmond Wedge Subarea Common Areas.
    - E. The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
  - iv. Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

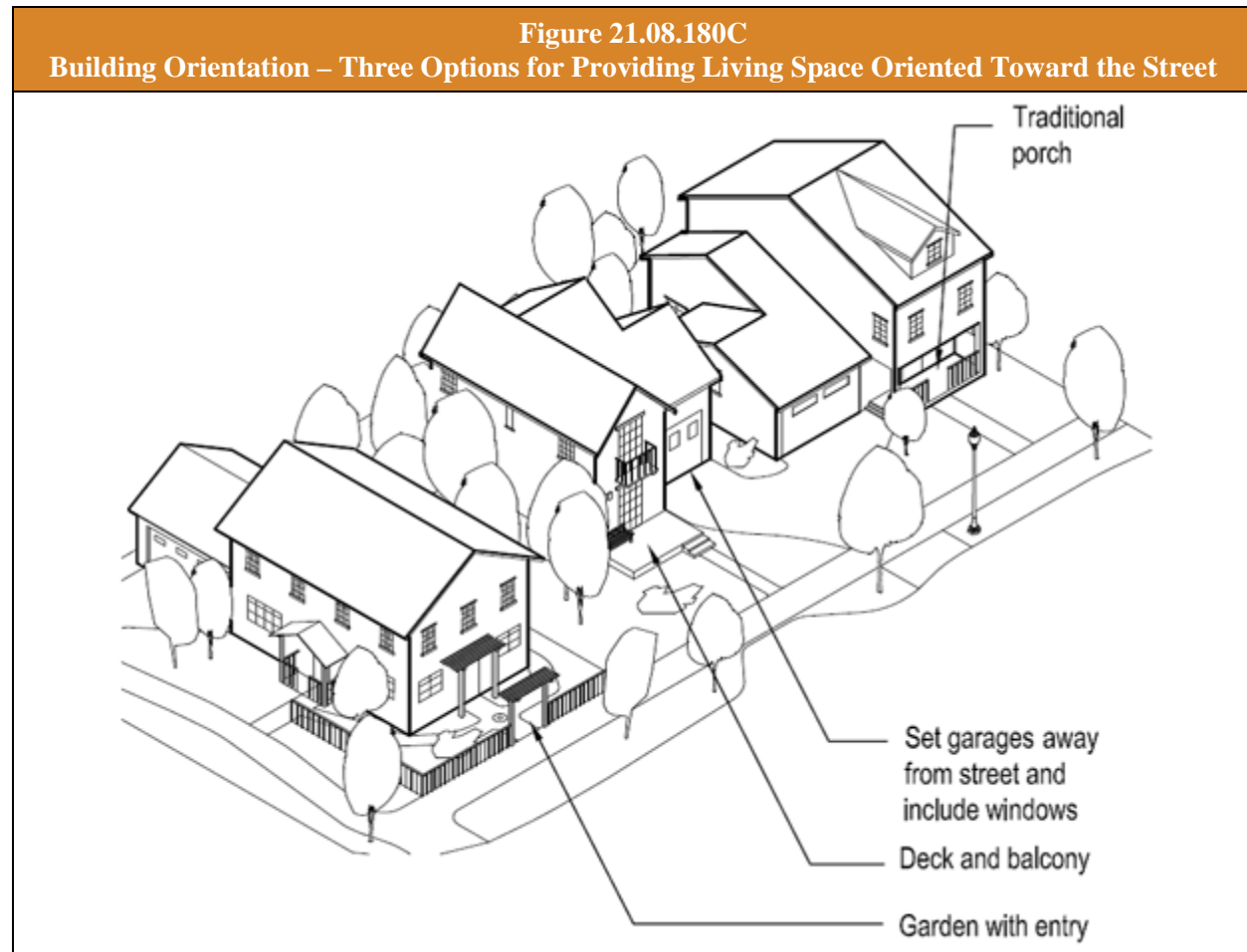
setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.

- b. Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:
  - i. Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
    - A. The front elevation of the first floor living space is equal or lesser distance to the front property line from the garage door and has a covered front exterior entry way that is a minimum of five feet proud of the garage door; or
    - B. The front elevation of the first floor living space is five feet or greater distance forward (closer to the front property line) from the front elevation of the garage door; or
    - C. The front elevation of the second story of a proposed home is projected over the front elevation of the garage door by no less than five feet and is at minimum the width of the garage door and the front elevation of the first floor living space is equal or lesser distance to the front property line from the garage door.
      - 1. For the purposes of this section, the front street elevation may be measured from the forward most column of a covered porch when the surface wall of the ground floor living space is recessed no more than four feet from the garage, and a second story projection of a least five feet is provided above the garage.
  - ii. Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet. The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- c. Garage Doors. On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- d. Transition Areas. In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

the intent of this section. The transition area may consist of a combination of landscape and structural elements.

- e. Alleys. There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.
- f. Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.08 Residential Regulations

### Staff Contact

Administrative Interpretation

### Correction Needed

It is unclear regarding acceptable techniques for meeting the code requirements for the transition area in the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods.

### Rationale

RZC 21.08.180 states: The purpose of this section is to establish residential design standards for all areas of the City that:

- a) Provide variety and visual interest in new residential development in a manner that is compatible with the neighborhood character;
- b) Create engaging and active streetscapes through design and vegetation that brings living space toward the street;
- c) Ensure that dwelling units are of a scale that is proportional to their lot size and location;
- d) Design home that feature living space as the dominant feature of the street elevation;

The execution of the transition area ensures the front streetscapes of the home become activated and that living space remains the most dominant feature of the home by expanding it outdoors in a manner that engages the community.

### Amendment

#### 21.08.180.D.2.d Building Orientation

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#### D. Building Orientation.

1. Purpose. The purpose of this section is to:
  - a. Provide active streetscapes that promote a more walkable and enjoyable neighborhood experience for residents;
  - b. Incorporate features into dwelling, site, and streetscape design that bring the primary living area of the dwelling toward the street; and
  - c. Except for properties located on arterials, ensure that garages are not the dominant feature as viewed from the street. (See Figure 21.08.180C below.)
2. Design Criteria.
  - a. Setbacks on Arterials. With the exception of the North Redmond Neighborhood, for structures located on properties facing an arterial, main living areas may be located toward the rear of the property for noise attenuation, as approved by the Administrator. Minimum setbacks shall be as provided in the zone use chart for the residential zone in which the property is located. In the North Redmond Neighborhood only, the following arterial setback requirements apply in lieu of the setbacks provided in the zone use chart for the residential zone in which the property is located:

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

1. Landscape buffers shall be required along Redmond-Woodinville Road, NE 124th/128th Streets, and NE 116th Street to reduce both the visual and noise impacts of traffic on residential development and to enhance the parkway and green, vegetated qualities of the Redmond-Woodinville Road. Buffers shall blend with the natural surroundings by use of berms, terraces, trees, and plant material, and shall be designed with minimal maintenance requirements.
  2. All buildings on the east side of Redmond-Woodinville Road (SR 202) shall be set back a minimum of 75 feet. This setback shall be measured from the edge of the proposed right-of-way. Accessory structures, including fences, are prohibited in this setback.
  3. All residential buildings and accessory structures greater than 30 inches above the grade, on the west side of Redmond-Woodinville Road (SR 202), within the Wedge subarea, shall be set back a minimum of 35 feet. The following conditions also apply:
    - A. This setback shall be measured from the edge of the proposed right-of-way.
    - B. Multistory vegetation that is canopy-forming at maturity shall be provided and maintained within the setback, at a depth no less than 15 feet measured east to west adjacent to the western edge of the Redmond-Woodinville Road right-of-way.
    - C. The multistory vegetation shall be preserved within a tract. The location, purpose and limitation of this tract shall be designated on the face of the plat, binding site plan or similar recording drawing in a format provided by the City Attorney.
    - D. The multistory vegetation shall meet the requirements of RZC 21.32.080, Types of Planting, Type II – Visual Screen, and RZC 21.08.180.F.2.vii, Vegetation for the North Redmond Wedge Subarea Common Areas.
    - E. The Administrator may approve alternative methods that meet the intent of this section and provide for privacy and screening when site conditions such as critical areas indicate a need for flexibility.
  4. Other Road Setbacks. Buildings shall be set back a minimum of 15 percent of the depth of a parcel before subdivision along the north side of NE 116th Street and the south side of NE 124th/128th Street. Setbacks may be reduced if the setback area is landscaped and established as a permanent open space corridor, but buildings are not located closer than 50 feet from the edge of the proposed right-of-way. Setbacks may be further reduced (but no less than required in the zone summary for the residential zoning district in which the property is located) for development on parcels two acres or less in size. Accessory structures are prohibited in this setback with the exception of non-sight-obscuring fences (such as post and rail) and improvements less than 30 inches in height (such as patios). These improvements shall be allowed up to 25 feet into the setback. Trail systems that provide for pedestrian access shall also be allowed in the setback. The minimum setback for all structures that are 30 inches above the grade and adjacent to 172nd Avenue NE shall be 20 feet.
- b. Garage Placement. Except for properties located on arterials, new dwelling units with attached garages facing the front street shall be designed so that the garage is not the dominant feature as

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

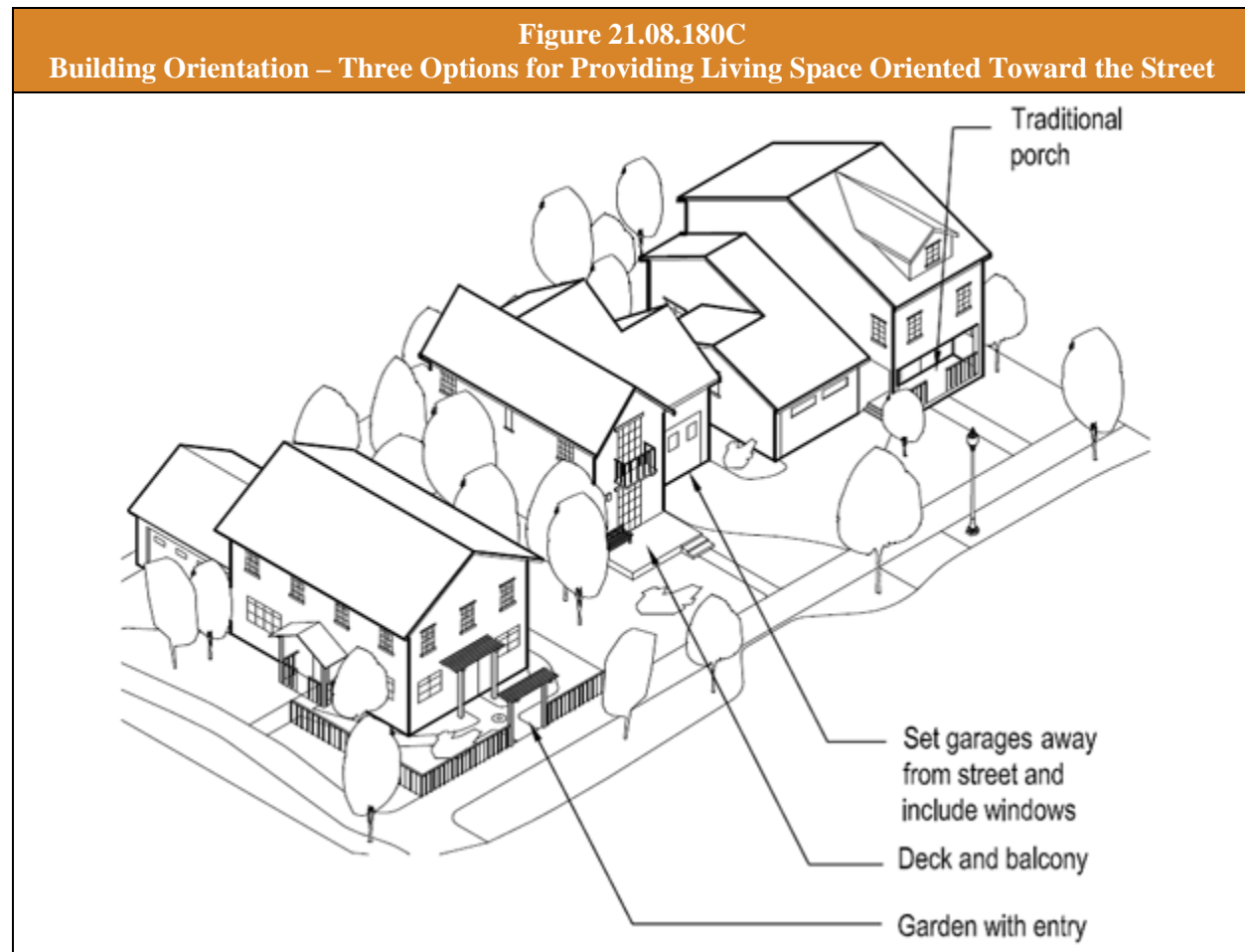
viewed from the street. Design techniques which meet the intent of this section may include, but are not limited to:

1. Setting the garage back a minimum of five feet from the front street elevation of the dwelling;
  2. Recessing a garage under a second story, projecting roofline, or balcony a minimum of five feet. The front street elevation of a side-loaded garage shall have a minimum of one opening (i.e., window or door).
- c. **Garage Doors.** On new dwelling units, garage doors facing the front street shall include windows, multiple garage doors (for example, one door per parking stall) or other architectural treatments that reduce the mass of the garage door surfaces and meet the intent of this section.
- d. **Transition Areas.** In the Education Hill, Grass Lawn, Idylwood, North Redmond, and Willows/Rose Hill neighborhoods, a minimum 80-square-foot area must be provided in the front yard that is oriented toward the front street and includes a porch (minimum dimension eight feet on all sides), patio, deck, garden with entry, walkway with arbor, or other feature(s) that meets the intent of this section. The transition area may consist of a combination of landscape and structural elements.
1. For the purpose of this section, the following are examples of acceptable transition areas. Elements of the following examples may be expanded upon or combined to meet the intent of this code section.
    - A. A porch or patio design which is a combination of dimensions equaling no less than 80 square feet and a minimum of five feet in depth, excluding the passive area required for foot traffic to access the entry and in combination with landscaping and/or walkway; or
    - B. A walkway from entry of the home to adjacent pedestrian street access of no less than 3' in width and framed with a minimum of 2' of landscaping on either side; or
    - C. A front yard garden that is a combination of dimensions equaling no less than 80 square feet and a minimum of five feet in depth with separate entry such as a low fencing or arbor; or
    - D. When the front ground floor elevation of the home does not have a street facing entry, a patio or outdoor living space area may be installed that is a combination of dimensions equaling no less than 80 square feet and minimum of five feet in depth and framed with landscaping on a least two sides; or
    - E. An arbor in combination with the methods outlined in item B above.
- e. **Alleys.** There shall be a minimum four-foot yard setback for garages that are accessible from an alley. For the purpose of providing visual appeal and interest, when an alley is adjacent to a rear

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

yard, yard landscaping shall extend to the edge of the alley or a landscape strip between the alley and the fence shall be provided.

- f. Other Methods. The Administrator may approve other methods of building orientation that meet the purposes of this section.



# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I Staff Contact

## 21.08 Residential Regulations

Sarah Stiteler

### ***Correction Needed***

RZC 21.08.260.C.1 should include the RIN zoning designation in the list of zones where minimum lot size for multiplexes is based on a percentage of minimum average lot size.

### ***Rationale***

The RIN zone is basically an R-4 “plus” zone when the lot size exceeds 30,500 square feet. Therefore, it should be regulated similarly to the R-4 through R-6 zones.

### ***Amendment***

### **21.08.260 Attached Dwelling Units**

---

A. **Purpose.** The purpose of this section is to:

1. Enhance opportunities for ownership housing;
2. Reduce development costs related to construction and the provision of utilities, which in turn may help to reduce housing prices in support of affordability goals;
3. More effectively set aside critical areas and natural resources as open space than would otherwise be allowed through the subdivision process; and
4. Achieve the planned density for a site that may not otherwise be met due to environmental and other physical constraints.

B. **Applicability.**

1. Generally. Unless otherwise specified in subsections B.2 and B.3 of this section, attached dwelling units are allowed through a conditional use permit process in zones R-4 through R-6. Attached dwelling units are allowed outright in zones R-8 through R-30, unless otherwise provided in subsections B.2 and B.3.
2. Willows/Rose Hill Neighborhood.
  - a. Two-unit attached dwelling units are an allowed use on individual lots in Single-Family Urban zones in the Willows/Rose Hill Neighborhood, provided that a minimum of 70 percent of the total dwelling units within the single-family portion of each residential subarea of the Willows/Rose Hill Neighborhood shall remain detached single-family dwellings.
  - b. Three-unit attached dwelling units and four-unit attached dwelling units may be allowed as part of a preliminary plat application in Single-Family Urban zones only as part of the demonstration project provided for in Policy N-WR-E-4 of the Redmond Comprehensive Plan to evaluate compatibility with the Willows/Rose Hill Neighborhood.
3. Bear Creek, Education Hill, Grass Lawn, North Redmond, Southeast Redmond, and Overlake Neighborhoods.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- a. Two-unit attached dwelling units are an allowed use on individual lots in Single-Family Urban zones.
  - b. Three-unit attached dwelling units and four-unit attached dwelling units are allowed on individual lots in Single-Family Urban zones, with public notification and at least one neighborhood meeting required. The public notification and neighborhood meeting are not required in R-8 zones.
  - c. Attached dwelling units are not an allowed use in the North Redmond Wedge Subarea.
- C. **Requirements.** Attached dwelling units are subject to all of the land use, density, site requirements, and development standards of the underlying zone with the following exceptions:
1. **Minimum Lot Size.** The minimum lot size for attached dwelling units in R-4, R-5, ~~and~~ R-6, ~~and~~ RIN zones shall be based on a percentage of the average lot size of the underlying zone as presented in the zone use chart for the residential zone. (See RZC 21.08.020 through 21.08.140.)
    - a. The minimum lot size for a two-unit attached dwelling unit is equal to 150 percent of the average lot size for the underlying zone.
    - b. The minimum lot size for a three-unit attached dwelling unit is equal to 200 percent of the average lot size for the underlying zone.
    - c. The minimum lot size for a four-unit attached dwelling unit is equal to 250 percent of the average lot size for the underlying zone.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.10 Downtown Regulations

### Staff Contact

Jae Hill

### Correction Needed

A correction to a cross-reference is necessary.

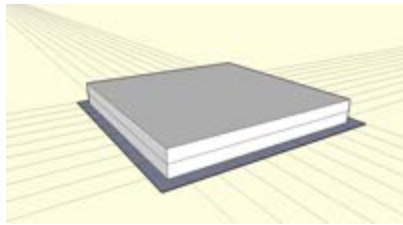
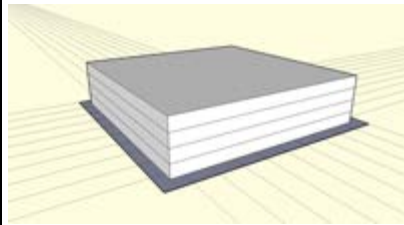
### Rationale

In table RZC 21.10.060B – Regulations Common to All Uses, Maximum Building Height without TDRs or GBP, the cross-reference to RZC 21.62.020.C is incorrect and should be updated to reference RZC 21.62.020.G.2.c instead.

### Amendment

#### 21.10.060 Bear Creek (BC), Valley View (VV), and Trestle (TR) Zones

- A. **Purpose.** The convenience commercial areas of Downtown include the [Valley View](#), [Trestle](#), and [Bear Creek](#) zones. These three zones are located at the major entrances to the Downtown to serve shoppers conveniently from both within and outside the neighborhood. These zones are intended to provide for everyday, basic shopping needs and services, such as groceries, pharmacies, and other convenience retail goods and services that are easily accessed by pedestrians, bicyclists, and motor vehicles. Land uses and redevelopment in the area should be compatible with shopping and service needs of the community and surroundings, as well as with the long-term Downtown vision of encouraging a more pedestrian-supportive, mixed-use environment in these zones.
- B. **Maximum Development Yield.**

Table 21.10.060A Maximum Development Yield				
Allowed	Base	Maximum		
Height	2 stories	4 stories	Example of a 2-story building	Example of 4-story building
Lot Coverage	80 percent	80 percent		
These are office building examples using Transfer Development Rights or GBP to achieve the maximum achievable floor area within the maximum allowed building height. Residential and mixed-use residential developments may have similar height, but volume will differ due to setback and open space requirements.				

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Table 21.10.060B Regulations Common to All Uses		
Regulation	Standard	Notes and Exceptions
Other Standards		
Minimum Building Height	n/a	
Maximum Building Height without TDRs or GBP	2 Stories	A. The maximum height may be increased to four stories when the site's development plan can demonstrate the goals and objectives outlined in Comprehensive Plan Policy DT-37, and the design guidelines outlined in RZC <a href="#">21.62.020</a> , <del>G.2.c</del> are met through the site plan entitlement process.
Maximum Building Height with TDRs or GBP	3 Stories	A. One floor of additional height may be achieved with the use of Transfer Development Rights. See RZC <a href="#">21.10.160</a> , <i>Using Transfer Development Rights</i> (TDRs), or through compliance with RZC <a href="#">21.67</a> , <i>Green Building and Green Infrastructure Incentive Program</i> (GBP).
Maximum Height Within <a href="#">Shorelines</a> (SMP)	35 feet	A. This height limit is restricted to that portion of the building physically located within the Shoreline Jurisdiction. (SMP) B. The maximum height of <a href="#">structures</a> , including bridges, that support a <a href="#">regional light rail transit system</a> may be higher than 35 feet but <a href="#">shall</a> be no higher than is reasonably necessary to address the engineering, operational, environmental, and regulatory issues at the location of the structure. (SMP)
Maximum Coverage <a href="#">Lot</a>	80 percent	A. For residential development without ground floor commercial/office, lot coverage shall be governed by the Downtown Residential Densities Chart. B. Lot coverage percentage equals: The total site area measured to the property line, less pedestrian systems measured to the curb line, on-site sidewalks, landscaping, and plazas, divided by the site area measured to the curb line.
Base FAR Without TDRs	1.25	A. Maximum FAR without TDRs or GBP for nonresidential space is 1.25. Residential space within a mixed-use building is exempt from TDR or GBP requirements. See RZC <a href="#">21.10.160</a> , <i>Using Transfer of Development Rights</i> (TDRs), and <a href="#">RZC 21.67</a> , <i>Green Building and Green Infrastructure Incentive Program</i> (GBP). B. All legal lots are entitled to 10,000 square feet GFA without the use of TDRs or GBP, provided that other site requirements can be met.
Allowed Residential Density	Depends on Lot Size	A. See RZC <a href="#">21.10.130</a> .B, Downtown Residential Densities Chart.
Drive-through	n/a	A. Drive-through facilities are prohibited except where expressly permitted in the Allowed Uses and Basic Development Standards table below.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I Staff Contact

## 21.12 Overlake Regulations

Andrew Bauer

### ***Correction Needed***

Streets in the Overlake Village have been renamed though the new names are not reflected in all portions of the code.

### ***Rationale***

Street names in the Overlake Village and references thereto should be consistent with adopted street naming conversion. Ordinance

### ***Amendment***

## **RZC 21.12 Overlake Regulations**

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### **21.12.010 Overlake Village Purpose**

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The purposes of the Overlake Village regulations are to:

- A. Implement the vision and policies for Overlake Village zones set forth in the Redmond Comprehensive Plan;
- B. Encourage a broad mix of multifamily residential and commercial uses and amenities in order to achieve a vibrant, engaging environment and a true urban center;
- C. Provide for pedestrian-friendly and activating commercial uses on the ground floor of development located along arterials, while allowing residential uses on the ground floor of development along local streets;
- D. Include housing in all future development;
- E. Promote compact, walkable development forms that are conducive to transit use;
- F. Provide improved connections for nonmotorized and local vehicular travel;
- G. Encourage use of environmentally sustainable site design and building features;
- H. Encourage inclusion of retail, restaurants, professional offices, services, and entertainment uses to meet needs of residents and employees, enliven the area after working hours, and contribute to a sense of place; and
- I. Allow additional building height and density where appropriate through an incentive program to facilitate provision of public and private infrastructure, green buildings, affordable housing, tree retention, and open space, while still achieving sustainable, transit-supportive densities.

Effective on: 4/28/2012

### **21.12.020 OV Master Planning**

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- A. Master Plans are required in Overlake Village for all developments encompassing at least three acres and optional for sites under three acres. When a Master Plan has been approved by the City, site requirements and other development standards and regulations shall be administered on the basis of the

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

area controlled by the approved Master Plan ("Plan Area"), rather than on a site-by-site basis, provided the approved Master Plan demonstrates the ability to comply with the requirement in question. For example, in the case of a development application for a site that is part of an area controlled by an approved master plan, if the plan designates the maximum lot coverage of structures and such areas are sufficient to meet maximum lot coverage requirements applied to the entire Plan Area, then an individual site plan need not demonstrate compliance with maximum lot coverage requirements.

- B. Developments completing a Master Plan may increase the height of 50 percent of the buildings in the development by one floor.

Effective on: 4/16/2011

### **21.12.030 OV Subarea Map**

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- A. Preferred land uses and development patterns are designated by five zones, the boundaries of which are delineated on the City's zoning map and the subarea map below.
- B. Locations for new elements, such as streets, pathways, stormwater facilities, parks, and plazas, are conceptual in nature, subject to refinement through the master planning or other planning process.

#### **Map 12.1 Overlake Village Subarea Map**

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



## Legend

- General Location of Major Park
- General Location of Plaza
- Cornerstone Site
- Preferred Regional Stormwater Site
- Zone Boundary
- Intersection Improvement
- RapidRide Stop
- Light Rail Station
- RapidRide Route
- Light Rail Route
- New Street
- Urban Pathway
- Street



## Map 12.1 Overlake Village Subarea Map

Effective: October 17, 2015

Locations for new elements such as streets, pathways, stormwater facilities, parks, and plazas are conceptual in nature, subject to refinement through the master planning or other planning process.

0 500 1,000  
Feet



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# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Note: Online users may click the map for a full-size version in PDF format.

(Ord. 2803)

Effective on: 10/17/2015

## 21.12.035 Regulations Common to All Uses

- A. Drive-through facilities are prohibited in all OV zones except where expressly permitted in the Allowed Uses and Basic Development Standards tables in RZC 21.12.040, 21.12.050, 21.12.060, 21.12.070, and 21.12.080

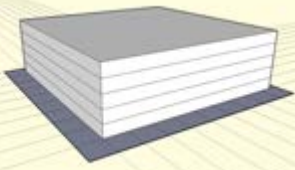
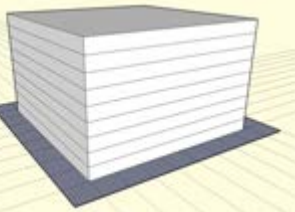
(Ord. 2652)

Effective on: 4/28/2012

## 21.12.040 OV Zone 1

- A. **Purpose.** Zone 1 encompasses a majority of the eastern half of Overlake Village, including both sides of 152nd Avenue NE. Residential uses are emphasized here as part of mixed-use developments. The land within this zone offers a strong opportunity to attract residents to this area due to its location within the core and proximity to transit options and the employment center to the north.

- B. **Maximum Development Yield.**

Table 21.12.040A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 1. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted. The following headings are used in the table:

1. § = section number
2. Use = Land use
3. Max. FAR = Maximum floor area ratio
  - a. Base = Maximum FAR without any incentives applied
  - b. w/TDRs or GBP = With transferred development rights (TDRs) or green building and green infrastructure incentive program (GBP)
  - c. w/50% Res. = With 50 percent residential
  - d. w/IP = With incentive program

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

4. Min. Res. Floor Area = Minimum Residential Floor Area
5. Max. Height = Maximum Height
  - a. Base = Maximum height without any incentives applied
  - b. w/TDRs or GBP = With transferred development rights (TDRs) or green building and green infrastructure incentive program (GBP)
  - c. w/IP = With incentive program
6. Max. ISR / Min. LSR = Maximum impervious surface / minimum landscaped area
7. Parking Ratio = Parking ratio for the use
8. Special Regulations = Special regulations that apply to the use

Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4	50%	5; 6; 8	85% / 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential					Bed (0.75, 0.75)	
3	Dormitory					Bedroom (0.5, 1.0)	
4	Residential suite						
5	Housing Services for the Elderly	2.5; 2.5; 2.5; 4	50%	5; 6; 8	85% / 15%	See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental or service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 square feet gross floor area in a single use.</p> <p>D. Shall be considered a transitional use if:</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.040B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							<ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, provides services to buildings and dwellings, OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>F. Maximum building height of 9 stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.35	50%	4; 5; 8	85% / 15%	Rental room (1.0, 1.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Warehouse and storage services not permitted.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
<b>Transportation, Communication, Information, and Utilities</b>							
10	Road, Ground Passenger and Transit Transportation					1,000 sq ft gfa (2.0, 3.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
11	Rapid charging station						A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	Adequate to accommodate peak use	<p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments.</p>
13	Communications and Information					1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a software publisher or telecommunications and broadcasting; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for other publishing uses not listed above.</li> </ol>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.040B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							C. See RZC 21.12.140, OV Transitional Use Requirements for transitional use requirements. D. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
14	Local Utilities						A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
15	Regional Utilities		0%			Adequate to accommodate peak use	A. Requires a conditional use permit. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
16	Large Satellite Dishes / Amateur Radio Tower						A. See RZC 21.56, <i>Wireless Communication Facilities</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
17	Wireless Communication Facilities						A. See RZC 21.56. Wireless Communication Facilities, for specific development requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
<b>Arts, Entertainment, and Recreation</b>							
18	Arts, Entertainment, and Recreation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	Adequate to accommodate peak use	Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
19	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
20	Education, Public Administration, Health Care, and other Institutions, except those listed below	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	See Special Regulations	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, OV Incentive Program, on those properties eligible for and applying the Regional Stormwater Management Facility incentive. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
21	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, OV <i>Transitional Use Requirements</i> for transitional use requirements. B. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Table 21.12.040B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							<p>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</p> <p>C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
22	Religious Institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</p> <p>C. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</p> <p>D. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>E. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>F. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>G. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
Construction-Related Businesses							
23	Construction-Related Businesses	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	50%	4; 5; 8	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements.</p> <p>B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
Other							
24	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
25	Vending carts			1; 1; 1	85% / 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p> <p>F. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p>
<b>TABLE NOTES:</b> A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date							

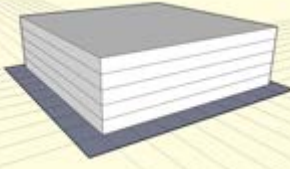
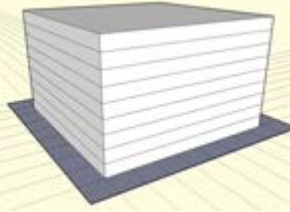
(Ord. 2803; Ord. 2836; Ord 2919)

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 4/14/2018

## 21.12.050 OV Zone 2

- A. **Purpose.** Two portions of Overlake Village are included in [Zone 2](#): the land northwest of the NE 24th Street/~~151st~~[DaVinci](#) Avenue NE intersection, and the area southeast of the NE 21st Street/152nd Avenue NE intersection. Commercial uses are emphasized here as part of mixed-use developments. These land areas are not as desirable for exclusively residential development due to their location along major arterials or near SR 520 and as such less housing is required in these areas than in Zone 1.
- B. **Maximum Development Yield.**

Table 21.12.050A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 2. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC [21.76.020](#), *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.050B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4.0	25%	5; 6; 8	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	Maximum building height of nine stories may be achieved through RZC <a href="#">21.12.170</a> , <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
2	Mixed-Use Residential						

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental or service;</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use residential developments.</p> <p>C. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070.K, <i>Conditional Use Permit</i></p> <p>D. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>F. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.	25%	4; 5; 8	85%; 15%	Rental room (1.0, 1.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 9	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may increase to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, emissions, vibrations, truck traffic and other potential operational impacts with nearby multi-story mixed-use/residential developments. C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. D. Maximum building height of 9 stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station						B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
13	Communications and Information					A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> for transitional use requirements. D. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.	
14	Local Utilities		0%	Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> . B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.		
15	Regional Utilities						
16	Wireless Communication Facilities	A. See RZC 21.56, Wireless Communication Facilities, for specific development requirements. B. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.					
Arts, Entertainment, and Recreation							

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
17	Arts, Entertainment, and Recreation	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	Adequate to accommodate peak use	Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							
19	Education, Public Administration, Health Care and other Institutions, except those listed below					See Special Regulations	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.</p>
20	Health and Human Services	0.36; 0.41; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>B. Provisions for day care centers:</p> <ol style="list-style-type: none"> <li>1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>2. Play equipment shall be located no less than 10 feet from any property line.</li> <li>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol> <p>C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p>
21	Religious Institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2)</p> <p>Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<p>A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i>, on those properties eligible for and applying the Regional Stormwater Management Facility incentive.</p> <p>B. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</p> <p>C. Storage locations of buses/vans over 10,000 gvwt shall be shown on a plan and screened from neighboring properties or right-of-way.</p> <p>D. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>E. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>F. Maximum height for separate structures on-site such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>G. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.050B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							H. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
<b>Construction-Related Businesses</b>							
22	Construction-Related Businesses	0.36; 0.41 <sup>A</sup> ; 0.55 <sup>B</sup>	25%	4; 5; 8	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. C. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
<b>Other</b>							
23	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
24	Vending carts			1; 1; 1	85%; 15%		B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures.
<b>TABLE NOTES:</b> A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date							

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

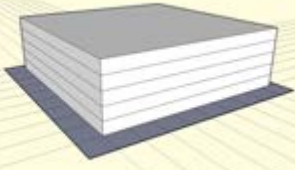
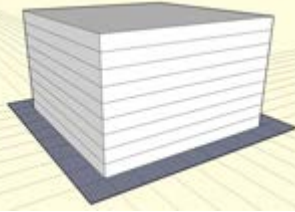
Effective on: 4/14/2018

## 21.12.060 OV Zone 3

- A. **Purpose.** Zone 3 encompasses a majority of the southwest quadrant of the Overlake Village, except for the land bordering 152nd Avenue NE. Regional retail is emphasized here as part of mixed-use developments. This land area has the highest visibility and is located along this zone's highest trafficked corridors.
- B. **Maximum Development Yield.**

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.060A**  
**Maximum Development Yield**

	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	TDRs or GBP: 0.05 Incentive Program: 1.69	5.35	Example of a 5-story building with FAR = 3.7	Example of 9-story building with FAR = 5.35
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 4 stories	9 stories		

C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 3. To use the chart, first read down the left-hand column titled “Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 2.5; 4.0	25%	5; 6; 9	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	<p>A. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>B. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
2	Mixed-Use Residential					Bed (0.75, 0.75)	
3	Dormitory					Bedroom (0.5, 1.0)	
4	Residential suite					See Special Regulations	
5	Housing Services for the Elderly						
<b>General sales or services</b>							
6	General Sales or Services	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 SF GFA (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>Gasoline service;</li> <li>Outdoor automobile sales and service; and</li> </ol>

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

**Table 21.12.060B  
Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							<p>3. Rental storage and mini-warehouses.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Automobile rental requires a conditional use permit (see RZC 21.76.070.K, <i>Conditional Use Permit</i>) and must comply with the following provisions:</p> <ol style="list-style-type: none"> <li>Shall not abut any residential zone.</li> <li>Rental uses operating in mixed-use developments are limited to eight rental vehicles at any given time in existing parking spaces; additional vehicles may be stored on-site in a building or elsewhere given submittal and approval by the Technical Committee of a vehicle storage plan.</li> <li>Vehicle display area shall be outside of required parking and landscape areas.</li> <li>Vehicles shall be stored on paved surfaces.</li> <li>Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.</li> <li>Outdoor loudspeaker systems are prohibited.</li> <li>Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.</li> <li>Vehicle repair shall be conducted indoors.</li> </ol> <p>D. Requires a conditional use permit if greater than 150,000 SF GFA. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p> <p>E. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator or provides services to buildings and dwellings; OR</li> <li>Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>F. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>G. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>Sit-down restaurant: 1,000 SF GFA (9.0, 9.0)</li> <li>Take-out restaurant: 1,000 SF GFA (10.0, 10.0)</li> </ol> <p>H. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.2; 1.35	25%	4; 5; 9	85%; 15%	Rental room (1.0, 1.0)	
8	Marijuana retail sales	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	0%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. See RZC 21.41 Marijuana-related uses for additional requirements.</p> <p>B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of <u>gross floor area</u> for the retail components of mixed-use developments.</p>
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Warehouse and storage services not permitted.</p> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / 50% Res.; w / IP					
							C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station						B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
13	Communications and Information		0%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business’s transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
14	Local Utilities					Adequate to accommodate peak use	Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
15	Regional Utilities						See RZC 21.56, <i>Wireless Communication Facilities</i> .
16	Wireless Communication Facilities						
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	Adequate to accommodate peak use	
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	See Special Regulations	Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.060B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / 50% Res.; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall be considered a transitional use if less than 51 percent of a business' transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>B. Provisions for day care centers:</p> <ol style="list-style-type: none"> <li>1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0).</li> <li>2. Play equipment shall be located no less than 10 feet from any property line.</li> <li>3. Shall not be located closer than 300 feet from existing day care operation in residential zone.</li> </ol>
21	Religious Institutions					<p>Assembly uses: 1,000 sq ft gfa (10.0, 10.0), or number of fixed seats (0.2, 0.2) Other uses: 1,000 sq ft gfa (2.0, 3.0)</p>	<p>A. A seat is one fixed seat or 18 inches on a pew or bench or seven square feet in the general assembly area (including aisle space, but excluding stage, podium, lobby, and space for musical instruments).</p> <p>B. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</p> <p>C. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</p> <p>D. Steeples, bell towers, crosses or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</p> <p>E. Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons is 50 feet.</p> <p>F. Requires a conditional use permit if 750 seats or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i>.</p> <p>G. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>Construction-Related Businesses</b>							
22	Construction-Related Businesses	.36; .41; .41 <sup>A</sup> ; .55 <sup>B</sup>	25%	4; 5; 9	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>B. Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p>
<b>Other</b>							
23	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
24	Vending carts			1; 1; 1	85%; 15%		<p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>

**TABLE NOTES:**

- A. Or the amount of non-residential floor area existing as of December 11, 2007, whichever is greater
- B. Or for those sites with an FAR of 0.48 or greater on December 11, 2007, a 0.15 increase above the FAR existing on that date

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

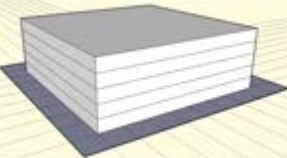
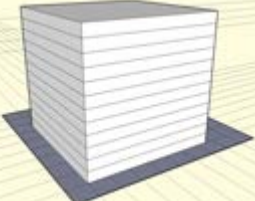
# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 4/14/2018

## 21.12.070 OV Zone 4

A. **Purpose.** **Zone 4** provides for redevelopment of a unique 28-acre, sloped site located at the core of the Overlake Village. This site is intended to provide a compact, mixed-use development with substantial residential development, as well as employment, retail and services, which are integrated with a major urban neighborhood public park that provides a central gathering place through plazas and green spaces. The substantial residential component is intended to achieve a site that is active during the day and during the evening, supports retail and other commercial space that is developed on the site, and supports the site as a transit-oriented place. For that reason, a 50 percent minimum residential floor area requirement is established. With its central location and proximity to major employers, the site is well-suited for pedestrian- and transit-supportive development. The design and development of this district will be controlled by a Master Plan. The Master Plan ensures that development here carries out the vision for Overlake.

### B. Maximum Development Yield.

Table 21.12.070A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	2.9	TDRs or GBP: 0.05 Incentive Program: 2.25	5.2	Example of a 5-story building with FAR = 2.9	Example of 9-story building with FAR = 5.2
Height	5 stories	TDRs or GBP: 1 story Incentive Program: 6 stories	12 stories		

C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 4. To use the chart, first read down the left-hand column titled "Use." When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.070B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR	Min. Res. Floor Area	Max. Height	Max. / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
	Residential						

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.070B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
1	Multifamily Structure	2.5; 2.5; 4.0	50%	5; 6; 12	85%; 20%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	A. An applicant may use an alternate method to calculate the 50 percent minimum residential floor area requirement for a proposed Master Plan. If used, the alternative method shall be described in a Development Agreement for the proposed Master Plan, and shall meet the intent of the 50 percent residential floor area requirement, which is described above in RZC 12.12.070.A, <i>Purpose</i> .  B. 2. Height not to exceed 125 feet through Overlake Village Incentive Program.
2	Mixed-Use Residential						
3	Dormitory						
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	A. Height not to exceed 125 feet through Overlake Village Incentive Program. B. Parking requirements are as follows: 1. Multifamily housing for senior citizens: Unit (0.5, 2.0) 2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0) 3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0) 4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25) C. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.
General sales or services							
6	General Sales or Services	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. The following uses are not permitted: 1. Gasoline service; 2. Outdoor automobile sales, rental and service; and 3. Rental storage and mini-warehouses. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Limited to less than 75,000 square feet gross floor area in a single use. D. Height not to exceed 126 feet through Overlake Village Incentive Program. E. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments. F. Parking standards for restaurant uses: 1. Sit-down restaurant: 1,000 sq ft gfa (9.0, 9.0) 2. Take-out restaurant: 1,000 sq ft gfa (10.0, 10.0) G. Parking for the following uses may be reduced as described below provided the Technical Committee finds there is sufficient data and analysis upon which the reduction is based to demonstrate that adequate parking will be provided, including shared parking: 1. Parking for sit-down and carry-out restaurants may be reduced to not less than two (2) spaces per 1,000 square feet gross floor area; 2. Parking for restaurants, cafes or delis with less than 750 square feet gross floor area may be reduced to zero spaces.
7	Hotels, Motels and Other Accommodation Services	.4; .47; 1.2	50%	4; 5; 12	85%; 20%	Rental room (1.0, 1.0)	Height not to exceed 135 feet through Overlake Village Incentive Program.
8	Marijuana retail sales	.4; .47; 1.0	0%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.070B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR	Min. Res. Floor Area	Max Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
		Base; w / TDRs or GBP; w / IP					
Manufacturing and Wholesale Trade							
9	Manufacturing and Wholesale Trade	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. Wholesale trade establishments and warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Height not to exceed 126 feet through Overlake Village Incentive Program.
Transportation, Communication, Information, and Utilities							
10	Road, Ground Passenger and Transit Transportation	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	Height not to exceed 126 feet through Overlake Village Incentive Program.
11	Rapid charging station					Adequate to accommodate peak use	A. Height not to exceed 126 feet through Overlake Village Incentive Program. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
12	Battery exchange station						
13	Communications and Information					1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Height not to exceed 126 feet through Overlake Village Incentive Program.
14	Local Utilities	.4; .47; 1.0	0%	4; 5; 10	85%; 20%	Adequate to accommodate peak use	A. Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> B. Height not to exceed 126 feet through Overlake Village Incentive Program.
15	Regional Utilities						
16	Wireless Communication Facilities						See RZC 21.56. <i>Wireless Communication Facilities</i> , for specific development requirements.
Arts, Entertainment, and Recreation							
17	Arts, Entertainment, and Recreation	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	Adequate to accommodate peak use	Height not to exceed 126 feet through Overlake Village Incentive Program.
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
Education, Public Administration, Health Care, and other Institutions							
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	See Special Regulations	A. Religious institutions not permitted. B. Height not to exceed 126 feet through Overlake Village Incentive Program. C. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

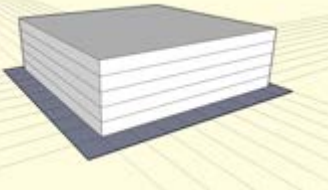
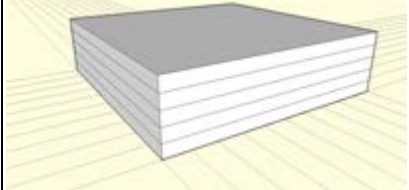
Table 21.12.070B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
							B. Height not to exceed 126 feet through Overlake Village Incentive Program.
<b>Construction-Related Businesses</b>							
21	Construction-Related Businesses	.4; .47; 1.0	50%	4; 5; 10	85%; 20%	1,000 sq ft gfa (2.0, 3.0)	A. Shall include a showroom open to the general public. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Height not to exceed 126 feet through Overlake Village Incentive Program.
<b>Other</b>							
22	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
23	Vending carts			1; 1; 1	85%; 15%		B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures.

(Ord. 2642; Ord. 2803; Ord 2836; Ord. 2919)

Effective on: 4/14/2018

## 21.12.080 OV Zone 5

- A. **Purpose.** Zone 5 is located north of the SR 520 interchange and encompasses approximately 1.7 acres of the Overlake Village. Commercial uses are emphasized here due to the site's location next to the freeway interchange, highly trafficked arterial, and the immediately surrounding employment campuses. Residential uses are permitted but not required.
- B. **Maximum Development Yield.**

Table 21.12.080A Maximum Development Yield					
	Base	Bonuses Available, and Quantity	Max.		
Floor area ratio(FAR)	3.7	Incentive Program: 1.3	5	Example of a 5-story building with FAR = 3.7	Example of 5-story building with FAR = 5
Height	5 stories	None in this example	5 stories		

- C. **Allowed Uses and Basic Development Standards.** The following table contains the basic zoning regulations that apply to uses in Zone 5. To use the chart, first read down the left-hand column titled

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

“Use.” When you have located the use that interests you, read across to find regulations that apply to that use. Uses are permitted unless otherwise specified in the Special Regulations column. Permitted uses may require permit approval. See RZC 21.76.020, *Overview of the Development Process*, for more information. Uses not listed are not permitted.

Table 21.12.080B Allowed Uses and Basic Development Standards							
§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
<b>Residential</b>							
1	Multifamily Structure	2.5; 2.5; 4.0	0%	5; 5; 5	85%; 15%	Unit (1.0, 2.25) plus 1 guest space per 4 units for projects of 6 units or more	
2	Mixed-Use Residential						
3	Dormitory					Bed (0.75, 0.75)	
4	Residential suite					Bedroom (0.5, 1.0)	
5	Housing Services for the Elderly					See Special Regulations	<p>A. Parking requirements are as follows:</p> <ol style="list-style-type: none"> <li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li> <li>2. Nursing home or long-term care facility: 4 patient beds (1.0, 1.0)</li> <li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li> <li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li> </ol> <p>B. A traffic mitigation plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</p>
<b>General sales or services</b>							
6	General Sales or Services	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	<p>A. The following uses are not permitted:</p> <ol style="list-style-type: none"> <li>1. Gasoline service;</li> <li>2. Outdoor automobile sales, rental and service; and</li> <li>3. Rental storage and mini-warehouses.</li> </ol> <p>B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.</p> <p>C. Limited to less than 75,000 sq ft gross floor area in a single use.</p> <p>D. Shall be considered a transitional use if:</p> <ol style="list-style-type: none"> <li>1. Business is a consulting service, research and development service, office and administrative service, facilities support service, caterer, food service contractor, vending machine operator, or provides services to buildings and dwellings; OR</li> <li>2. Less than 51 percent of a business's transactions are made with the general public, except for business support services.</li> </ol> <p>E. See RZC 21.12.140, <i>OV Transitional Use Requirements</i>, for transitional use requirements.</p> <p>F. Parking standards for restaurant uses:</p> <ol style="list-style-type: none"> <li>1. Sit-down restaurant: 1,000 sq ft gfa (9.0, 9.0)</li> <li>2. Take-out restaurant: 1,000 sq ft gfa (10.0, 10.0)</li> </ol> <p>G. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.</p>

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.080B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
7	Hotels, Motels and Other Accommodation Services	1.2; 1.2; 1.35	0%	4; 5; 5	85%; 15%	Rental room (1.0, 1.0)	
8	Marijuana retail sales	.36; .41; .55	0%	4; 5; 5	85% / 15%	1,000 sq ft gfa (2.0, 3.0)	A. See RZC 21.41 Marijuana-related uses for additional requirements. B. The maximum number of parking stalls allowed may be increased to 5.0 per 1,000 square feet of gross floor area for the retail components of mixed-use developments.
<b>Manufacturing and Wholesale Trade</b>							
9	Manufacturing and Wholesale Trade	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft (2.0, 3.0)	A. Wholesale trade establishments and warehouse and storage services not permitted. B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. C. Shall be considered a transitional use. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
<b>Transportation, Communication, Information, and Utilities</b>							
10	Road, Ground Passenger and Transit Transportation					1,000 sq ft gfa (2.0, 3.0)	
11	Rapid charging station					Adequate to accommodate peak use	A. Maximum building height of nine stories may be achieved through RZC 21.12.170, <i>OV Incentive Program</i> , on those properties eligible for and applying the Regional Stormwater Management Facility incentive.
12	Battery exchange station					Adequate to accommodate peak use	B. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments.
13	Communications and Information	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	A. Shall not be materially detrimental in terms of noise, truck traffic and other potential operational impacts with nearby multistory mixed-use/residential developments. B. Shall be considered a transitional use if: 1. Business is a software publisher or telecommunications and broadcasting; OR 2. Less than 51 percent of a business's transactions are made with the general public, except for other publishing uses not listed above. C. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
14	Local Utilities						Requires a conditional use permit if 40 feet in height or greater. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
15	Regional Utilities					Adequate to accommodate peak use	Requires a conditional use permit. See RZC 21.76.070.K, <i>Conditional Use Permit</i> .
16	Wireless Communication Facilities						See RZC 21.56. Wireless Communication Facilities for specific development requirements.
<b>Arts, Entertainment, and Recreation</b>							
17	Arts, Entertainment, and Recreation	.36; .41; .55	0%	4; 5; 5	85%; 15%	Adequate to accommodate peak use	
18	Natural and other recreational parks					1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and other Institutions</b>							

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

**Table 21.12.080B**  
**Allowed Uses and Basic Development Standards**

§	Use	Max. FAR Base; w / TDRs or GBP; w / IP	Min. Res. Floor Area	Max. Height	Max. ISR / Min. LSR	Parking Ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
19	Education, Public Administration, Health Care, and other Institutions, except those listed below	.36; .41; .55	0%	4; 5; 5	85%; 15%	See Special Regulations	A. Religious institutions not permitted. B. Parking: The number of spaces must be adequate to accommodate the peak shift as determined by the Administrator after considering the probable number of employees, etc.
20	Health and Human Services					1,000 sq ft gfa (2.0, 3.0)	A. Shall be considered a transitional use if less than 51 percent of a business's transactions are made with the general public, except for day care centers. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements. B. Provisions for day care centers: 1. Shall provide parking as follows: Employee on maximum shift (1.0, 1.0). 2. Play equipment shall be located no less than 10 feet from any property line. 3. Shall not be located closer than 300 feet from existing day care operation in residential zone.
<b>Construction-Related Businesses</b>							
21	Construction-Related Businesses	.36; .41; .55	0%	4; 5; 5	85%; 15%	1,000 sq ft gfa (2.0, 3.0)	Shall be considered a transitional use if use does not include a showroom open to the general public. See RZC 21.12.140, <i>OV Transitional Use Requirements</i> , for transitional use requirements.
<b>Other</b>							
22	Kiosk						A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.
23	Vending carts			1; 1; 1	85%; 15%		B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act. C. Structures shall be secured to prevent tipping and endangering public safety. D. Maximum size is six feet wide by ten feet long. E. Administrative design review required for structures.

(Ord. 2642; Ord. 2803; Ord. 2836; Ord. 2919)

Effective on: 4/14/2018

## 21.12.090 OV Floor Area

- All legal lots are allowed the greater of either the maximum allowed FAR or 10,000 square feet of buildings provided all other applicable site requirements are met.
- The FAR for nonresidential and residential uses within a given development are individually calculated and maybe added together for a cumulative total, provided that the respective maximum FAR for each use is not exceeded, unless otherwise provided for.
- Floor area ratio calculations shall be based on the gross site area prior to any provision of space for public amenities.
- Repealed.*

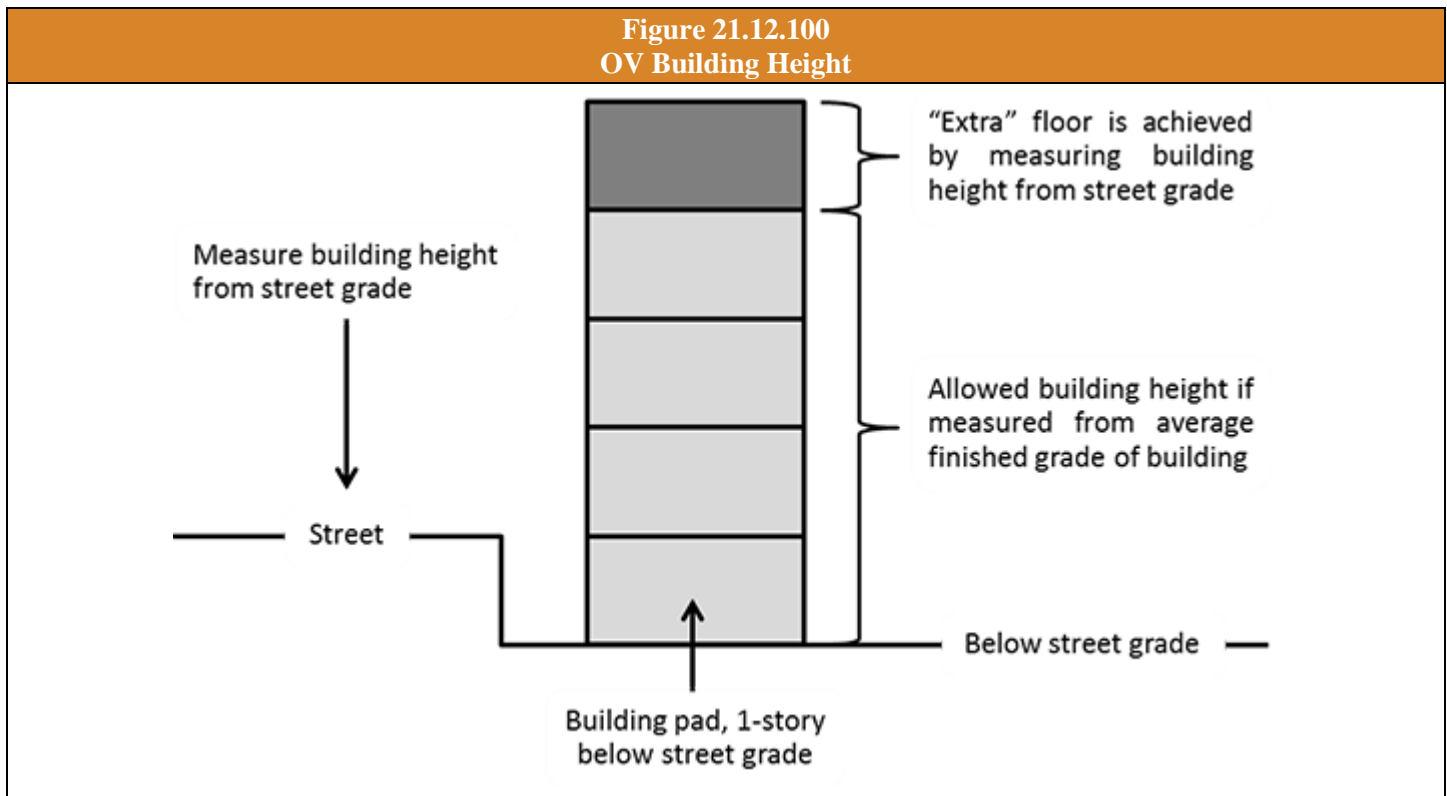
(Ord. 2709)

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 10/26/2013

### 21.12.100 OV Building Height

- A. **Height Tradeoff.** The maximum building height on a site may be exceeded when building height reductions are required at building edges, along a street or park, to achieve better design and stepped building height through the land use permit process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without use of bonuses or transfer of development rights) shall not exceed the floor area that was removed or omitted to create the stepped building facade and shall not exceed one additional floor above the prescribed maximum building height.
- B. In areas where an adjacent public or private street will be more than one story above the ground floor elevation of a building because of topography (such as the southwest corner of NE 90th Street and Redmond-Woodinville Road), building height may be measured from the grade of the higher public or private street, instead of from average finished grade of the building. Building height as measured from the grade of the public or private street shall not exceed maximum building height (including bonuses, if any), and the entire site shall comply with applicable FAR limits. See Figure 21.12.100, *OV Building Height*, below.



- C. To achieve an appropriate transition between major public streets and development interior to Zone 4, maximum building height within 50 feet of the rights-of-way of 152nd Avenue NE and 156th Avenue NE shall be six stories measured from the closest edge of the property to the right-of-way. Bonuses or transferred development rights may not be used to exceed this limit.

Effective on: 4/16/2011

### 21.12.110 OV Parking Standards

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- A. Developments may provide parking in excess of the maximum allowed parking standard shown in RZC 21.12.040 through 21.12.080, OV Zones 1 through 5, provided the excess parking is also available at all times to the general public, and there is signage at the facility to inform users which parking stalls are available for public use.
- B. Alternative parking standards may be specified in a City-approved Master Plan or site plan when a change is supported by the Overlake Parking Management Plan, a City review of parking in one or more Overlake zones, or a property owner-initiated parking analysis.
- C. Curbside parking on public streets within a development site may count toward up to 25 percent of the required off-street parking. When all or part of the street right-of-way is dedicated by the development site property owner or a predecessor in title, curbside parking shall be fully counted toward satisfaction of the off-street parking requirement. Curbside parking on 152nd Avenue NE or 156th Avenue NE shall not be counted toward off-street parking. Curbside parking on private streets that are part of the development site shall be fully counted toward satisfaction of the required off-street parking requirement. (Ord. 2642)

Effective on: 4/16/2011

### 21.12.120 OV Residential Usable Open Space

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- A. **General Requirement.** The minimum residential usable open space requirement establishes the minimum percentage of a development that must be set aside to provide usable open space for residents. Every development that includes residences shall provide usable open space in an amount equal to or greater than 6.25 percent of the gross residential floor area.
- B. **Alternatives for configuration of the total amount of usable open space.**
  - 1. Common open space is open space that is open to all residents. It includes landscaped courtyards or decks, gardens with pathways, children's play areas, and other multipurpose recreational or green spaces. Except for rooftop open space, it may be used to meet 100 percent of the usable open space requirement.
  - 2. Common open space shall be large enough to provide functional leisure or recreational activity as determined by the Technical Committee. The average minimum dimension shall be 20 feet, with no dimension less than 12 feet.
  - 3. Private open space is open space that is not open to all residents. It includes balconies, patios, and other multi-purpose recreational or green spaces. It may be used to meet up to 50 percent of the usable open space requirement. Private open spaces shall be at least 50 square feet, with no dimension less than five feet.
  - 4. Rooftop open space may be used to meet up to 50 percent of the usable open space requirement, except for rooftop open space described in subsection (5) below.
  - 5. In some circumstances, a rooftop may be accessible from street grade because of significant slopes on a site. In such instances, rooftop open space built at street grade and open to the general public may be used to meet 100 percent of the usable open space requirement.
- C. **Combining Usable Open Space and Pedestrian Access.** Parking areas, driveways, and pedestrian access other than pedestrian access required by Washington State Rules and Regulations for Barrier-Free Design shall not be counted as usable open space, except any pedestrian path or walkway traversing through the open space if the total width of the common usable open space is 18 feet or wider.

Effective on: 4/16/2011

### 21.12.130 OV Landscaping

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- A. **General Requirement.** All setbacks, buffers, open spaces, pervious surfaces, plazas, parks, site and building entrances, pedestrian walkways, service areas, and parking lots shall be landscaped with plant materials. Existing vegetation may be maintained and applied toward this standard if the existing vegetation meets the landscaping requirements of this section, is healthy, and is likely to survive development. The requirements specified in [RZC 21.32, Landscaping](#), shall apply except to the extent that they conflict with landscaping practices appropriate to an urban center. In addition, supplemental landscaping requirements for Overlake Village are defined below.
- B. **Plantings Along Streets.** At a minimum, planting strips along streets shall include street trees per the City's standards for type and species. Where space allows, planting areas should include other vegetation suitable for an urban setting. Tree planting pits on streets that include Furniture Zones per [RZC 21.12.150, OV Street Cross Sections](#), shall be covered with cast-iron tree grates of a type that meets ADA requirements.
- C. **Open Space and Plazas.**
1. Plazas and common usable open spaces shall be landscaped to create visual interest by providing a variety of colors, heights, and forms of foliage; soften building edges; and reduce the impact of elements such as noise or wind.
  2. The quantity of trees, shrubs, and other plant materials shall be designed to meet the size and function of the plaza or open space.
- D. **Zone 5 Buffers.**
1. Properties in Zone 5 shall provide a landscape buffer at least 20 feet in width along street frontages where any portion of the street bordering the development site borders a residential zone within a neighboring jurisdiction.
  2. The buffers shall be planted with the following materials:
    - a. Minimum of one tree per 200 square feet of buffer area. No more than 40 percent of trees may be deciduous.
    - b. Evergreen shrubs, a minimum of five gallon in size. The area covered by the shrubs shall equal at least one-third of the buffer frontage.
    - c. Groundcover plantings to cover the ground within three years.
    - d. Plant materials shall be drought tolerant and at least 50 percent native species by area.
    - e. Trees and other plant materials required by this section shall be located so that they effectively buffer the development from bordering residential properties. The buffer need not completely obscure the development; rather it should screen it.
  3. Up to 20 percent of the buffer area may be used for streets, driveways, utility crossings, trails, or ground level features such as patios. Other structures may not be placed in required buffers.
  4. Buffers may be counted towards required open space, required pervious surfaces, setbacks, and other requirements in the Use and Bulk Regulations that they meet.
  5. Buffers may include landscaped on-site stormwater management BMPs such as bioretention or rain gardens.

(Ord. 2858)

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Effective on: 12/17/2016

### 21.12.140 OV Transitional Use Requirements

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- A. **Purpose.** The purpose of this section is to provide for the transition of properties consistent with the adopted vision and plan for Overlake Village as a multistory mixed-use/residential urban neighborhood. This section is intended to ensure fairness to existing uses and property owners while also recognizing that the eventual redevelopment of these properties is consistent with and carries out the City's adopted goals, policies, and plans.
- B. Transitional uses indicated in the Use and Bulk Regulation Tables in RZC 21.12.040 (*OV Zone 1*), 21.12.050 (*OV Zone 2*), 21.12.060 (*OV Zone 3*), and 21.12.080 (*OV Zone 5*) shall:
1. Only be located within the building footprint existing on any property as of December 11, 2007;
  2. Not exceed 25,000 square feet gross floor area; and
  3. Together with other transitional uses on the property, not comprise more than 70 percent of the total floor area for the buildings existing on the property under the ownership of record as of December 11, 2007.
- C. The desirability of allowing transitional uses to continue shall be reviewed prior to December 12, 2012, and every five years after that, at a minimum, in order to determine whether allowing such uses to continue is compatible with the vision for Overlake. Unless City Council amends these regulations to prohibit transitional uses as the result of the review, the uses shall continue for an additional five years. If City Council amends these regulations to prohibit the transitional uses, all such uses with a Redmond business license located in Overlake Village zone at the time of the amendment shall become legal nonconforming uses. A transitional use located within Overlake Village zone that becomes a legal nonconforming use shall be allowed to expand consistent with the conditions outlined in (B) above. If a legal nonconforming use vacates the premises in which it is located, the use may be replaced by any other transitional use that was allowed by the code as adopted on December 11, 2007.

Effective on: 4/16/2011

### 21.12.150 OV Street Cross Sections

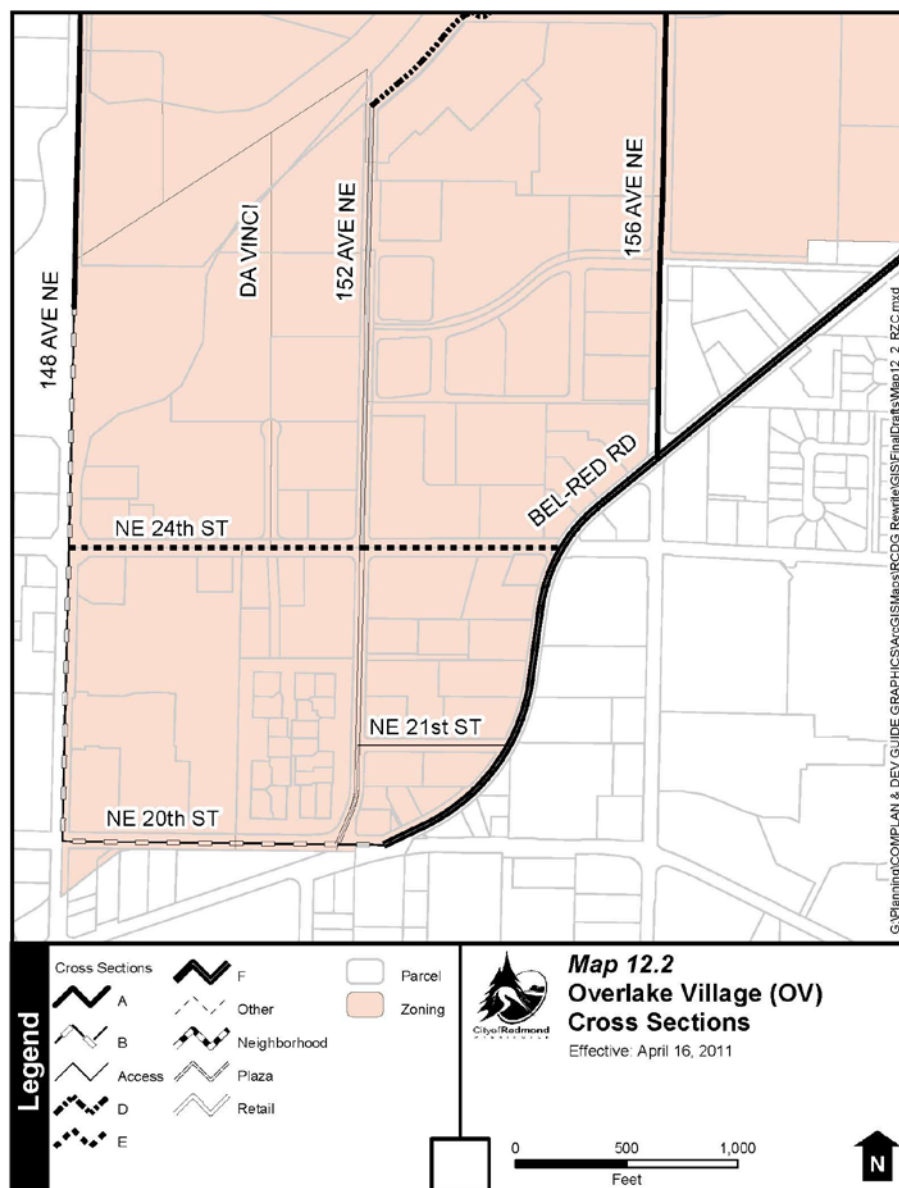
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- A. **Guidelines for Application.**
1. The Technical Committee shall review and approve each component of the street cross section on a project-by-project basis and has the authority to alter street cross section widths and uses, including utility locations.
  2. Street cross section widths apply at the middle of the block.
    - a. The widths and existence of each component may vary at intersections, as determined by the Technical Committee.
    - b. Intersection design shall be based upon the Pedestrian System Plan, and Bicycle System Plan, and Design Guidance chapters of the Transportation Master Plan; the Bicycle Facilities Design Manual; the City's Construction Specifications and Design Standards for Streets and Access; and any corridor study adopted by the City Council for the street(s) in question.
  3. Provisions of medians and left turn lane access shall be determined on a project-by-project basis, based on traffic speeds, volumes and collision history, and using recognized engineering standards, such as those published by AASHTO, ITE, or other recognized authority.
  4. Utilities, such as power, telephone, and cable, shall be placed under the sidewalk.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

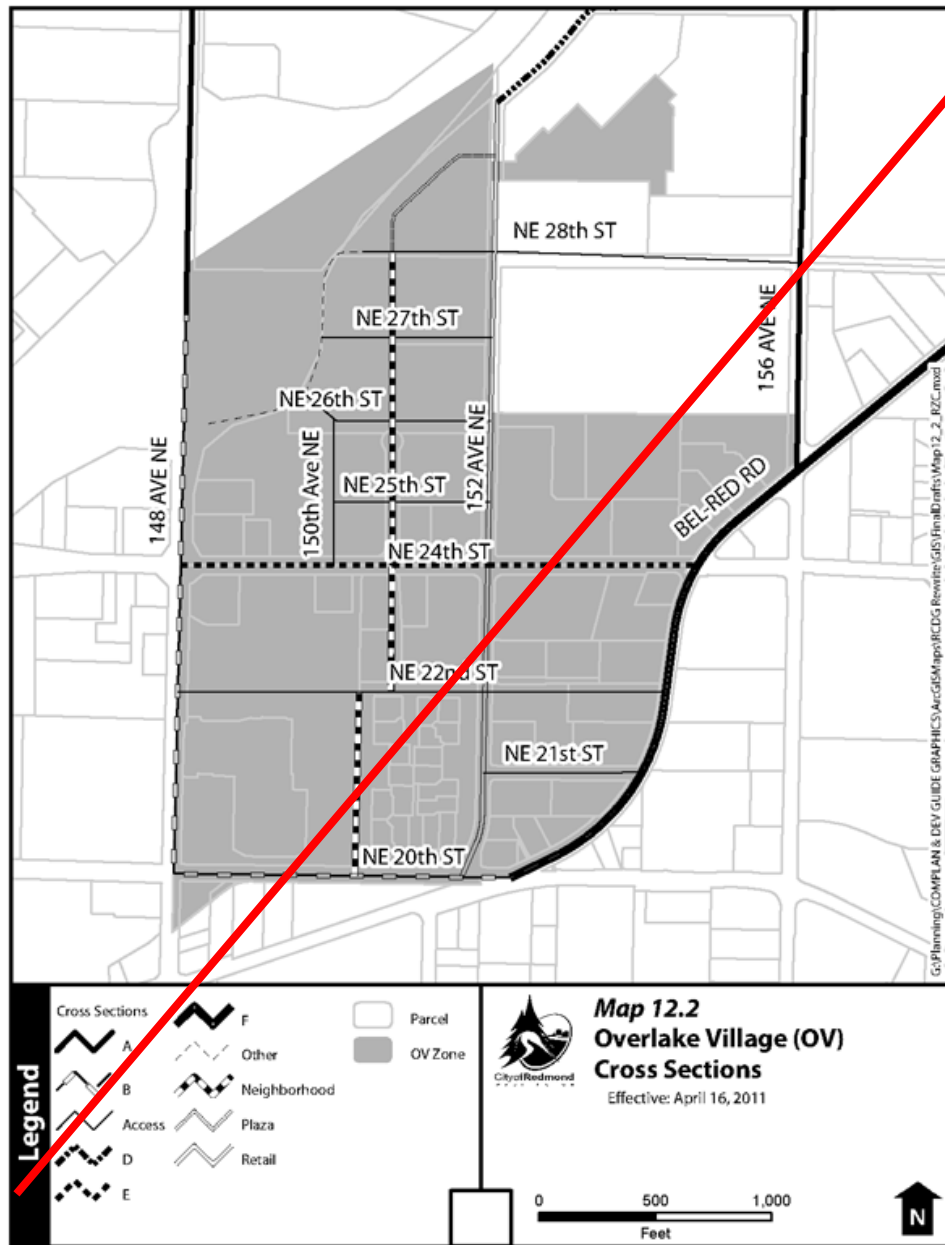
5. When designing multimodal corridors refer to the Modal Corridors section of Transportation Master Plan. Corridors shall support all modes.
6. Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.

**Figure 21.12.150A**  
**Overlake Village (OV) Cross Section**  
*(insert the following map)*



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

*(Repeal the following map)*



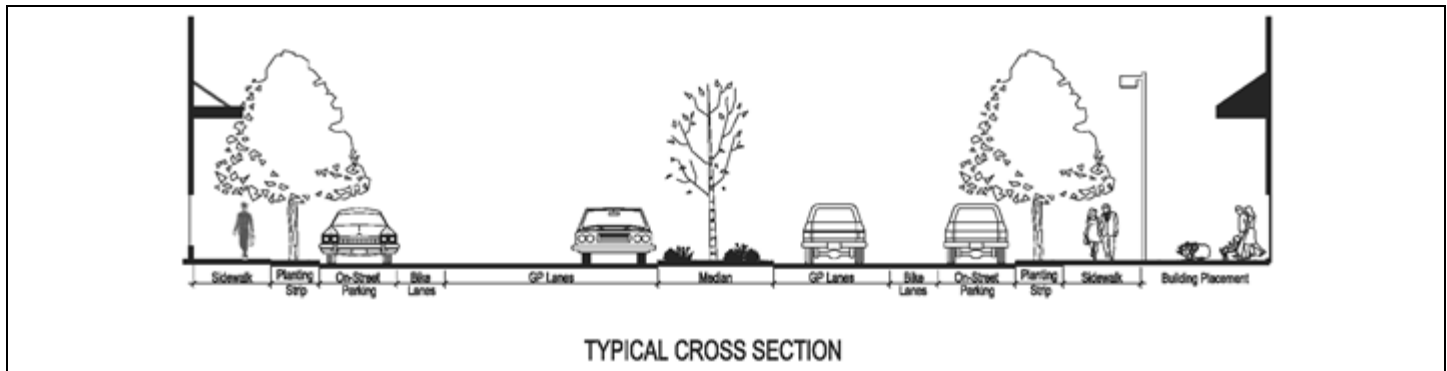
*Note: Online users may click the map for a full-size version in PDF format.*

### B. Site Requirements by Cross Section.

1. The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2, Overlake Village (OV) Cross Sections. Other street cross sections are described in the table in subsection (2) of this section.

**Figure 21.12.150B  
Illustrative OV Cross Section**

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



**Table 21.12.150A  
Site Requirements by Cross Section**

	Cross Section			
Standard	A	B	E	F
Right of Way Geometry				
Total right-of-way	90	86	82	89
Sidewalk	8 (SB/WB); 12 (NB/EB)	8 (Both Sides)	8 (Both Sides)	6 (Both Sides)
5-Foot Planting Strip or 4-Foot Furniture Zone with Tree Grates	5 (Both Sides)	5 (Both Sides)	5 (Both Sides)	5 (Both Sides)
On-Street Parking	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)
Bike Lane	0 (Both Sides)	0 (Both Sides)	0 (Both Sides)	5.5 (Both Sides)
GP Lanes	24 (Both Sides)	24 (Both Sides)	22 (Both Sides)	22 (Both Sides)
Median / Two Way Left Turn Lane	12	12	12	12
Building Placement				
Build-To Line (Front and Side Street)	10	1	2	1
Setback Line (Side and Rear)	0	0	0	0
Building Use				
Ground Floor Uses	Residences prohibited. Offices or recreational areas associated with residential uses allowed.			
Notes				
Notes	A. Separate multiuse path parallel to corridor. B. Street section shared by Bellevue and Redmond. C. Outside GP lane 13 feet. Inside GP lane 11 feet.	Outside GP lane 13 feet. Inside GP lane 11 feet.		

3.

2. The table below describes street cross section requirements for some streets in Overlake Village shown on Map 12.2, Overlake Village (OV) Cross Sections. Other street cross sections are described in the table in subsection (1) of this section.

**Table 21.12.150B  
Cross-Section Requirements for Other Streets**

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Street type	Total right-of-way (feet)	Description of Street	Ground Floor Uses	Notes
Retail street	100	This is an urban main street that is intended to be the linear core within Overlake Village and attract significant numbers of people to multiple activities. It is intended to include within the mix of uses at street level restaurants, retail, cultural and entertainment uses, personal services and similar businesses that are pedestrian oriented. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary, wide sidewalks, protected bikeways, and curbside parking.	uses required; residential uses prohibited.	Design details are located in Appendix 7 of the Redmond Zoning Code.
Neighborhood street	88	This street creates a green connection between the light rail station, Overlake Village open spaces, and the rest of the neighborhood. Street level uses are expected to include a mix of residential and pedestrian-oriented commercial uses. Key features of the street cross section include: one vehicle travel lane in each direction, wide sidewalks, bicycle lanes, urban pathway, and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Access street	75	These streets provide local access and areas for driveways and loading. Key features of the street cross section include: one vehicle travel lane in each direction with turn lanes as necessary, wide sidewalks, urban pathway and bicycle lanes (some segments), and curbside parking.		Design details are located in Appendix 7 of the Redmond Zoning Code.
Plaza street	57	This street fronts the Overlake Village light rail station and is adjacent to a future public plaza. Key features of the street cross section include: one vehicle travel lane in each direction; pedestrian zones that blend with the plaza, street, and station, low vehicle speeds, and light rail passenger pick-up and drop-off opportunities.		Design details are located in Appendix 7 of the Redmond Zoning Code.

### C. Ground Floor Uses.

1. General Requirement. Ground floor uses are established in RZC 21.12.150.B, *Site Requirements by Cross Section*. This section establishes requirements regarding ground floor uses specified in the chart.
2. Pedestrian-Oriented Use Requirements. Where pedestrian-oriented ground floor uses are required, the following requirements must be met, in addition to the design requirements found in RZC [Article IV](#), *Design Standards*.
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous; and
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
3. In locations where ground floor residential units are permitted, either:
  - a. The units shall be set back a minimum of 10 feet from the back of the required setback zone, or
  - b. All living areas with windows shall be elevated above the street grade at least three feet.

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- c. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

(Ord. 2652; Ord. 2803)

Effective on: 10/17/2015

### 21.12.160 OV Urban Pathway

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- A. As properties are developed, corresponding portions of the urban pathway shown on Map 12.1, Overlake Village Subarea Map, shall be installed by the property owner/developer. In the event that the Technical Committee determines that installation should be delayed to accommodate a more comprehensive planned future improvement of the urban pathway, the property owner/developer shall pay the cost of the installation to the City in lieu of installation. In order to provide flexibility, the actual alignment shall be determined through the Site Plan Entitlement process.
- B. The improvements shall include a 12-foot-wide concrete path with eight feet of landscaping on both sides as part of a 28-foot corridor with pedestrian lighting and connections to existing or planned plazas or open spaces. The Technical Committee may approve alternatives to concrete if site or design conditions warrant. Where the pathway follows existing or planned streets or extends along retail storefronts, the corridor width may be reduced through the Site Plan Entitlement process.
- C. The landscaping shall include a combination of trees, shrubs and other plant materials to enhance visual interest and create a parklike quality along the pathway. A landscaping plan shall be submitted to and approved by the Technical Committee and may provide for varying types and quantities of landscaping along the pathway to provide compatibility with the adjoining land use. For example, the landscaping could include more shrubs and groundcover and fewer trees where visibility of retail storefronts is needed.

Effective on: 4/16/2011

### 21.12.170 OV Incentive Program

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- A. **Purpose.** The purpose of this section is to enhance the character and overall livability of Overlake Village. The incentive program does this by incentivizing features that implement neighborhood goals and respond to needs for public amenities, housing opportunities, and environmental sustainability. The incentive program reduces the cost of these features by allowing increased building height and floor area, as well as additional permitted uses. This section also indicates the City's priorities for provision of these desired features.
- B. **Features and Incentives.**
  - 1. Table 21.12.170A, *Priority Features and Incentives*, indicates high-priority features and maximum incentives available in each zone. Table 21.12.170B, *Additional Features and Incentives*, indicates additional bonus features and incentives. Following the tables, subsection D. explains the features in detail.
  - 2. In order for sites to qualify for development incentives the applicant must provide the applicable feature(s) described in Table 21.12.170A, *Priority Features and Incentives*.
  - 3. An applicant may provide additional features from Table 21.12.170A or 21.12.170B to qualify for additional development incentives. The same land area may not be used to qualify for two bonus features. For example, an applicant whose site is shown for a major park on Map 12.1, *Overlake Village Subarea Map*, and who satisfies that requirement must provide additional space for an outdoor plaza in order to receive additional development incentives.

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### C. Restrictions.

1. Features provided through this program for parks, stormwater facilities or plazas may not be counted toward satisfaction of the minimum usable open space requirements in RZC 21.12.120, *OV Residential Usable Open Space*.
2. Transfer of Development Rights may not be used to exceed the maximum building height allowed through this program.

**Table 21.12.170A**  
**Priority Features and Incentives**

	Priority Feature	Applicable Zones	Maximum Incentive Per Feature
1.	Regional Management Facility	1 and 3 as indicated on map	Three additional stories for all residential buildings in the development, Four additional stories for all commercial buildings in the development, Additional 1.5 FAR for residential uses, and Additional 0.19 FAR for commercial uses.
2.	Major Park	4	Three additional stories for all residential buildings in the development, Four additional stories for all commercial buildings in the development, Additional 1.5 FAR for residential uses, and Additional 0.15 FAR for commercial uses.
3.	Plaza Dedication	1, 2, 3, 4, 5	One additional story for 50 percent of the buildings in the development
4.	Plaza Improvement	1, 2, 3, 4, 5	One of the following: Additional 1.5 FAR for residential uses, or Additional 0.15 FAR for commercial and hotel uses, or One additional story for 50 percent of the buildings in the development, or Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.

**Table 21.12.170B**  
**Additional Features and Incentives**

	Additional Features	Applicable Zones	Maximum Incentive Per Feature
5.	Green Building or Development	1, 2, 3, 4, 5	One additional story for each building designed and constructed to meet the certification described in RZC 21.67, <i>Green Building and Green Infrastructure Incentive Program</i> (GBP), and Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.
6.	Residential Uses Above Minimum Required	1, 2, 3, 4	One additional story for all buildings in the development.
7.	Subterranean Parking	1, 2, 3, 4, 5	One additional story for all buildings in the development, Additional 1.5 FAR for residential uses, Additional 0.15 FAR for commercial uses, and Expanded list of nonresidential land uses to include uses considered transitional in RZC 21.12.040 through 21.12.060 and 21.12.080, OV Zones 1 through 3 and 5. Only available if required residential development per RZC 21.12.040 through 21.12.070, OV Zones 1 through 4 has been constructed.
8.	Combination Subterranean and Wrapped Structured Parking	1, 2, 3, 4, 5	Select one of the incentives offered for Feature 7.
9.	Affordable Housing Above Minimum Required	1, 2, 3, 4, 5	Additional residential floor area at 2.5 times the equivalent floor area for each affordable unit provided above the minimum requirement of 10 percent of the total dwellings, up to a maximum total residential FAR of 3.75. The bonus residential floor area may be used to increase building height by up to one story.

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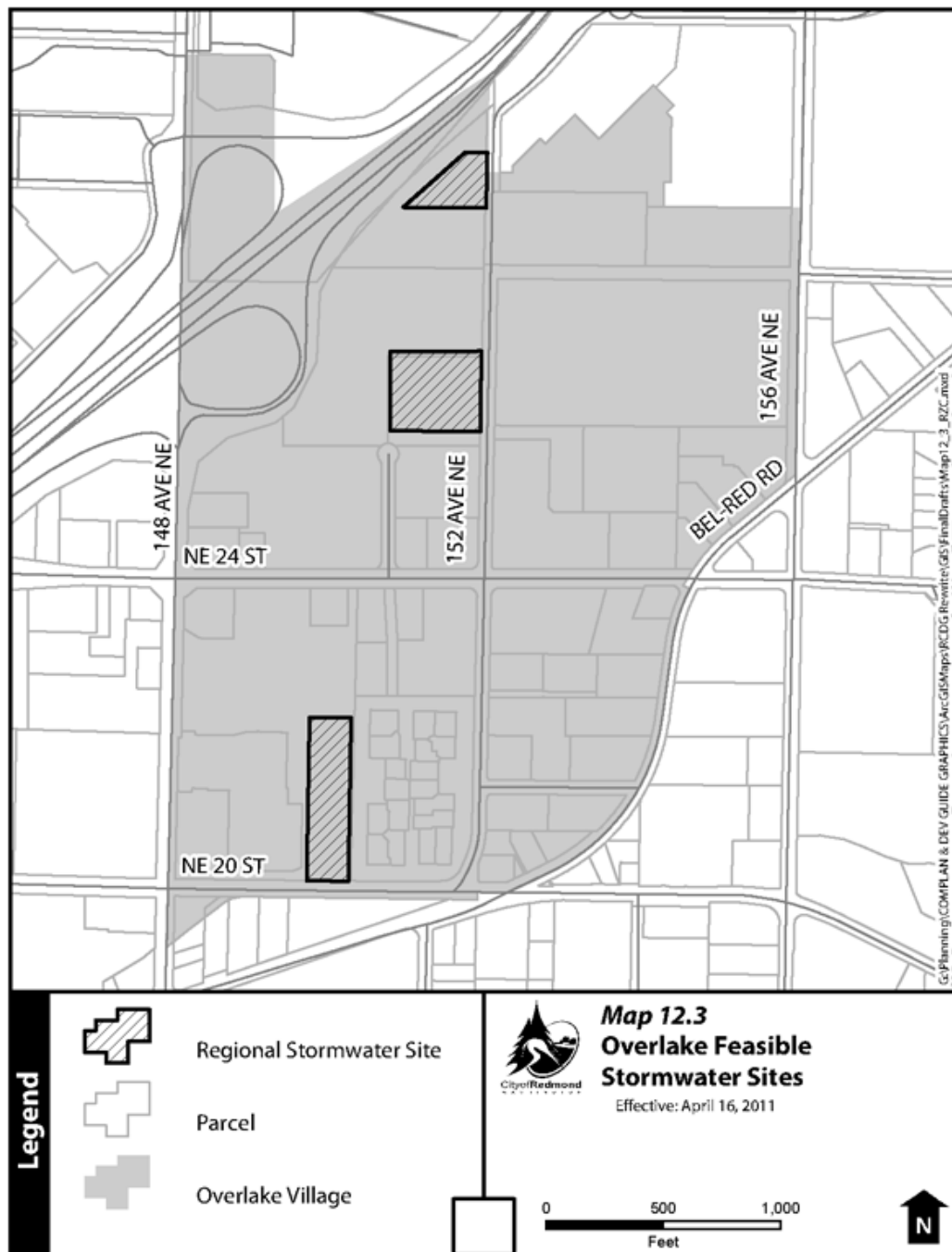
10.	Hotel and conference center, full service	4	Two additional stories for hotel and conference center, full service buildings; and Additional .20 FAR for commercial development.
11.	Transit-Oriented Development	4	One additional story for commercial buildings and two additional stories for residential and full service hotel/conference center buildings; and Additional .25 FAR for commercial development; and Additional .75 FAR for residential development. Undeveloped transit-oriented development bonus FAR may be transferred from one site to another site that satisfies the criteria for the bonus.

### D. Features Explained.

1. Regional Stormwater Management Facility: Dedicate two to four acres of land to the City of Redmond for use as a regional stormwater management facility. Map 12.3, *Overlake Feasible Stormwater Sites*, indicates properties to which this provision applies.

### Map 12.3 Overlake Feasible Stormwater Sites

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



*Note: Online users may click the map for a full-size version in PDF format.*

D.

2. Major Park: Provide a minimum of 2.5 acres of land that is accessible and welcoming to the public as an urban park and open space.
  - a. May be in one or two open space areas, with one of the spaces a minimum of 1.5 acres in size to provide sufficient size for informal recreation. If provided in two areas, these spaces shall be contiguous or connected by a pathway which promotes a clear visual connection and relationship

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between the spaces. The pathway shall be designed at a minimum to meet the requirements of RZC 21.12.160, *OV Urban Pathway*. Visual connection may be achieved through proximity of the spaces or through enhanced design treatments along the pathway which enable pedestrians to readily perceive the connection between the spaces.

- b. The intended character of the open space(s) is to:
    - i. Include a balance of open lawn and trees;
    - ii. Include hard surfaces, such as plazas, as well as soft surfaces, such as lawns;
    - iii. Provide a central gathering place and a place that can be programmed, such as for concerts;
    - iv. Include space for refuge as well as space for active recreation, such as small play areas;
    - v. Help serve needs for a variety of ages from children through seniors; and
    - vi. Be located either near 152nd Avenue NE or provide a clear connection to 152nd Avenue NE through at least one pathway.
  - c. The City and applicant shall establish an agreement regarding the design, funding, and timing for completion of improvements for this park. The completion of improvements for this park shall be commensurate with the progress on the construction of the development.
  - d. The space shall be dedicated to the City of Redmond or be subjected to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
3. Plaza Dedication. Provide a minimum of five percent of the gross site area, an equivalent fee-in-lieu based on fair market value, or a combination of land and fee for the purpose of providing space for an outdoor plaza.
- a. The space shall be dedicated to the City of Redmond or be subject to covenants or other legally binding provisions mutually agreed upon by the property owner and City to assure the property is open and accessible to the public.
  - b. The Technical Committee shall review and determine whether proposed sites qualify for plaza locations based on considerations including:
    - i. Consistency of the proposed location with the preferred vicinities shown in RZC 21.12.030, *OV Subarea Map*,
    - ii. The suitability of the proposed location for an outdoor plaza, and
    - iii. Opportunities to create an open space of greater value by locating this space in conjunction with other open spaces, such as those required in RZC 21.12.120, *OV Residential Usable Open Space*.
4. Plaza Improvement. Applicants may seek additional incentives for completion of plaza improvements to provide a space that is accessible and welcoming to the public. These applicants shall submit a plan which shows landscaping, lighting, seating, color and materials, relationship to building frontage, and relationship to and coordination with the pedestrian system, addressing at a minimum the design requirements specified in RZC 21.62.030.I, *Pedestrian Plazas and Open Spaces*. Proposed improvements shall be reviewed and approved by the Technical Committee.
5. Green Building or Development. Minimum of LEED Silver Certification, or comparable Built Green or other certification as determined by the Technical Committee.
6. Residential Uses Above Minimum Required. Provide and maintain at least 75 percent of the total gross floor area for the development in residential uses in Zones 1 and 4, and at least 50 percent in Zones 2 and 3.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

7. Subterranean Parking. At least 60 percent of off-street parking for the development is located below the ground surface.
8. Combination Subterranean and Wrapped Structured Parking. At least 60 percent of off-street parking for the development is located in parking structures, some or all of which may be above-grade, provided above-grade parking structures do not have frontage on 152nd Avenue NE, 156th Avenue NE, public park space, or a public pedestrian pathway system, and have ground level retail or other pedestrian-oriented uses incorporated into the structure where it is adjacent to other public streets so that none of the parking structure fronts on the ground level in these areas. This bonus applies only in locations where this standard is not otherwise required by RZC 21.62.030.D, *Parking Garage Design*.
9. Affordable Housing Above Minimum Required. Provide a minimum of 20 percent of the total dwellings in the development as affordable as defined by, Definitions.
10. Hotel and Conference Center, Full Service. Include land area dedicated to a hotel and conference center, full service.
11. Transit-Oriented Development. Provide Transit-Oriented Development that:
  - a. Is located within 2,500 feet of a transit station or stop served by light rail, bus rapid transit, or other high-capacity transit service. The transit station or stop for the Transit-Oriented Development bonus may be in existence, or may be planned for construction, provided it is fully funded and is scheduled to be open for service within two years of the date of occupancy of the structure that utilizes the increase in FAR;
  - b. Will be connected with the transit station or stop by sidewalks, crosswalks, and/or pathways which afford convenient pedestrian access; and
  - c. Will include 1,000 or more residential units as a component of a mixed-use district.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article I Staff Contact

### 21.13 Southeast Redmond Regulations

Judy Fani

#### ***Correction Needed***

When Council adopted the LID ordinance (2858), there were amendments made to the table in 21.32.060. Five items were removed from the table. Incentives in that table were also referenced in 21.13.020.H. However, 21.13.020.H was not updated with ord. 2858, resulting in an inconsistency in the code between what's offered in 21.32.060 and what is offered in 21.13.020.H.

#### ***Rationale***

LID-related code amendments adopted on 12/6/16 (Ordinance 2858) removed five items from Table 21.32.060 Ecological Score Requirements. The City's NPDES permit required adoption of new code provisions intended to make LID the "preferred and commonly used approach to site development." Section 21.13.020 Northeast Design District of the Southeast Redmond Regulations was adopted on 10/21/2014 (Ordinance 2753(AM)) establishing a supplementary incentive program. The supplementary program should also reflect ecological score incentives that are consistent with 21.32.060 Ecological Score Requirements.

#### ***Amendment***

### **21.13.020 Northeast Design District**

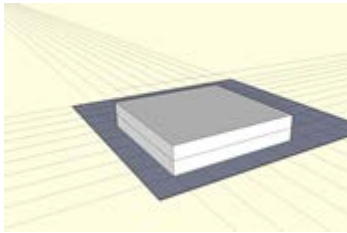
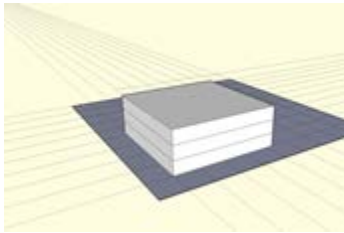

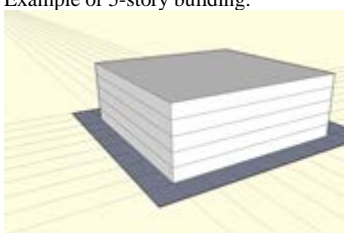
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A. **Purpose.** The purpose of the Northeast Design District is to create a transition from single-family residential areas in the south to industrial areas in the north and to provide opportunities for businesses that require larger footprints. The purpose is also to establish and maintain a transition from the urban development within the district to the rural areas east of the city limits. This will be accomplished by careful siting of buildings, vegetated buffers and park spaces, campus-like settings, and master planning. The performance zoning regulations in this chapter grant significant flexibility in terms of allowed uses while establishing district-specific design standards. Standards in this chapter emphasize transition from lower- to higher-intensity uses, creating neighborhood character and a sense of place through site and building design, and connecting this area to parks and regional trails located to the east. The Northeast Design District comprises three performance areas called **NDD1**, **NDD2**, and **NDD3**.

B. **Maximum Development Yield.**

Table 21.13.020A Maximum Development Yield					
Design District	Regulation	Base	Bonuses Available	Maximum	Illustrations
NDD1	FAR	0.50	Required affordable housing: 0.05	0.55	
	Height – residential		Incentive program: 1 story	3 stories	

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	Height – nonresidential	2 stories	TDRs or GBP: 1 story Incentive program: 2 stories	4 stories	Example of a 2-story building with FAR=0.50 	Example of a 3-story building with FAR=0.55 
NDD2 and NDD3	FAR	N/A	N/A	N/A	Example of 2-story building. 	Example of 5-story building. 
	Height	2 stories	3 stories	5 stories		

### C. Allowed Uses and Basic Development Standards: NDD1.

Table 21.13.020B Allowed Uses and Basic Development Standards: NDD1			
Section	Use	Parking ratio: Unit of Measure (Min. required, Max. allowed)	Regulations
<b>Residential</b>			
1	Detached dwelling unit	Dwelling unit (2.0)	
2	Size-limited dwelling		
3	Cottage	Dwelling unit (1.5, 2.0)	See RZC 21.08.290, <i>Cottage Housing Developments</i> , for specific site development requirements and supplemental neighborhood regulations that may apply. No density bonus applies because total development is governed by FAR.
4	Accessory dwelling unit (ADU)	ADU (1.0)	See RZC 21.08.220, <i>Accessory Dwelling Units</i> , for specific regulations that may apply.
5	Attached dwelling unit, 2-4 units	Dwelling unit (2.0)	See RZC 21.08.260, <i>Attached Dwelling Units</i> , for specific regulations related to design, review and decision procedures, and affordable housing exceptions.
6	Manufactured home		See RZC 21.08.320, <i>Designated Manufactured Homes, Manufactured Homes, and Mobile Homes</i> , for specific regulations that may apply.
7	Multifamily structure	Studio dwelling unit (1.0) 1-bedroom dwelling unit (1.25) 2-bedroom dwelling unit (1.5) 3+-bedroom dwelling unit (1.75)	

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8	Housing services for the elderly	See Special Regulations.	<p>A. Retirement residences are permitted through a subdivision or binding site plan with a maximum of 16 retirement residence units per acre. Without a subdivision or binding site plan, a Conditional Use Permit is required. See RZC <a href="#">21.08.360, Retirement Residences</a>, for specific regulations which may apply.</p> <p>B. A Conditional Use Permit is required for Residential Care Facilities.</p> <p>C. A Conditional Use Permit is required for Long-Term Care Facilities.</p> <p>D. Parking requirements are as follows:</p> <p>E.</p> <ol style="list-style-type: none"><li>1. Multifamily housing for senior citizens: Unit (0.5, 2.0)</li><li>2. Nursing home or long-term care facility: four patient beds (1.0, 1.0)</li><li>3. Retirement residence with no skilled nursing facility: Unit (1.0, 1.0)</li><li>4. Retirement residence with skilled nursing facility: Worker on largest shift (1.25, 1.25)</li></ol> <p>E. For retirement residences, a Traffic Mitigation Plan is required. See RZC <a href="#">21.08.370.C.3.b.iii</a></p>
9	Adult family home	Dwelling unit (2.0)	
Arts, Education, and Recreation			
10	Community indoor recreation	Adequate to accommodate peak use	Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.
11	Parks, open space, trails, and gardens	1,000 sq ft gfa (0, adequate to accommodate peak use)	Permitted if public or noncommercial. A Conditional Use Permit is required for commercial facilities.
Transportation, Communication, Information, and Utilities			
12	Local utilities	Adequate to accommodate peak use	
13	Regional utilities		A Conditional Use Permit is required.
14	Antenna support structures		<p>A. A Conditional Use Permit is required. See RZC <a href="#">21.76.070.K, Conditional Use Permit</a>.</p> <p>B. See <a href="#">RZC 21.56, Wireless Communication Facilities</a>, for specific development requirements.</p>
15	Large satellite dish	N/A	See <a href="#">RZC 21.56, Wireless Communication Facilities</a> , for specific development requirements.
16	Amateur radio tower		
17	Antenna array and base station		A Conditional Use Permit may be required; see <a href="#">RZC 21.56, Wireless Communication Facilities</a> , for specific development requirements.
Education, Public Administration, Health Care, and Other Institutions			
18	Family day care provider	Vehicle used by the business (1.0)	Family day care providers are permitted as home businesses. See RZC <a href="#">21.08.340, Home Business</a> , for specific regulations that may apply.
Other			
19	Home business	Vehicle used by the business (1.0)	See RZC <a href="#">21.08.340, Home Business</a> , for specific regulations that may apply.
20	Roadside produce stand	N/A	

### D. Regulations Common to All Uses: NDD1.

Table 21.13.020C Regulations Common to All Uses: NDD1			
	Regulation	Standard	Exceptions
Minimum	Setbacks Residential		
	Front	10 feet	
	Side/Interior	5 feet	
	Side street	10 feet	

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	Rear	10 feet	
	Alley	4 feet	
	Setbacks Nonresidential		
		15 feet from streets.	
		15 feet from property lines abutting properties with <a href="#">residential uses</a> .	
All other setbacks determined through required master planning process.			
Landscaping	40%	Ecological score of at least 30 required.	
Maximum	<a href="#">Lot coverage</a> by structures	55%	
	Height - residential	2 stories	Up to 3 stories with incentives.
	Height - nonresidential	2 stories	Up to 4 stories with incentives.
	FAR	0.50	Must achieve 140-170 units in NDD1 through <a href="#">master plan</a> .
	Impervious surface area	70%	Nonpollution-generating impervious surfaces <a href="#">shall</a> be infiltrated to the extent <a href="#">feasible</a> .
	Notification special requirements		The notice requirements of RZC <a href="#">21.08.380</a> , <i>Special Requirements – Residential Land Adjacent to BP, MP, NDD2, NDD3, and I Zones</i> , apply.
	Groundwater Intrusion	Permanent intrusion of parking garages, basements, elevator pits, or similar structures into <a href="#">groundwater</a> is prohibited. Note: foundations, auger cast piles, <a href="#">utilities</a> , and similar structures that do not require dewatering are permitted.	
	Truck Traffic	See RZC <a href="#">21.50.040</a> and RMC 10.76.050	
	Drive-through	Drive-through facilities are prohibited except where expressly permitted elsewhere in this section.	

### E. Allowed Uses and Basic Development Standards: NDD2 and NDD3.

Table 21.13.020D Allowed Uses and Basic Development Standards: NDD2 and NDD3			
Section	Use	Parking ratio: Unit of Measure (Min. required, Max. allowed)	Special Regulations
General Sales or Services			

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

1	General sales or service	1,000 sq ft gfa (4.0, 5.0)	<p>A. Limited to 5% of site gross floor area.</p> <p>B. For pet and animal sales and service:</p> <p>C.</p> <p>1. Boarding and training facilities must be located inside of a structure.</p> <p>C. For animal kennel/shelter:</p> <p>1. Boarding facilities must be located inside of a structure.</p> <p>2. Outdoor runs or yards are allowed for the purpose of exercising animals. Runs/yards must be enclosed by eight-foot-high walls of sound-attenuating fencing or material such as masonry or concrete.</p> <p>3. The planned maximum number of animals to be sheltered shall be indicated on the application. The maximum may be reduced if the applicant cannot demonstrate that the development has adequate lot size and facility design to accommodate the planned number of animals in a way that ensures neighboring residential properties will not be impacted with noise or odor problems.</p>
<b>Manufacturing and Wholesale Trade</b>			
2	Manufacturing and wholesale trade	1,000 sq ft gfa (2.0, 3.0)	
<b>Transportation, Communication, Information, and Utilities</b>			
3	Transportation, communication, information, and utilities	1,000 sq ft gfa (2.0, 3.0)	<p>A. Heliports and float plane facilities prohibited.</p> <p>B. Hazardous waste treatment and storage, primary:</p> <p>1. Prohibited within 1,000 feet of NDD1.</p> <p>2. Otherwise, a Conditional Use Permit required.</p> <p>C. A Conditional Use Permit may be required for antenna array and base station and for antenna support structures; see <a href="#">RZC 21.56</a>, <i>Wireless Communication Facilities</i>, for specific development requirements.</p>
4	Automobile parking facility	N/A	Automobile parking facilities prohibited within 500 feet of NDD1.
<b>Arts, Entertainment, and Recreation</b>			
5	Arts, entertainment, and recreation	Adequate to accommodate peak use	Limited to 15% of site gross floor area. Prohibited within 500 feet of NDD1.
6	Natural and other recreational parks	1,000 sq ft gfa (0, adequate to accommodate peak use)	
<b>Education, Public Administration, Health Care, and Other Institutions</b>			

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

7	Education, public administration, health care, and other institutions	Adequate to accommodate peak use	<p>A. Limited to 5% of site gross floor area.</p> <p>B. For religious institutions:</p> <p>C.</p> <ol style="list-style-type: none"> <li>1. A seat is one fixed seat, or 18 inches on a pew or bench, or seven square feet in the general assembly area, including aisle space, but excluding stage, podium, lobby, and space for musical instruments.</li> <li>2. Storage locations of buses/vans over 10,000 gvw shall be shown on a plan and screened from neighboring properties or right-of-way.</li> <li>3. Decorative fencing or decorative walls and landscaping on side or back lots are required when necessary to prevent visual impacts on neighboring properties and public shoreline areas.</li> <li>4. Off-site parking in residential zones is allowed only with a shared parking agreement with an existing institutional use, such as a school.</li> <li>5. A Traffic Mitigation Plan is required. The plan shall address traffic control, parking management (including mitigation of overflow parking into adjoining residential areas), and traffic movement to the arterial street system.</li> <li>6. Steeples, bell towers, crosses, or other symbolic religious icons mounted on the rooftop may exceed the maximum shoreline building height by 15 feet. (SMP)</li> <li>7. Maximum height for separate structures on-site, such as bell towers, crosses, statuary, or other symbolic religious icons, is 60 feet.</li> <li>8. Institutions with a seating capacity greater than 750 seats shall: require a traffic study or other documentation deemed suitable by the Technical Committee that demonstrates that there will be no significant adverse impacts to traffic operations on the adjacent street system; have a maximum building height of five stories; be set back five additional feet for every one foot in building height over 45 feet exclusive of rooftop symbolic icons; not contain accessory or stand-alone parking facilities; not contain primary or secondary schools; and shall require a Conditional Use Permit. See <a href="#">RZC 21.76.070.K, Conditional Use Permit</a>.</li> <li>9. Institutions with a seating capacity greater than 7,500 seats shall be located adjacent to at least one collector, minor, or principal arterial.</li> </ol>
<b>Construction-Related Businesses</b>			
8	Construction-related businesses	1,000 sq ft gfa (2.0, 3.0)	
<b>Other</b>			
9	Crop Production	N/A	
10	Roadside produce stand		<p>A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</p> <p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p>
11	Kiosk		
12	Vending cart		

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

13	Drive-up stand		<p>A. Shall not locate in required parking, landscaping, or drive aisle area, or any area that would impede emergency access.</p> <p>B. Shall not reduce or interfere with functional use of walkway or plaza to below standards of Americans with Disabilities Act.</p> <p>C. Structures shall be secured to prevent tipping and endangering public safety.</p> <p>D. Maximum size is six feet wide by ten feet long.</p> <p>E. Administrative design review required for structures.</p> <p>F. Must submit circulation plan addressing queuing.</p>
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### F. Regulations Common to All Uses: NDD2 and NDD3.

Table 21.13.020E Regulations Common to All Uses: NDD2 and NDD3			
	Regulation	Standard	
Minimum	Setbacks		
		30 feet from arterials.	
		250 feet from NDD1 boundary.	
		All other setbacks determined through required master planning process.	
	Landscaping	40%	
Maximum	Height	2 stories	Up to 5 stories with incentives
	Impervious surface area	70%	Nonpollution-generating impervious surfaces shall be infiltrated to the extent feasible.
	Groundwater Intrusion	Permanent intrusion of parking garages, basements, elevator pits, or similar structures into groundwater is prohibited. Note: foundations, auger cast piles, utilities, and similar structures that do not require dewatering are permitted.	
	Noise	See RMC 6.36.	<p>A. NDD2 is a Class B zone.</p> <p>B. NDD3 is a Class C zone.</p>
	Truck Traffic	See RZC 21.50.040 and RMC 10.76.050	
	Drive-through	Drive-through facilities are prohibited except where expressly permitted elsewhere in this section.	

### G. Design Standards.

1. Purpose. The purpose of this section is to establish design criteria for properties in the Northeast Design District that will guide development to be attractive in appearance and functionally integrated, and to promote a transition from less intense to more intense uses moving from south to north.
2. Development Along East Edge of Design District.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

3.
  - a. Intent. The east edge of the Design District is also the east edge of the city and/or the urban growth area. It is where urban gives way to rural. Development in this area should emphasize that transition through site and building design.
  - b. Design criteria.
    - i. Common open spaces shall be oriented toward the city limit in order to provide views and opportunities to enjoy the rural area.
    - ii. No more than 50% of the city limit line, within a distance of 50 feet from the city limit line, shall be fronted with a building so as not to create a wall of buildings along the city limit line.
    - iii. No building shall be taller than two stories within 30 feet of the city limit.
3. Development Along North Edge of Woodbridge.
  - a. Intent. The north section of Woodbridge is a single-family area and development immediately to the north of Woodbridge should create a gradual transition to more intense uses.
  - b. Design criteria.
    - i. No building shall be taller than two stories within 100 feet of the north edge of Woodbridge.
4. Transition from Less Intensive to More Intensive Uses.
5.
  - a. Intent. The Northeast Design District is intended to facilitate a transition from less intensive to more intensive uses moving from south to north. Development in both NDD1 and NDD2 should avoid direct lines of sight between NDD1 and NDD2.
  - b. Design criteria.
    - i. Structures shall be designed to minimize views from NDD1 into NDD2 and instead orient views from NDD1 to the rural area, parks, areas internal to NDD1, or to other residential areas to the south.
    - ii. Landscaping shall be designed and located to minimize views between NDD1 and NDD2, with Type I plantings used to screen industrial or commercial uses within 1,000 feet of NDD1. Landscaping shall be tiered and multistoried and shall have the effect of creating a visual buffer between NDD1 and NDD2.
    - iii. Internal circulation shall be designed to minimize views between NDD1 and NDD2. For example, avoid long, straight sections of roadway.
    - iv. In areas of NDD2 that are within 1,000 feet of NDD1, internal vehicle circulation systems shall be screened with Type I plantings that are at least five feet wide.
5. Create a Sense of Place and Neighborhood Character.
6.
  - a. Intent. Development in the Northeast Design District should create a sense of place and neighborhood character so that it is attractive to people who live or work there.
  - b. Design Criteria.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- i. Developments shall primarily rely on pedestrian-scale lighting in areas of pedestrian circulation.
- ii. Developments shall incorporate benches along internal circulation paths.
- iii. Residential and nonresidential developments that provide common open space or pocket parks shall design such spaces to be attractive for recreation for people of all ages.

### H. Incentive Program.

Table 21.13.020F Incentive Program		
	Applicable Performance Areas	Maximum Incentive
Reduce impervious surface area to 60%.	NDD1	1 additional story
Increase ecological score to 46 by incorporating items <del>18 or 19, 6 or 20, and 7, 13 and 17, 13 or 14, 6 or 15, 7, and 12.</del>	NDD1	1 additional story
Additional buffering	NDD2 and NDD3	1 additional story
Structured parking	NDD2 and NDD3	1 additional story
Reduce impervious surface area to 60%	NDD2 and NDD3	1 additional story
Stormwater pond land dedication	NDD2 and NDD3	3 additional stories, depending on amount of land provided.

*Maximum height with incentives: 3 stories (NDD1 - residential), 4 stories (NDD1 - nonresidential), 5 stories (NDD2 and NDD3)*

#### 1. Features Explained.

#### 2.

- a. Reduce impervious surface area to 60%: design the site to reduce total impervious surface area to 60%.
- b. Increase ecological score to 46 by incorporating items ~~18 or 19, 6 or 20, and 7, 13 and 17~~ 13 or 14, 6 or 15, 7, and 12: incorporate green roofs or landscaped roofs, additional replacement trees or canopy-forming trees, and vegetated walls, and land for community food gardens ~~and pervious paving for nonpollution-generating impervious surfaces~~, according to the standards described in RZC 21.32.060, *Ecological Score Requirements*.
- c. Additional buffering: place buildings and any parking structures at least 300 feet from the NDD1 boundary.
- d. Structured parking: provide at least half of all required parking in a parking structure rather than a surface lot.
- e. Stormwater pond land dedication: dedicate at least one-half acre of land for a stormwater pond. A development earns one additional allowed story for all buildings on the development site for each half-acre of land dedicated. The dedicated land shall be consistent with the needs identified in the Southeast Redmond Regional Stormwater Facilities Plan or its successor.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article I Staff Contact**

### **21.13 Southeast Redmond Regulations**

Kimberly Dietz

#### ***Correction Needed***

Clarity is needed between the use of “Pedestrian Oriented Uses” and “Pedestrian Supportive Uses” in RZC Section 21.13.140.

#### ***Rationale***

A consistent term used between section RZC 21.13.140.B. Ground floor uses and Map 13.4 Pedestrian-Oriented Block Faces will ensure clarity and consistent application of the code. The map has been amended as shown below to reflect the terminology of the code.

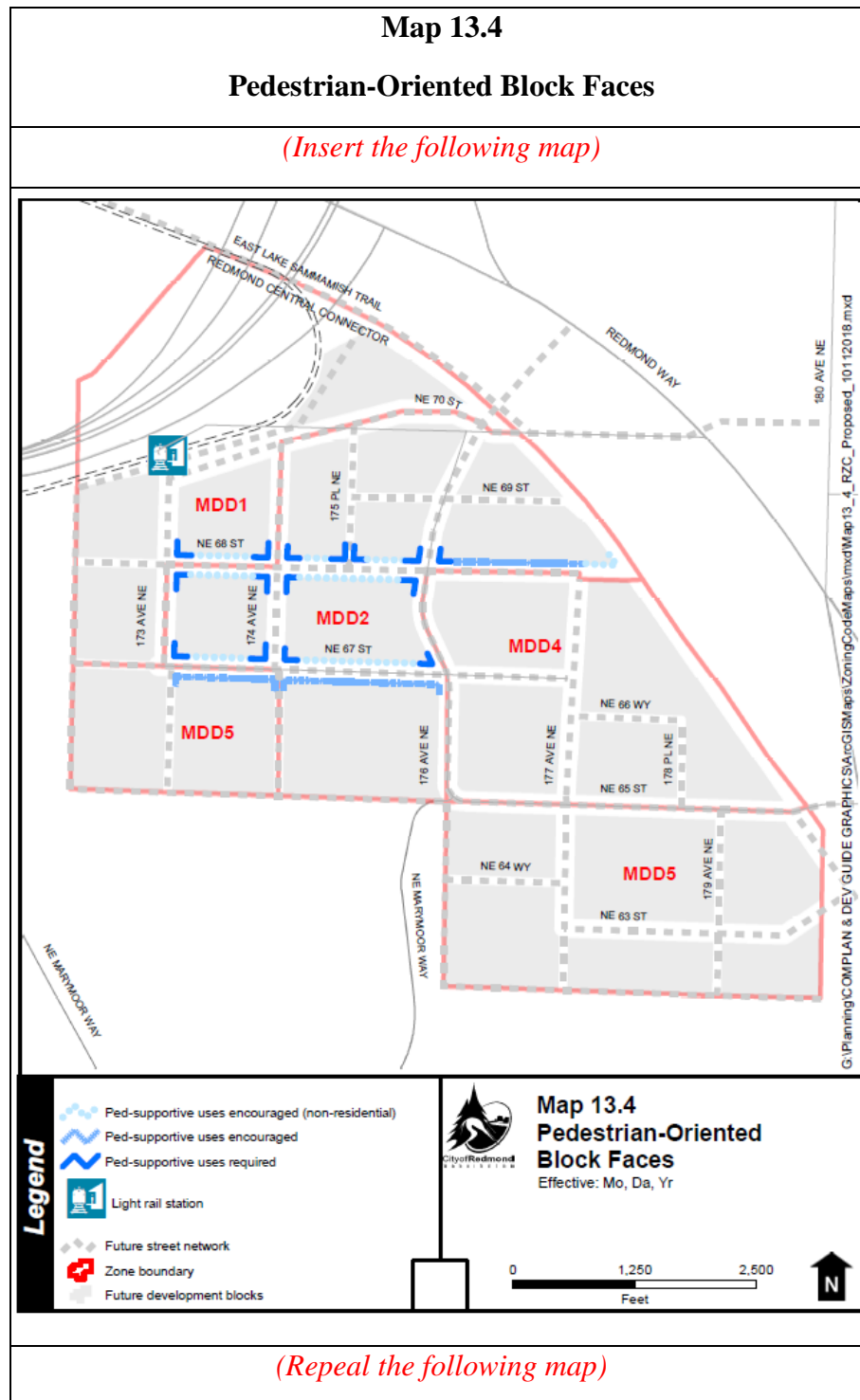
#### ***Amendment***

#### **21.13.140 MDD Building Placement and Form**

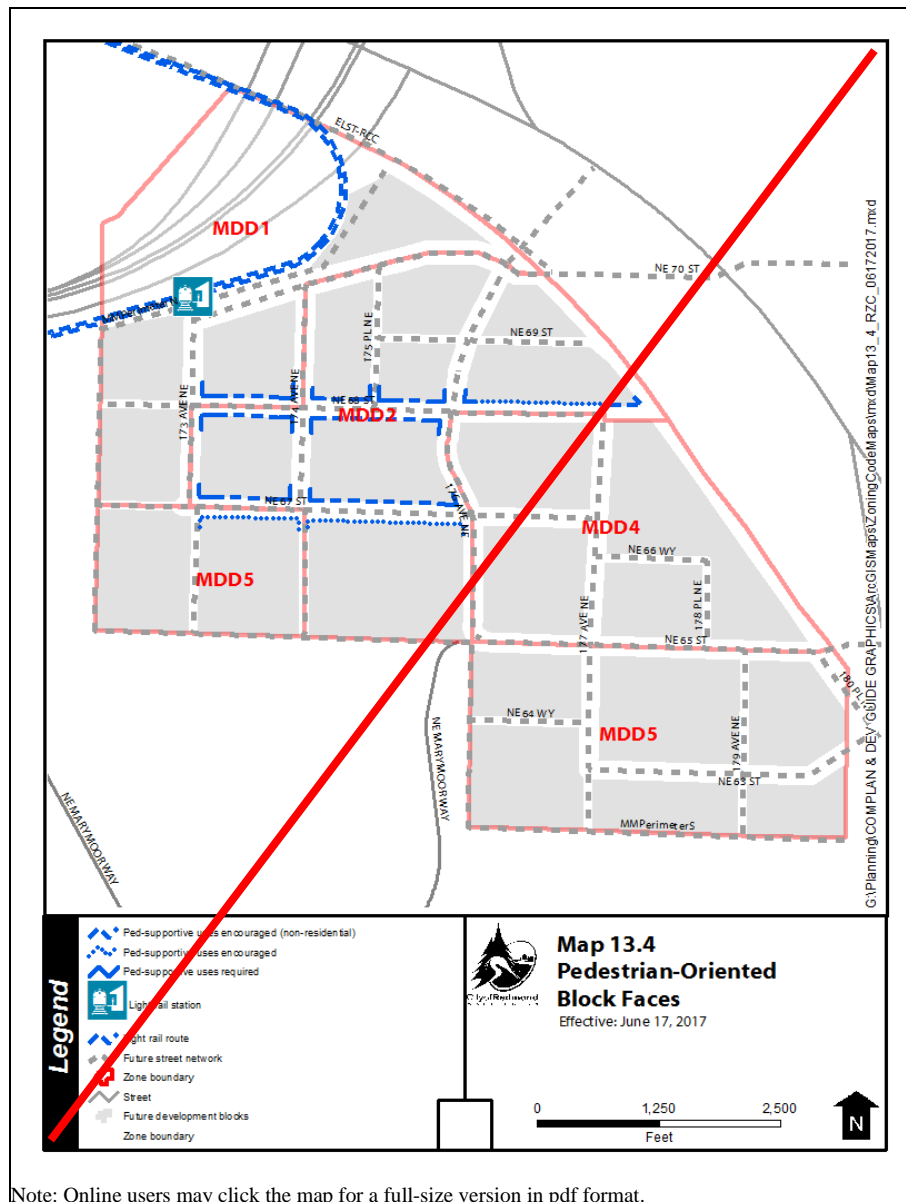
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The map below shows which block faces require or encourage pedestrian-oriented uses. Where not specified, pedestrian-oriented uses are permitted provided they are listed in the allowed uses table for the zone.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

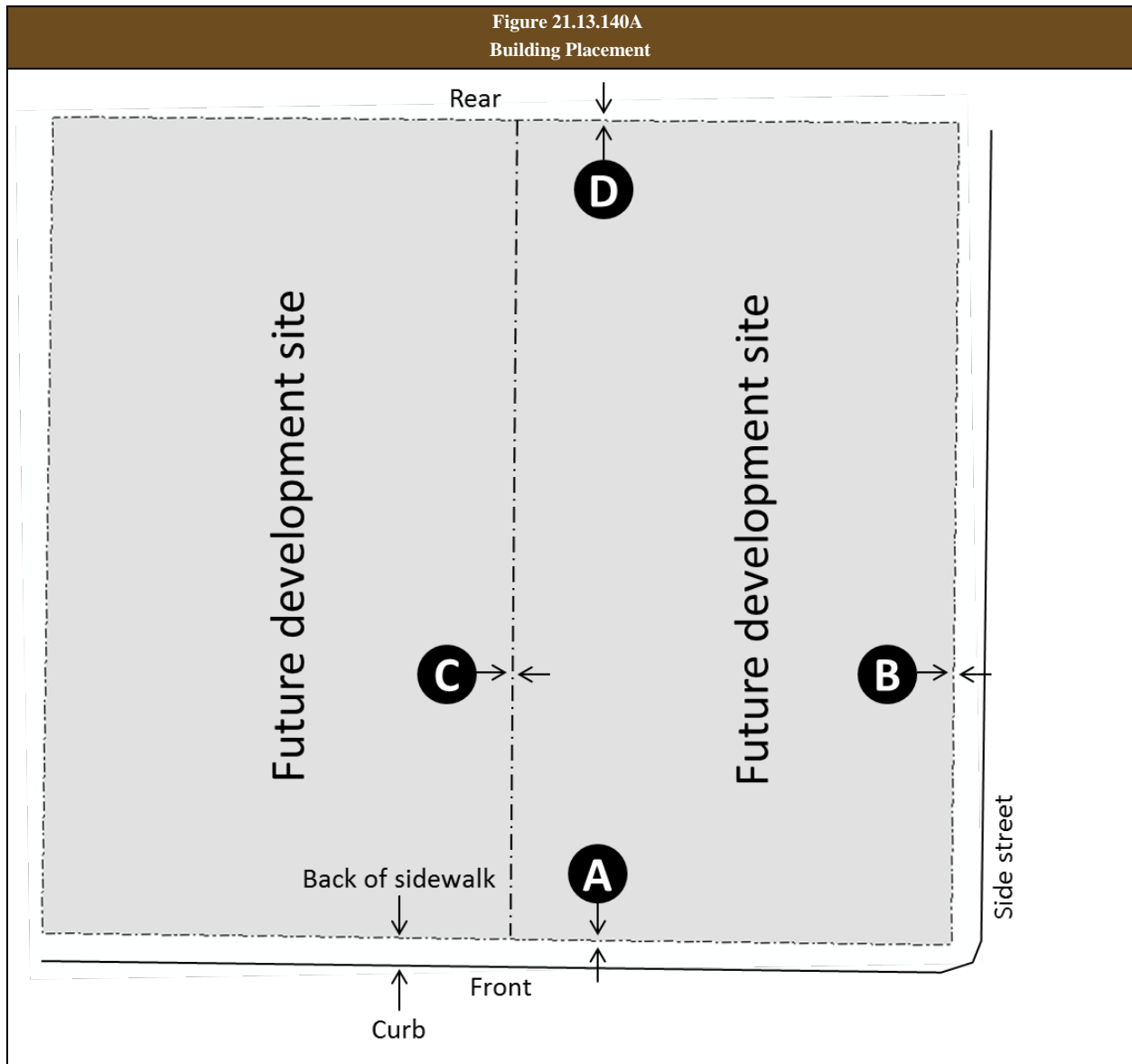


# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



Note: Online users may click the map for a full-size version in pdf format.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

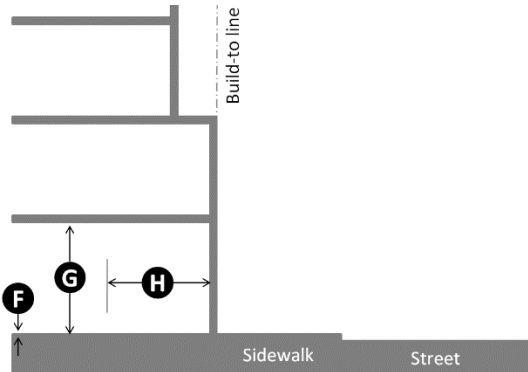
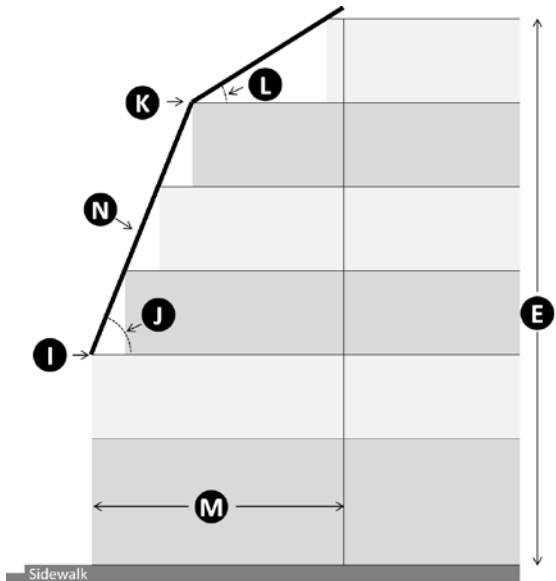


<b>Table 21.13.140A Building Placement</b>				
	MDD1 and MDD2	MDD3	MDD4	MDD5

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Build-to lines and setbacks	<p><b>A</b> and <b>B</b></p> <ul style="list-style-type: none"> <li>• Build-to line (BTL): 0 ft</li> <li>• BTL defined by façade on pedestrian-supportive block faces: min. 80%</li> <li>• BTL defined by façade on other block faces: min. 50%</li> </ul> <p><b>C</b> and <b>D</b></p> <p>Min. setback: 0 ft.</p> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p>Minimum setbacks:</p> <ul style="list-style-type: none"> <li>• Front: 15 ft</li> <li>• Side / interior: 5 ft</li> <li>• Side street: 10 ft</li> <li>• Rear: 10 ft</li> <li>• Alley: 4ft</li> </ul>	<p><b>A</b></p> <p>Min. setback: 30 ft</p> <p><b>B, C, D</b></p> <p>Min. setbacks: 10 ft</p> <p>NE 68th St:</p> <ul style="list-style-type: none"> <li>• BTL: 0 ft</li> <li>• BTL defined by façade: 50%</li> </ul> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p><b>A</b></p> <ul style="list-style-type: none"> <li>• Façade zone: 5-15 ft</li> <li>• Min façade within zone: 50%</li> <li>• Buildings fronting NE 65th St shall measure setback from back of landscape strip</li> </ul> <p><b>B</b></p> <p>Façade zone: 5-15 ft</p> <p>Min façade within zone: 50%</p> <p><b>C</b></p> <p>Min. setback: 5 ft; no minimum if abutting uses are both residential or both non-residential</p> <p><b>D</b></p> <p>Min. setback: 10 ft</p> <p>Alley setback: 4 ft minimum</p> <p>Park</p> <ul style="list-style-type: none"> <li>• Façade zone: 15-25 ft from back of perimeter path shoulder</li> <li>• Min façade within zone: 50% (assumes 12-ft shared-use path along park edge)</li> </ul>
Structures in required setbacks	Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.			
Orientation				

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward pedestrian-oriented block faces; where the building abuts no pedestrian-oriented block face the building front shall face the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward 180th PI NE</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Primary building fronts shall be oriented toward: blocks 1-2: NE 67th St; blocks 3-8: 177th Ave NE or NE 63rd St</li><li>• Secondary building fronts shall be oriented toward: blocks 1-2: Marymoor Park; blocks 3, 4, 6, 8: Marymoor Park; blocks 5, 7: NE 65th St</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li><li>• See Map 13.1 Marymoor Design District Map for block locations</li></ul>	
Figure 21.13.140B Ground Floor Requirements			Figure 21.13.140C Upper-story Setbacks		
					
Table 21.13.140B Building Form					
	MDD1	MDD2	MDD3	MDD4	MDD5
Maximum Height <b>E</b>	6 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories	5 stories	4 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Upper-story Setbacks	See <a href="#">21.13.140.A, Upper-story Setbacks</a>		No standard		See <a href="#">21.13.140.A, Upper-story Setbacks</a>
Ground floor finish level <b>F</b>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a></li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	No standard		<ul style="list-style-type: none"> <li>Residential ground-floor use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential ground-floor use: maximum 6" above sidewalk grade</li> </ul>
Ground floor height (floor to floor) <b>G</b>	Non-residential use: minimum 15 feet	Non-residential use: minimum 15 feet, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a>	No standard		Non-residential use: minimum 15 feet
Ground floor uses	<ul style="list-style-type: none"> <li>Residential uses prohibited where pedestrian-oriented uses are encouraged or required</li> <li>Pedestrian-oriented uses encouraged as part of any light rail station plaza development to activate the plaza</li> </ul>	Residential uses prohibited where pedestrian-oriented uses are encouraged or required, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a>	No standard		
Maximum distance between ground-floor non-residential entries	50 ft		No standard		50 ft
Minimum ground floor non-residential depth <b>H</b>	20 ft		No standard		20 ft
Residential privacy	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply. The residential space designed for future conversion to pedestrian-oriented uses is exempt from this subsection.	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.	No standard	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.

**A. Upper-story setbacks.** All building faces facing a street or path shall integrate average minimum upper-story building setbacks to reduce the perceived scale of building facades, increase the amount of light and air to adjacent streets and paths, promote modulation of building façades that adds variety and

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

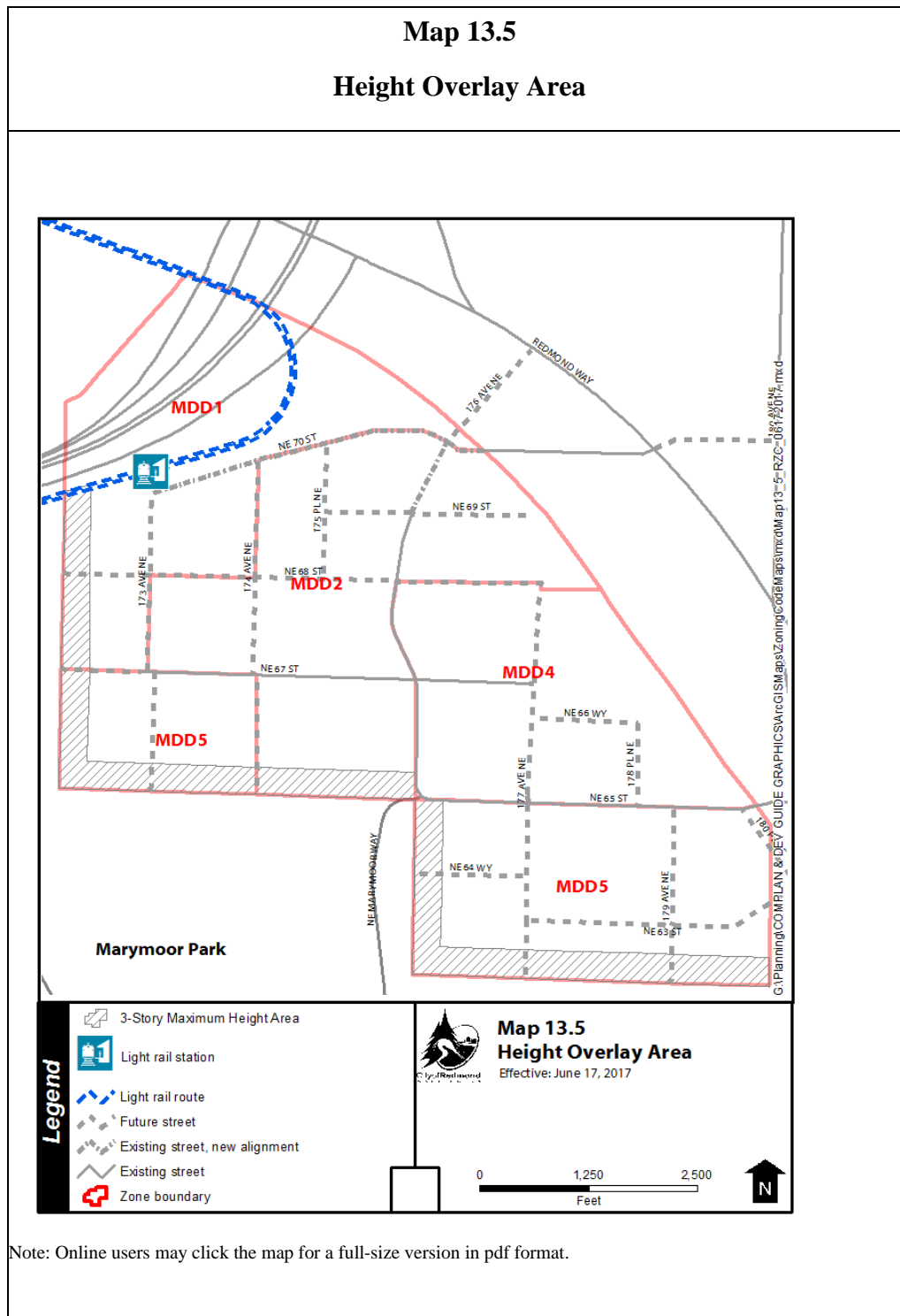
provides visual interest, encourage the integration of courtyards and open space; and allow for flexibility in the design of buildings.

1. The average minimum upper-story building setbacks shall comply with the following:
  - a. From the roof edge of the second story **J**, buildings shall step back at a 68-degree angle **J** up to the roof of the top story of fifth story **K**, whichever is lower.
  - b. From the roof edge of the fifth story **K**, buildings shall step back at a 32-degree angle **L** up to the maximum height limit.
2. Calculations for determining compliance with these standards shall consider the development's first 30 feet of depth **M** along streets and paths.
3. Portions of building may project beyond the average setback **N** provided the block frontage as a whole complies with the minimum average.

### B. Ground floor uses.

1. Where pedestrian-oriented ground floor uses are required as shown in Map 13.4, *Pedestrian-Oriented Block Faces*, the following requirements must be met, in addition to the design requirements found in RZC [Article IV, Design Standards](#).
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
2. Where pedestrian-oriented (non-residential) ground floor uses are encouraged, 100 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential uses are permitted.
3. Where pedestrian-oriented uses are encouraged, a minimum of 50 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses and shall be designed at a maximum of 6 inches above sidewalk grade. Residential uses are permitted. The ground-floor height standard of 15 feet does not apply in this area.
4. In locations where ground floor residential uses are permitted, the units shall be set back a minimum of 10 feet from the sidewalk edge. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**



## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article I**

### **21.13 Southeast Redmond Regulations**

#### ***Staff Contact***

Kimberly Dietz

#### ***Correction Needed***

RZC Map 13.5 is not clear regarding the depth of the Height Overlay Area and must rely on map scaling to reflect the 100' stepback as indicated by the hatched shading on the map.

#### ***Rationale***

The hatched shading on RZC Map 13.5 depicts the 100' stepback to accommodate the Height Overlay Area. The depth of this area when measured perpendicularly from the Marymoor Park edge toward the interior of the respective parcel is 100 feet. Map 13.5 as included below provides a note that clarifies the depth as 100 feet and the direction of measurement.

#### ***Amendment***

#### **21.13.140 MDD Building Placement and Form**

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The map below shows which block faces require or encourage pedestrian-oriented uses. Where not specified, pedestrian-oriented uses are permitted provided they are listed in the allowed uses table for the zone.

2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

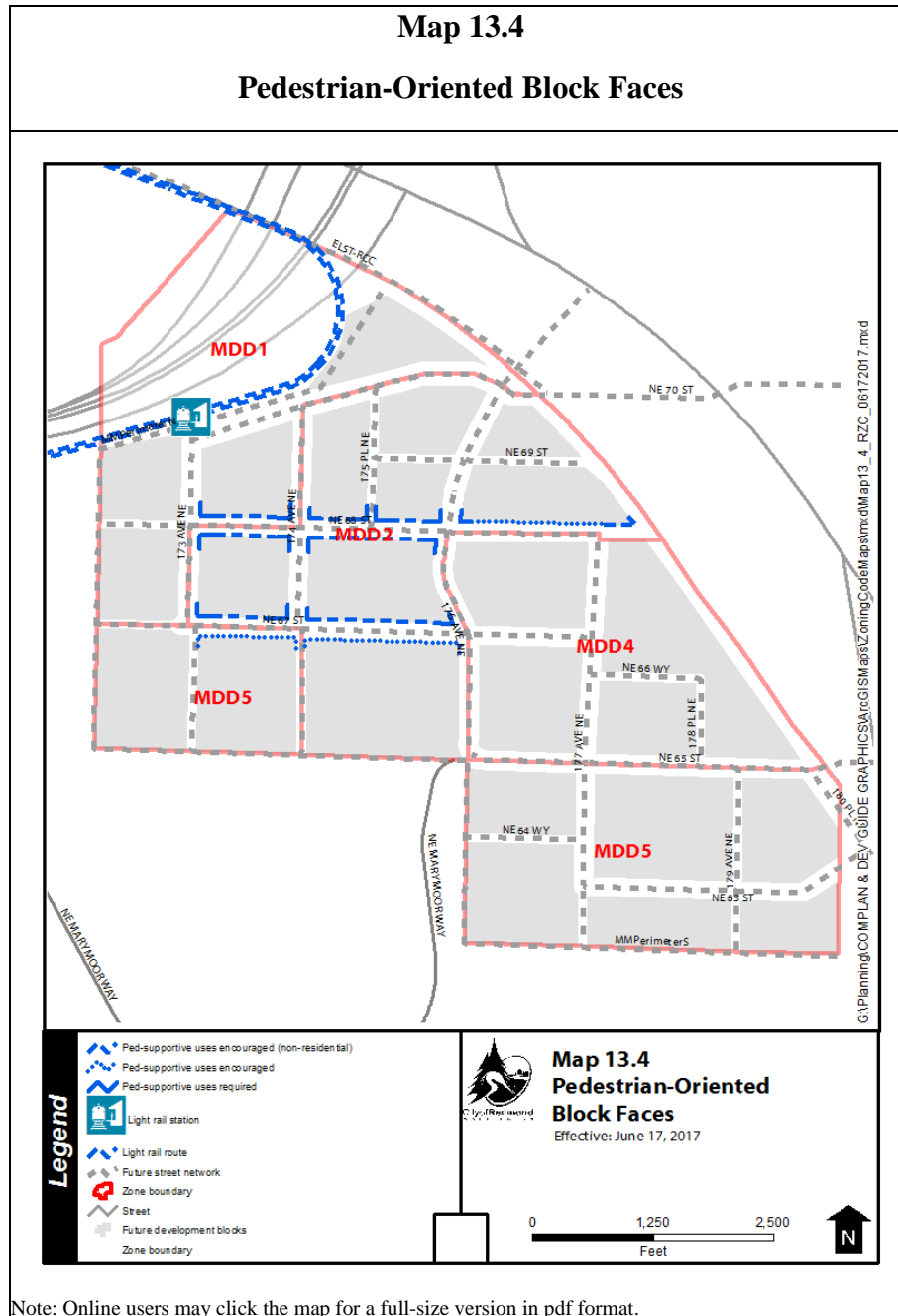


Figure 21.13.140A  
Building Placement

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

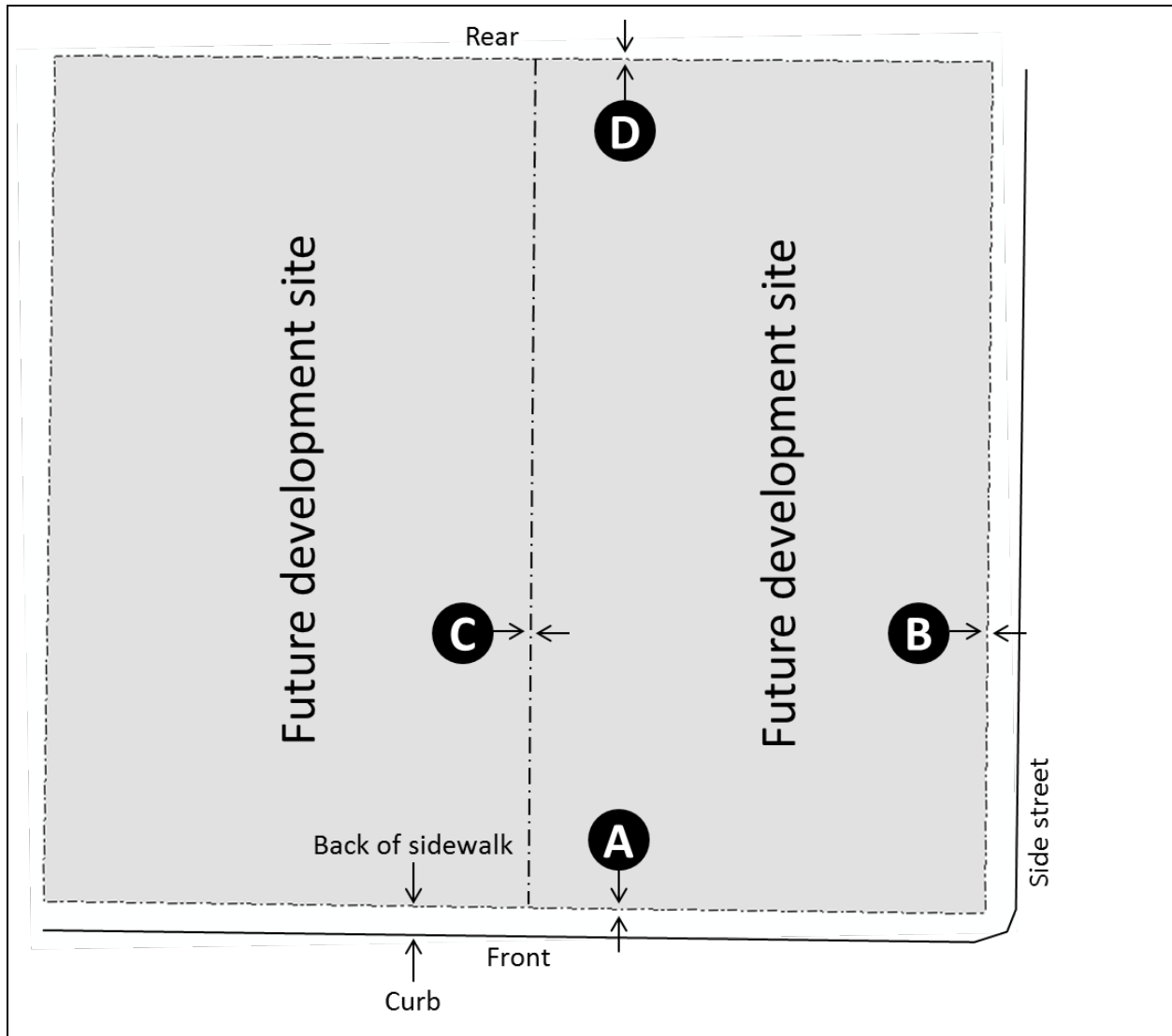
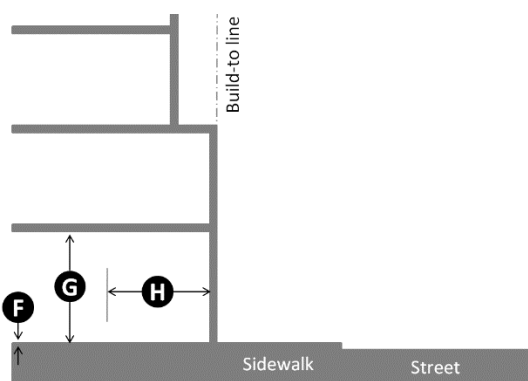
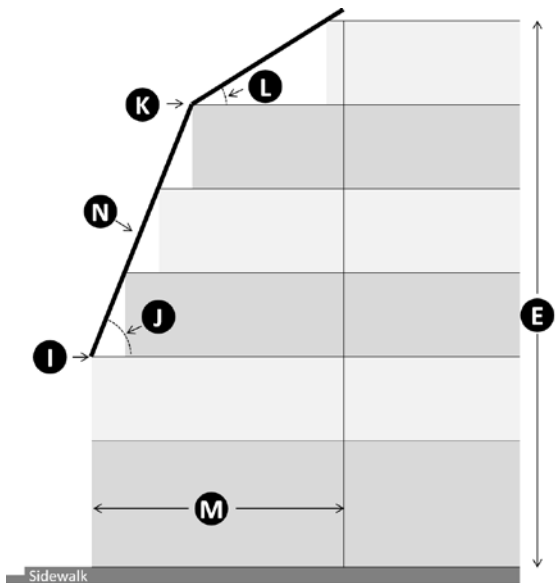


Table 21.13.140A Building Placement				
	MDD1 and MDD2	MDD3	MDD4	MDD5

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Build-to lines and setbacks	<p><b>A</b> and <b>B</b></p> <ul style="list-style-type: none"> <li>• Build-to line (BTL): 0 ft</li> <li>• BTL defined by façade on pedestrian-supportive block faces: min. 80%</li> <li>• BTL defined by façade on other block faces: min. 50%</li> </ul> <p><b>C</b> and <b>D</b></p> <p>Min. setback: 0 ft.</p> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p>Minimum setbacks:</p> <ul style="list-style-type: none"> <li>• Front: 15 ft</li> <li>• Side / interior: 5 ft</li> <li>• Side street: 10 ft</li> <li>• Rear: 10 ft</li> <li>• Alley: 4ft</li> </ul>	<p><b>A</b></p> <p>Min. setback: 30 ft</p> <p><b>B, C, D</b></p> <p>Min. setbacks: 10 ft</p> <p>NE 68th St:</p> <ul style="list-style-type: none"> <li>• BTL: 0 ft</li> <li>• BTL defined by façade: 50%</li> </ul> <p>Park setback: min. 5 ft from back of perimeter path shoulder</p>	<p><b>A</b></p> <ul style="list-style-type: none"> <li>• Façade zone: 5-15 ft</li> <li>• Min façade within zone: 50%</li> <li>• Buildings fronting NE 65th St shall measure setback from back of landscape strip</li> </ul> <p><b>B</b></p> <p>Façade zone: 5-15 ft</p> <p>Min façade within zone: 50%</p> <p><b>C</b></p> <p>Min. setback: 5 ft; no minimum if abutting uses are both residential or both non-residential</p> <p><b>D</b></p> <p>Min. setback: 10 ft</p> <p>Alley setback: 4 ft minimum</p> <p>Park</p> <ul style="list-style-type: none"> <li>• Façade zone: 15-25 ft from back of perimeter path shoulder</li> <li>• Min façade within zone: 50% (assumes 12-ft shared-use path along park edge)</li> </ul>
Structures in required setbacks	Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas, provided that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.			
Orientation				

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward pedestrian-oriented block faces; where the building abuts no pedestrian-oriented block face the building front shall face the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward 180th PI NE</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Building fronts shall be oriented toward the highest classification street</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li></ul>	<ul style="list-style-type: none"><li>• Primary building fronts shall be oriented toward: blocks 1-2: NE 67th St; blocks 3-8: 177th Ave NE or NE 63rd St</li><li>• Secondary building fronts shall be oriented toward: blocks 1-2: Marymoor Park; blocks 3, 4, 6, 8: Marymoor Park; blocks 5, 7: NE 65th St</li><li>• Building services such as loading/unloading and trash collection shall be oriented or accessed from the same block face as the primary vehicle access</li><li>• See Map 13.1 Marymoor Design District Map for block locations</li></ul>	
Figure 21.13.140B Ground Floor Requirements		Figure 21.13.140C Upper-story Setbacks			
					
Table 21.13.140B Building Form					
	MDD1	MDD2	MDD3	MDD4	MDD5
Maximum Height <b>E</b>	6 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories	5 stories	4 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )	5 stories except in Height Overlay Area (see Map 13.5, <i>Height Overlay Area</i> )

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Upper-story Setbacks	See <a href="#">21.13.140.A, Upper-story Setbacks</a>		No standard		See <a href="#">21.13.140.A, Upper-story Setbacks</a>
Ground floor finish level <b>F</b>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	<ul style="list-style-type: none"> <li>Residential use: 2 to 5 feet above sidewalk grade where front entrance faces a street, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a></li> <li>Non-residential use: maximum 6" above sidewalk grade</li> </ul>	No standard		<ul style="list-style-type: none"> <li>Residential ground-floor use: 2 to 5 feet above sidewalk grade where front entrance faces a street.</li> <li>Non-residential ground-floor use: maximum 6" above sidewalk grade</li> </ul>
Ground floor height (floor to floor) <b>G</b>	Non-residential use: minimum 15 feet	Non-residential use: minimum 15 feet, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a>	No standard		Non-residential use: minimum 15 feet
Ground floor uses	<ul style="list-style-type: none"> <li>Residential uses prohibited where pedestrian-oriented uses are encouraged or required</li> <li>Pedestrian-oriented uses encouraged as part of any light rail station plaza development to activate the plaza</li> </ul>	Residential uses prohibited where pedestrian-oriented uses are encouraged or required, except as noted in <a href="#">RZC 21.13.140.B, Ground Floor Uses</a>	No standard		
Maximum distance between ground-floor non-residential entries	50 ft		No standard		50 ft
Minimum ground floor non-residential depth <b>H</b>	20 ft		No standard		20 ft
Residential privacy	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply. The residential space designed for future conversion to pedestrian-oriented uses is exempt from this subsection.	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.	No standard	The standards in <a href="#">RZC 21.62.020.F.1, Residential Standards</a> , shall apply.

**B. Upper-story setbacks.** All building faces facing a street or path shall integrate average minimum upper-story building setbacks to reduce the perceived scale of building facades, increase the amount of light and air to adjacent streets and paths, promote modulation of building façades that adds variety and

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

provides visual interest, encourage the integration of courtyards and open space; and allow for flexibility in the design of buildings.

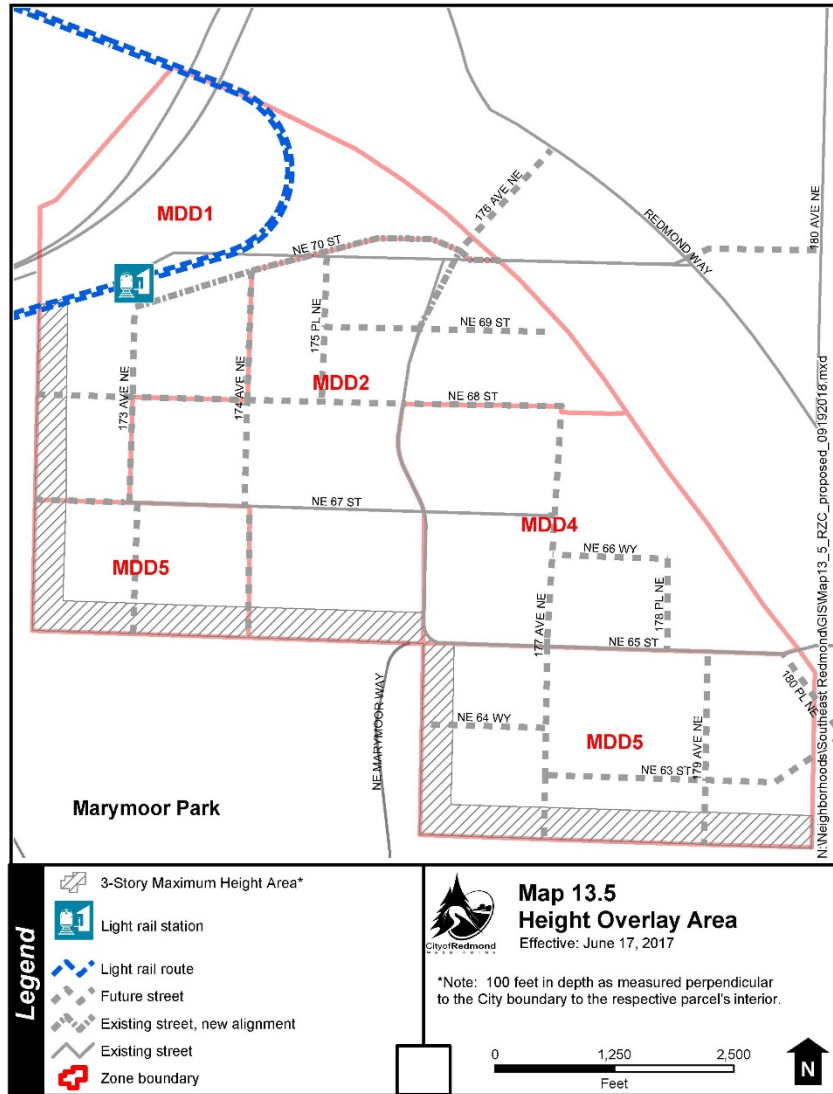
1. The average minimum upper-story building setbacks shall comply with the following:
  - a. From the roof edge of the second story **J**, buildings shall step back at a 68-degree angle **J** up to the roof of the top story of fifth story **K**, whichever is lower.
  - b. From the roof edge of the fifth story **K**, buildings shall step back at a 32-degree angle **L** up to the maximum height limit.
2. Calculations for determining compliance with these standards shall consider the development's first 30 feet of depth **M** along streets and paths.
3. Portions of building may project beyond the average setback **N** provided the block frontage as a whole complies with the minimum average.

### C. Ground floor uses.

1. Where pedestrian-oriented ground floor uses are required as shown in Map 13.4, *Pedestrian-Oriented Block Faces*, the following requirements must be met, in addition to the design requirements found in RZC [Article IV, Design Standards](#).
  - a. A minimum of 50 percent of the linear sidewalk-level facade shall be occupied by pedestrian-oriented uses and should be continuous
  - b. Up to 50 percent of the linear sidewalk-level frontage may be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential may be permitted until conversion of the space.
2. Where pedestrian-oriented (non-residential) ground floor uses are encouraged, 100 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses. Any uses other than residential uses are permitted.
3. Where pedestrian-oriented uses are encouraged, a minimum of 50 percent of the linear sidewalk-level facade shall be designed to accommodate future conversion to pedestrian-oriented uses and shall be designed at a maximum of 6 inches above sidewalk grade. Residential uses are permitted. The ground-floor height standard of 15 feet does not apply in this area.
4. In locations where ground floor residential uses are permitted, the units shall be set back a minimum of 10 feet from the sidewalk edge. The Administrator may consider alternative design solutions that retain resident privacy while enhancing the pedestrian environment on the sidewalk.

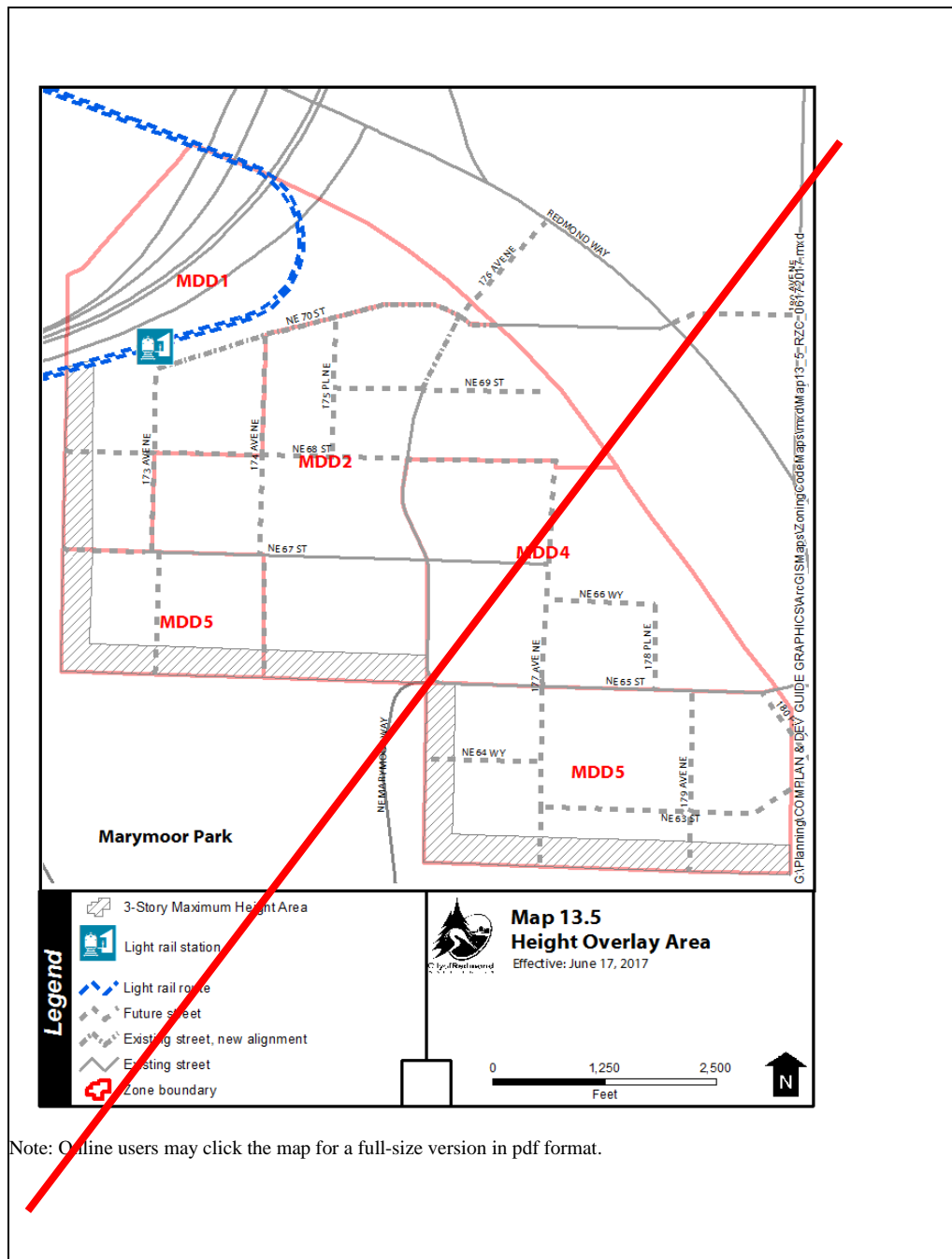
# Map 13.5 Height Overlay Area

*(Insert the following map)*



*(Repeal the following map)*

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



Note: Online users may click the map for a full-size version in pdf format.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article I

## 21.10 Downtown Regulations

### Staff Contact

Andrew Bauer

### Correction Needed

Table 21.10.150.A and Map 10.3 conflict regarding the pedestrian system plan.

### Rationale

Ordinance 2679 (Adopted 2/5/2013) updated Map 10.3 Downtown Pedestrian System of RZC 21.10.150, but the corresponding table of 21.10.150.C was not updated to reflect the changes made in Map 10.3.; and

Ordinance 2803 (Adopted 10/6/2015) updated RZC 21.10.150 to change “Front Yard” to “Setback Zone” and “Street” to “Roadway” to be consistent with the Transportation Master Plan, Pedestrian Chapter, p 83; however, 21.10.150.B and Figure 21.10.150A were not updated.

Therefore, revise RZC 21.10.150.C figures and table to properly reflect Ordinances 2679 and 2803.

### Amendment

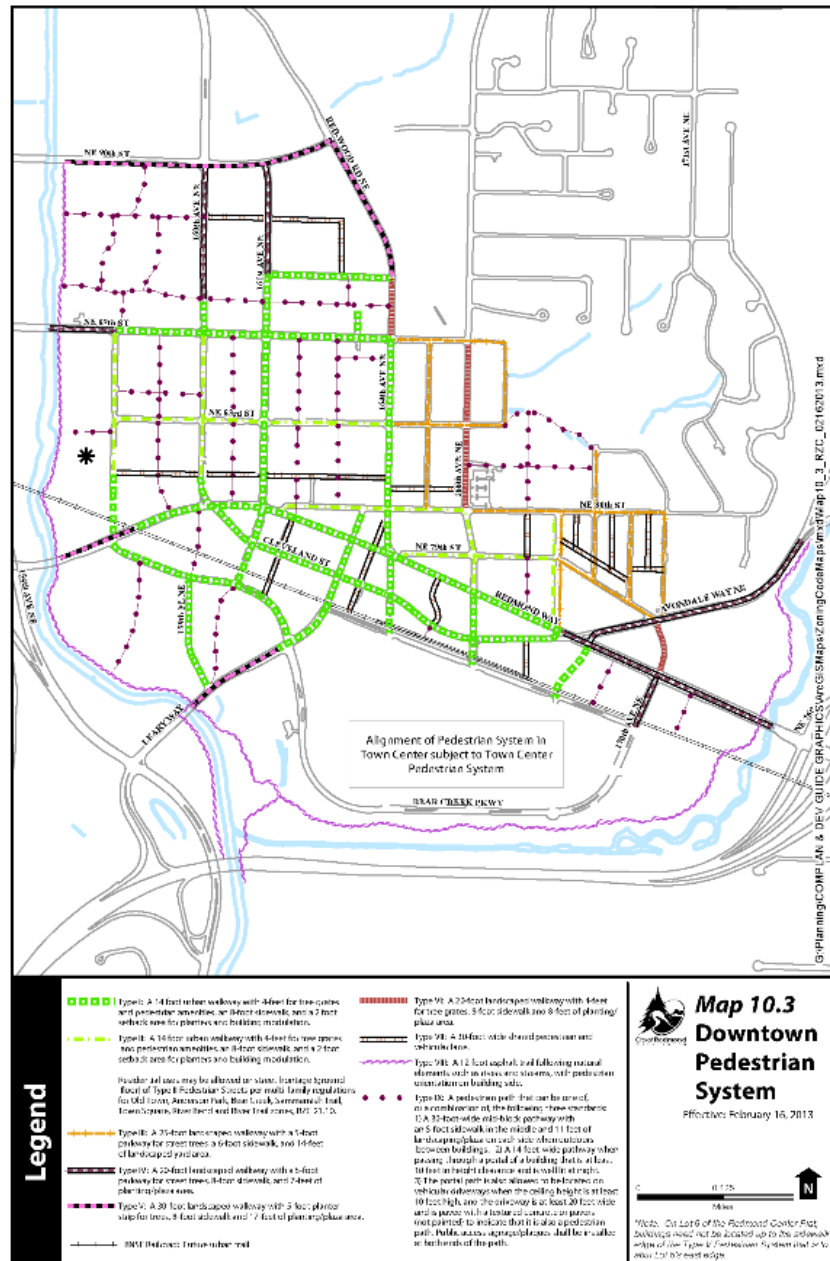
#### RZC 21.10.150 Pedestrian System

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- A. Purpose. The purpose of the Downtown pedestrian system is to:
  - 1. Provide safe pedestrian routes removed from traffic;
  - 2. Enhance the appearance of buildings and their settings;
  - 3. Provide a unified design element to complement varying architectural styles;
  - 4. Soften the appearance of parking lots and service storage areas; and
  - 5. Provide for the planting of street trees and other vegetation appropriate for an urban setting.
- B. Installation of Pedestrian System. The various components of the pedestrian system are shown on Map 10.3, Downtown Pedestrian System; the tables and graphics included in RZC 21.10.150.C, Pedestrian System Description; Map 10.4, Town Center Pedestrian System; and the table in RZC 21.10.150.O, Downtown Streets Cross Sections, all of which are incorporated as a part of this section. As property is developed or redeveloped, corresponding portions of the systems shall be installed or otherwise provided for by the property owner/developer. The ~~setback zone front-yard-distance~~ specifies the minimum ~~distance front-yard-setback~~ measured from the back of sidewalk. Where the ~~setback zone front-yard-distance~~ is specified as zero feet, the building shall be built to the back of the sidewalk. The mid-block segments shown on the map represent desired connections between blocks. In order to provide flexibility, the actual alignment shall be determined through the site plan land use permit process.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### Map 10.3 Downtown Pedestrian System



*Note: Online users may click the map for a full-size version in PDF format.*

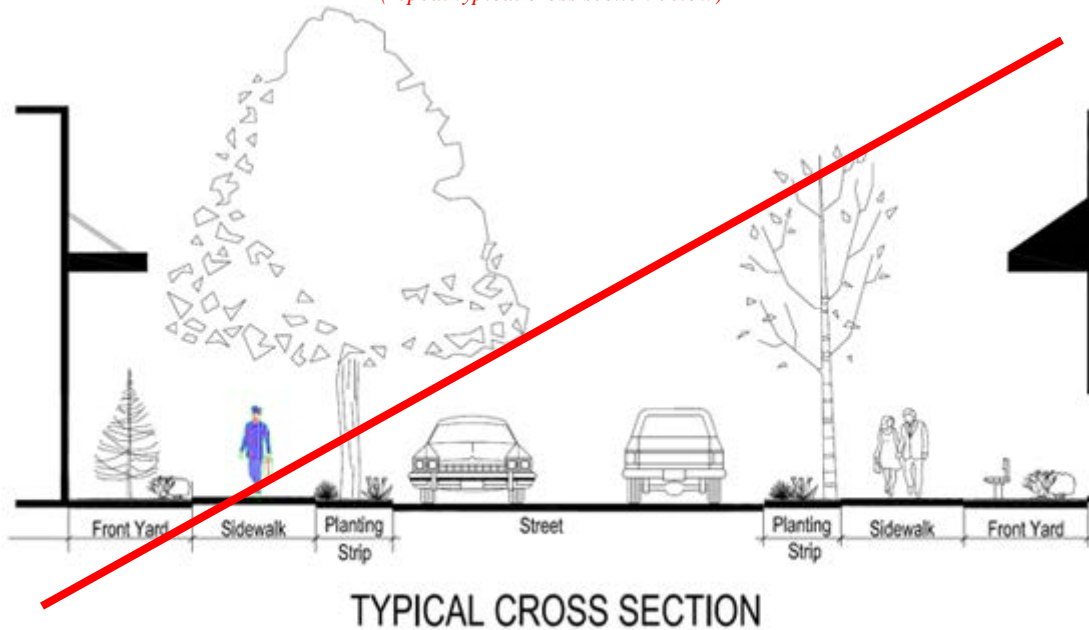
C. Pedestrian System Description. The table and graphics below depict the various pedestrian system cross sections that are called out in the corresponding Map 10.3, Downtown Pedestrian

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

System, above. Pedestrian System Types I through VI are grouped together in a common table as they are located along street fronts.

**Figure 21.10.150A**  
**Downtown Pedestrian System: Typical Cross-Section**

*(repeal typical cross section below)*



*(insert new typical cross section)*



**Table 21.10.150A**  
**Downtown Pedestrian System: Cross-Section Dimensions**

	Ped. Zone	Roadway	Ped. Zone	
--	-----------	---------	-----------	--

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

Cross Section	Setback Zone	Sidewalk	5-foot Planting Strip or 4-foot Furniture Zone with Tree Grates		5-foot Planting Strip or 4-foot Furniture Zone with Tree Grates	Sidewalk	Setback Zone
I	<del>0</del> <u>2</u>	<del>10</del> <u>8</u>	4		4	<del>10</del> <u>8</u>	<del>0</del> <u>2</u>
II	<del>0</del> <u>2</u>	<del>10</del> <u>8</u>	4		4	<del>10</del> <u>8</u>	<del>0</del> <u>2</u>
III	14	6	5		5	6	14
IV	7	8	5		5	8	8
V	17	8	5		5	8	17
VI	8	8	4		4	8	8

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article II

## 21.20 Affordable Housing

### *Staff Contact*

Sarah Stiteler

### *Correction Needed*

The MFT ordinance was not adopted at the time of the Marymoor Subarea Plan. The following language was included in RZC 21.30 in the event the amendment was not passed: 21.20.030.J: Multifamily properties providing affordable housing may be eligible for property tax exemption as established in RMC Chapter 3.38. to the extent the same is adopted by the City Council

### *Rationale*

Because the Marymoor Subarea Plan was adopted by the City Council on 6/6/2017 (Ordinance 2883), this code section should be amended to reflect the City's Council's action.

### *Amendment*

#### **21.20.030 General Requirements and Incentives**

---

- A. Pursuant to RCW 36.70A.540, the City finds that the higher income levels specified in the definition of “affordable housing” set forth in the definitions section of this Zoning Code are necessary to address local housing market conditions in the City. The income levels specified in the definitions section of this Zoning Code shall therefore be used in lieu of the “low-income household” income levels set forth in RCW 36.70A.540.
- B. Certain provisions in this section such as affordability levels and bonuses may not apply or may be superseded as otherwise specified in [RZC 21.20, Affordable Housing](#) or RMC Chapter 3.38 Multifamily Housing Property Tax Exemption to the extent the same is adopted by the City Council.
- C. At least 10 percent of the units in new housing developments in those areas specified in [RZC 21.20.020, Applicability](#), of 10 units or greater must be affordable housing units.
- D. At least one bonus market-rate unit is permitted for each affordable housing unit provided, up to 15 percent above the maximum allowed density. For example, if the maximum allowed density for the site is 20 units per acre, the density bonus shall not exceed three units per acre, yielding a total allowed density, with bonus, of 23 units per acre, or 20 units + 15 percent bonus = 23 units. In areas where density limitation is expressed as a Floor Area Ratio (FAR), density bonuses will be calculated as an equivalent FAR bonus.
- E. Each low-cost affordable housing unit provided counts as two affordable housing units for the purpose of satisfying the affordable unit requirement under subsection [RZC 21.20.030.B](#) of this section. For purposes of computing bonus market-rate units under subsection [RZC 21.20.030.D](#) of this section, two bonus market-rate units are permitted for each low-cost affordable housing unit provided, up to 20 percent above the maximum density permitted on the site.
- F. The number of required affordable housing units is determined by rounding fractional numbers up to the nearest whole number from 0.5. In single-family zones, the required number of affordable housing units shall be calculated as a minimum of 10 percent of the greater of: (1) proposed dwelling units on

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

the site, excluding cottage housing density bonus or other bonuses, or (2) net buildable area multiplied by the site's allowed density.

- G. The affordable housing units and, if applicable, any bonus market-rate units shall not be included in the total number of the housing units when determining the number of required affordable housing units.
- H. If additional density is achieved as a result of a rezone per Comprehensive Plan policy HO-38, the determination of whether market-rate bonus units shall be permitted and the number of bonus units permitted will be determined on a site-specific basis. The number of bonus units, if any, shall be established in the ordinance adopting the rezone. Considerations for whether bonus units will be permitted include but are not limited to the following: (1) the number of total units as a result of the rezone and (2) the capacity of the site for development, taking into account the potential for adverse impacts such as to traffic, parking, or environmental issues.
- I. Depending on the level of affordability provided, the affordable housing units may be eligible for the impact fee waivers described in RMC 3.10.070.
- J. Multifamily properties providing affordable housing may be eligible for property tax exemption as established in RMC Chapter 3.38 ~~to the extent the same is adopted by the City Council.~~
- K. Measurement in square feet of floor area of all affordable units shall be defined by the gross leasable area within the unit.
- L. Cottages, duplexes, and size-limited dwellings may be used to meet the requirements of this section.
- M. Accessory Dwelling Units (ADUs) shall not be used to meet the requirements of this section.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article II

### 21.52 Transportation Standards

#### *Staff Contact*

Andrew Bauer

#### *Correction Needed*

Clarification is necessary to describe that a Transportation Management Program (TMP) may apply in instances of a development seeking a parking reduction.

#### *Rationale*

A cross-reference to the parking reduction standards from the TMP applicability standards in RZC 21.52.020.A provides the necessary clarification. Otherwise, the code is unclear in this regard.

#### *Amendment*

### **21.52.020 Transportation Management Program**

---

#### A. Applicability.

1. All development applications that warrant transportation mitigation are required to comply with this division. A Transportation Management Program (TMP) is required:
  - a. When a nonresidential development generates demand for more than 25 mobility units **during PM trips**, provided that under this requirement in mixed use developments a TMP is required only for the nonresidential portion of the development;
  - b. In order for a development to achieve concurrency as required in RZC 21.52.10, Transportation Concurrency; or
  - c. Based on the amount of parking provided by the development, as required in RZC 21.40, Parking Standards.
2. Where a TMP is required separate from subsection A.1.a above, the TMP may be required to exceed the minimum requirements of this section when a more stringent standard is specified.  
**3. A TMP may be utilized as a method for reducing the required off-street parking stalls, pursuant to the standards in RZC 21.40.010.D, Vehicle Parking.**
- ~~3~~4. The fee charged for the review and monitoring of a TMP shall be set by ordinance.

**RZC Article IV**

**21.64 Environmental Regulations**

**Staff Contact**

Kimberly Dietz

**Correction Needed**

The use of the term “hydrologic” is incorrect in describing the model used for hydraulic analysis.

**Rationale**

A hydraulic model is used for the type of analysis described in RZC 21.64.040 Frequently Flooded Areas. This name should be consistent with industry terminology for clarity and for reference to state regulations such as 220-660 WAC Hydraulic Code Rules.

**Amendment**

**21.64.040 Frequently Flooded Areas**

---

- A. **Classification and Rating of Frequently Flooded Areas.** To promote consistent application of the standards and requirements of this chapter, frequently flooded areas within the city of Redmond shall be rated or classified according to their characteristics, function and value, and/or their sensitivity to disturbance.
1. **Frequently Flooded Areas Classifications.** Frequently flooded areas shall be classified according to the criteria in this section.
    - a. **Floodplain.** The total area subject to inundation by the base flood (the flood that has a one percent chance of occurring in any given year).
    - b. **Flood Fringe.** The portion of the floodplain outside of the floodway which is generally covered by flood waters during the base flood and is generally associated with standing water rather than rapidly flowing water.
    - c. **FEMA Floodway.** The channel of the stream and that portion of the adjoining floodplain which is necessary to contain and discharge the FEMA base flood flow without increasing the FEMA base flood elevation more than one foot.
    - d. **Zero-Rise Floodway.** The channel of the stream and that portion of the adjoining floodplain which is necessary to contain and discharge the base flood flow without increasing the base flood elevation. The zero-rise floodway will always include the FEMA floodway.
  2. **Classification of frequently flooded areas shall be determined by the Committee based on consideration of the following factors:**
    - a. **Maps adopted pursuant to this chapter including the frequently flooded areas map, which identifies the approximate location and extent of the 100-year floodplain. This map shall be used as a general guide only for the assistance of property owners and other interested parties; boundaries are generalized. The actual type, extent, and boundaries of frequently flooded areas shall be determined in the field by a qualified consultant according to the procedures, definitions, and criteria established by this chapter. In the event of any conflict between the critical area**

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location and designation shown on the City's map and the criteria or standards of this section, the criteria and standards shall prevail. The City will employ ~~hydrologic~~ hydraulic models to define the extent of the zero-rise floodway. If the zero-rise floodway has not yet been defined for the property in question, the applicant will be responsible for modeling the base flood elevation and delineating the extent of the zero-rise floodway, consistent with the assumptions in the Bear Creek Basin Plan as adopted by the City. In the absence of a City ~~hydrologic~~ hydraulic model, FEMA data will be acceptable;

- b. Flood Insurance Rate Maps published by the Federal Emergency Management Agency;
- c. Application of the criteria contained in these regulations; and
- d. Consideration of the technical reports submitted by qualified consultants in connection with applications subject to these regulations.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article IV *Staff Contact*

### 21.70 State Environmental Policy Act Procedures

Jae Hill

#### ***Correction Needed***

The reference in 21.70.070 to the Responsible Official is incorrect and should reference 4.50 instead of 4.35.

#### ***Rationale***

This incorrect reference should be amended for accuracy.

#### ***Amendment***

#### **21.70.070 Responsible Official**

---

For those proposals for which the City is a lead agency, the Responsible Official shall be the City of Redmond Technical Committee as defined in RMC Title 4. ~~3550~~, *Technical Committee*. For all proposals for which the City is a lead agency, the Technical Committee shall make the threshold determination, supervise scoping and preparation of any required EIS and perform any other functions assigned to the lead agency or Responsible Official by those sections of the SEPA rules that have been adopted by reference.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article IV

### 21.72 Tree Protection

#### Staff Contact

Jae Hill

#### Correction Needed

RZC 21.72.060.A.1 requires a 35 percent tree retention in all new “Developments” and includes language that further clarifies “Development”. However, the RZC provides a definition of “Development”.

#### Rationale

The additional language that attempts to clarify “Development” is not necessary and may cause conflict with the adopted definition provided in RZC 21.78 Definitions as follows:

**Development.** The division of a parcel of land into two or more parcels; the construction, reconstruction, conversion, structural alteration, relocation, or enlargement of any structure; any mining, excavation, grading, landfill, drainage, removal of vegetation, or disturbance of land or water; and use of land or water or the intensification or extension of the use of land or water.

For the purposes of administering RMC Chapter 3.10, Impact Fees, and [RZC 21.52](#), Transportation Standards, “development” shall mean, in addition to the activities in the previous paragraph, any change in the use of a building or structure, or any changes in the use of land, where the construction, expansion, or change, when occupied or used for its intended purpose, has adverse impacts on, and may create additional demand and need for public facilities, programs, projects, or services, including fire, park, school or transportation facilities, programs, projects, or services.

For the purposes of administering RZC 21.64.040, *Frequently Flooded Areas*, development shall mean any man-made change to improved or unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations, storage of equipment or materials, subdivision of land, removal of substantial amounts of vegetation, or alteration of natural site characteristics.

#### Amendment

### 21.72.060 Tree Protection Standards

---

#### A. Tree Protection, In General.

1. In all ~~new~~ developments, ~~including additions to existing non single family buildings and parking areas;~~ a minimum of 35 percent of all significant trees shall be retained. Trees that are located within Native Growth Protection Areas, critical areas, and their associated buffers as provided in [RZC 21.64](#), *Critical Areas*, or that have otherwise been designated for protection shall not be removed. Exceptions to this standard shall be requested and reviewed in accordance with RZC [21.72.090](#), *Exceptions*.
2. Landmark Trees. Landmark trees shall not be removed unless an exception has been applied for and granted.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

3. Hazardous Trees. Hazardous trees or dead trees posing a hazard, outside of NGPAs, critical areas and buffers, should be removed and are not considered significant trees.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article VI

## 21.76 Review Procedures

### *Staff Contact*

Administrative Interpretation

### *Correction Needed*

It is unclear the requirement to obtain a site plan entitlement (SPE) applies to a light rail transit system.

### *Rationale*

SPE approval is required for light rail station facilities, including associated parking, access, landscaping and other station elements as would be typical of other commercial site plans. SPE approval is not required for light rail transit system elements between stations such as track and guideway, which are linear transportation facilities similar to streets.

### *Amendment*

### **RZC 21.76.070.Y. Site Plan Entitlement.**

---

1. Purpose. The purpose of this section is to ensure that site plans reviewed individually or collectively by the Technical Committee, Design Review Board, Landmarks and Heritage Commission, and Code Administrator achieve the following purposes:
  - a. Compliance with the provisions of the RZC and all other applicable law;
  - b. Coordination, as is reasonable and appropriate, with other known or anticipated development on private properties in the area and with known or anticipated right-of-way and other public projects within the area;
  - c. The encouragement of proposals that embody good design principles that will result in high-quality development on the subject property;
  - d. The adequacy of streets and utilities in the area of the subject property to serve the anticipated demand from the proposal.
  - e. Determination that the proposed access to the subject property is the optimal location and configuration for access.
2. Scope. Review and approval of a Site Plan Entitlement is required for any public, semi-public, or private proposal for new construction or exterior modification to a building or site, including multifamily, attached dwelling units in non-single-family zones, commercial, industrial, utility construction, expansion, or exterior remodeling of structures, parking, or landscaping, where the proposed use is shown as permitted in the applicable permitted use chart. All of the above projects require the review and approval of a Site Plan Entitlement except for:
  - a. Detached single-family residential buildings.
  - b. Tenant improvements not encompassing or requiring modification to the exterior of an existing building; ~~and~~
  - c. Light rail transit system elements between stations such as track and guideway; and

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- d. Any action noted above which meets the criteria to be reviewed as an Administrative Modification as provided in RZC [21.76.090.D](#).
- 3. Decision Criteria.
  - a. The Technical Committee, composed of the Departments of Planning and Public Works, shall review all Development Review permits with the State Environmental Policy Act and the RZC.
  - b. The Landmarks and Heritage Commission will review all Certificates of Appropriateness for compliance with the RZC.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VI**

### **21.76 Review Procedures**

#### ***Staff Contact***

Judy Fani

#### ***Correction Needed***

RZC 21.76.020.E.2 Incorrectly references RZC Article III, Design Standards as RZC Article IV.

#### ***Rationale***

The correction ensures clarity for references between sections of the code.

#### ***Amendment***

### **21.76.020 Overview of the Development Process**

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#### **E. Design Review.**

##### **1. Purpose.** The purpose of design review is to:

- a. Encourage and promote the public health, safety, and general welfare of the citizens of Redmond, including the development and coordination of municipal growth and services;
- b. Supplement the City's land use regulations in order to promote a coordinated development of the undeveloped areas of the City, and conserve and restore natural beauty and other natural resources;
- c. Encourage originality, flexibility, and innovation in site planning and development, including the architecture, landscaping, and graphic design of proposed developments in relation to the City or design area as a whole;
- d. Discourage monotonous, drab, and unsightly developments and to promote the orderliness of community growth, and the protection and enhancement of property values for the community as a whole and as they relate to each other;
- e. Aid in ensuring that structures, signs, and other improvements are properly related to their sites and the surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping and ensuring that proper attention is given to exterior appearances of structures, signs and other improvements;
- f. Protect the heritage of the City by ensuring that historic resources retain integrity, ensuring that developments adjacent to historic landmarks are compatible, and by encouraging design that is appropriate to historic design districts;
- g. Protect and enhance the City's pleasant environments for living and working, and thus support and stimulate business and industry, and promote the desirability of investment and occupancy in business and other properties;
- h. Stabilize and improve property values and prevent blight areas to help provide an adequate tax base to the City to enable it to provide required services to its citizens; and

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- i. Foster civic pride and community spirit by reason of the City's favorable environment and thus promote and protect the peace, health, and welfare of the City and its citizens.
2. Applicability. Compliance with RZC ~~Article IV~~Article VII, *Design Standards*, shall be required for all applications requiring a building permit for exterior modifications, new construction and signs, projects requiring a Level II or III Certificate of Appropriateness, and any private or public development within the Shoreline Jurisdiction. The following are exempt from this requirement:
  - a. One- and two-unit residential structures unless the structure is a historic landmark; and
  - b. Tenant improvements not associated with a historic landmark or not encompassing modifications to the exterior of an existing building.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VI**

### **21.76 Review Procedures**

#### ***Staff Contact***

Judy Fani

#### ***Correction Needed***

RZC 21.76.050-060(K) includes a conflict between process chart in .050 (Type IV Process Chart) and code language in .060.K. The chart refers to calendar days, code language refers to business days regarding Hearing Examiner recommendations and reconsiderations. The chart and/or code should be revised for consistency in how days (calendar VS business) are counted.

#### ***Rationale***

This revision makes the chart consistent with the text in 21.76.050-060(K) and is also consistent with other provisions where business days are used when referring to Hearing Examiner reconsideration periods, e.g. Type I chart, and corresponding text in 21.76.060.I.5; Type II chart and corresponding text in 21.76.060.I.5; and for Type III chart and corresponding text in 21.76.060.J which covers both Hearing Examiner and Landmark Commission.

#### ***Amendment***

### **21.76.050 Permit Types and Procedures**

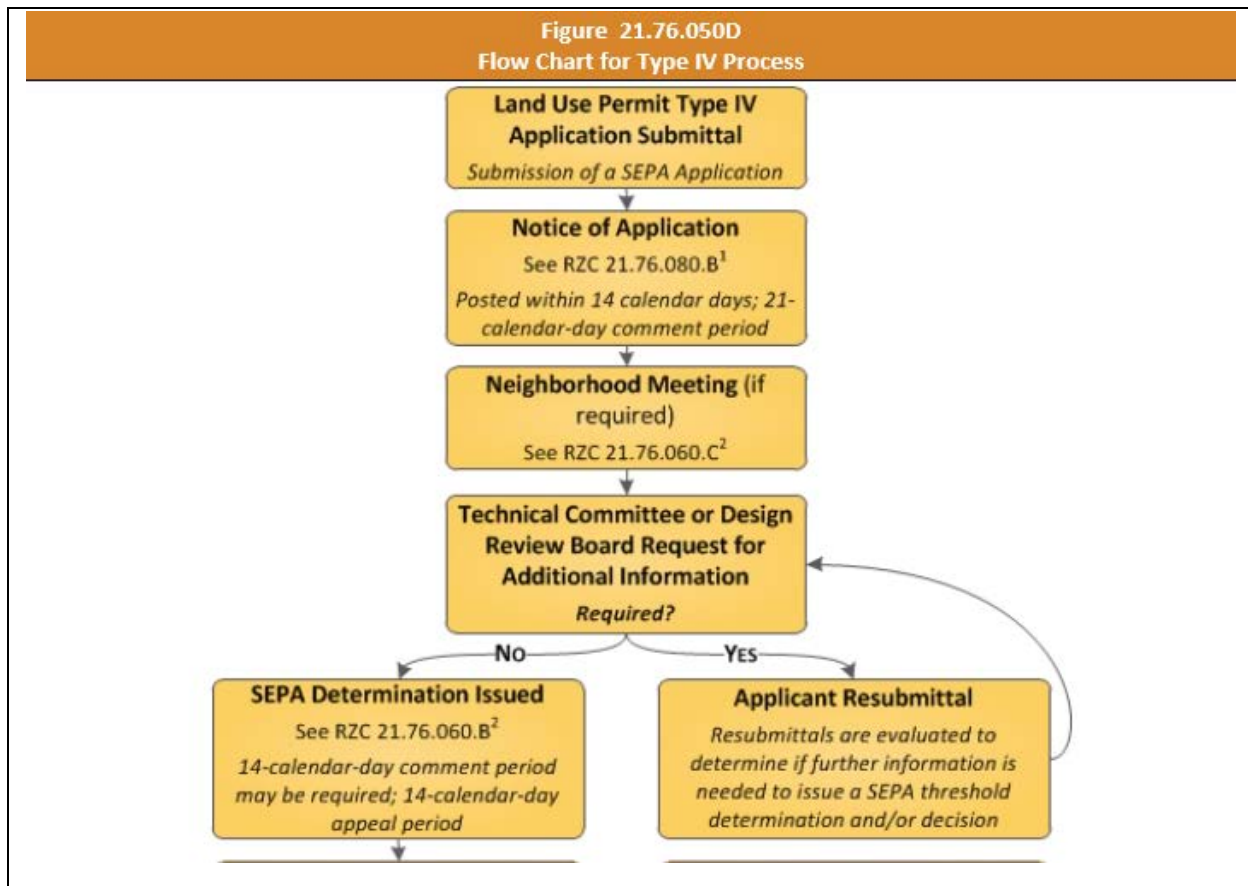
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#### **I. Type IV Review.**

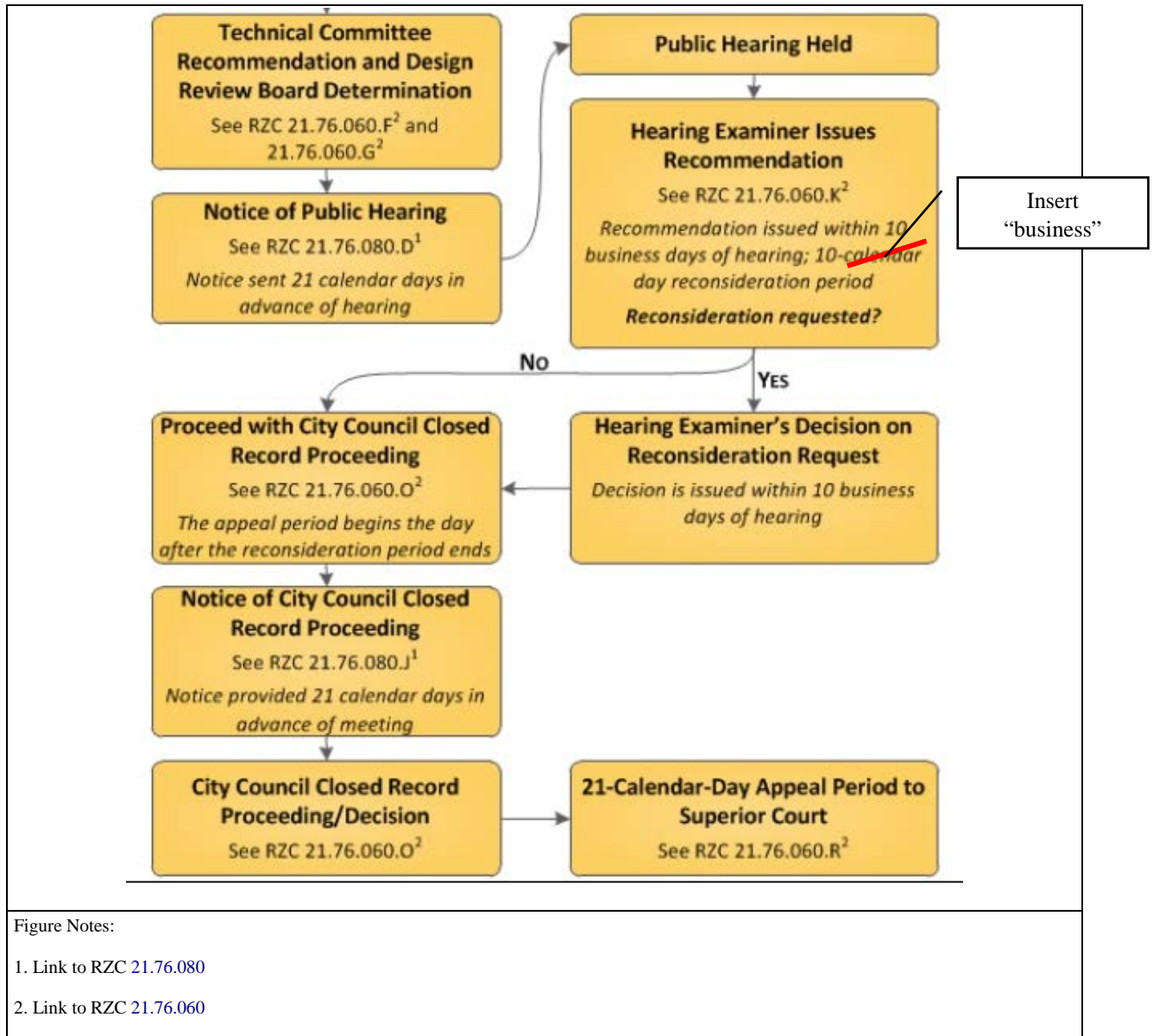
Overview of Type IV Review. A Type IV review is a quasi-judicial review and recommendation made by the Hearing Examiner and a decision made by the City Council. Environmental review is conducted when required. At an open record public hearing, the Hearing Examiner considers the recommendation of the Technical Committee and, when required, the Design Review Board, as well as public testimony. Depending on the application, the Technical Committee may require a neighborhood meeting to obtain public input. The Hearing Examiner makes a recommendation to the City Council, which considers the recommendation in a closed record proceeding and makes a final decision. Public notification is provided at the application, public hearing, and decision stages of application review. There is no administrative appeal. The City Council's decision may be appealed to the King County Superior Court.

Process Flow Chart. The flow chart below in Figure 21.76.050D generally depicts the process that will be used to review a typical Type IV land use permit. The process may vary for individual permits based on the nature and complexity of the issues involved. This flow chart is therefore provided for general reference only. More detail on each of the steps is provided in RZC [21.76.060](#), *Process Steps and Decision Makers*, and RZC [21.76.080](#), *Notices*.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code



For reference only:

### 21.76.060 Process Steps and Decision Makers

#### K. Hearing Examiner Recommendations on Type IV Reviews.

1. Overview. For Type IV reviews, the Hearing Examiner makes a recommendation to the City Council after receiving the recommendation of the Technical Committee and holding an open record public hearing. The City Council considers the Hearing Examiner's recommendation in a closed record proceeding.
2. Hearing Examiner Public Hearing. The Hearing Examiner shall hold an open record public hearing on all Type IV permits. The open record public hearing shall proceed as follows:

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- a. Notice of the hearing shall be given as provided in RZC [21.76.080.D](#).
  - b. Any person may participate in the Hearing Examiner's public hearing on the Technical Committee's recommendation by submitting written comments to the Technical Committee prior to the hearing, by submitting written comments at the hearing, or by providing oral testimony and exhibits at the hearing.
  - c. The Administrator shall transmit to the Hearing Examiner a copy of the department file on the application, including all written comments received prior to the hearing and information reviewed by or relied upon by the Administrator. The file shall also include information to verify that the requirements for notice to the public (Notice of Application and Notice of SEPA Threshold Determination) have been met.
  - d. The Hearing Examiner shall create a complete record of the public hearing, including all exhibits introduced at the hearing and an electronic sound recording of each hearing.
3. Hearing Examiner Authority. The Hearing Examiner shall make a written recommendation to approve a project or approve with modifications if the applicant has demonstrated that the proposal complies with the applicable decision criteria of the RZC. The applicant bears the burden of proof and must demonstrate that a preponderance of the evidence supports the conclusion that the application merits approval or approval with modifications. In all other cases, the Hearing Examiner shall make a recommendation to deny the application.
  4. Conditions. The Hearing Examiner may include conditions in the recommendation to ensure a proposal conforms to the relevant decision criteria.
  5. Recommendation. The Hearing Examiner shall issue a written report supporting the recommendation within 10 business days following the close of the record. The report shall contain the following:
    - a. The recommendation of the Hearing Examiner; and
    - b. Any conditions included as part of the recommendation; and
    - c. Findings of fact upon which the recommendation, including any conditions, was based and the conclusions derived from those facts.
  6. Mailing of Recommendation. The office of the Hearing Examiner shall mail the written recommendation, bearing the date it is mailed, to each person included in the parties of record. The Administrator will provide notice of the Council meeting at which the recommendation will be considered to all parties of record.
  7. Request for Reconsideration. Any party of record may file a written request with the Hearing Examiner for reconsideration within 10 business days of the date of the Hearing Examiner's recommendation. The request shall explicitly set forth alleged errors of procedure, law, or fact. No new evidence may be submitted as part of a request for reconsideration. The Hearing Examiner shall act within 10 business days after the filing of the request for reconsideration by either denying the request or issuing a revised decision. The decision on the request for reconsideration and/or revised decision shall be sent to all parties of record.

**2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

8. All Hearing Examiner recommendations on Type IV permits shall be transmitted to the City Council for final action, as provided in RZC 21.76.060.O.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article VI

### 21.76 Review Procedures

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RZC 21.76.060.G incorrectly states “The Design Review Board shall consider the application at an open public meeting of the Board in order to determine whether the application complies with Article III, Design Standards.” This should be Article II.

#### *Rationale*

The correction establishes accuracy between sections of the code.

#### *Amendment*

### **21.76.060 Process Steps And Decision Makers**

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- G. **Design Review Board Determinations on Type II, III, IV and V Reviews.** When design review is required by the Design Review Board, the Design Review Board shall consider the application at an open public meeting of the Board in order to determine whether the application complies with Article III, Design Standards. The Design Review Board’s determination shall be given the effect of a final decision on design standard compliance for Type II applications, shall be given the effect of a recommendation to the Hearing Examiner on a Type III or Type IV application, and the effect of a recommendation to the City Council on a Type V application. The Design Review Board’s determination shall be included with the written report that contains the Technical Committee recommendation or decision. The Design Review Board’s determination may be appealed in the same manner as the decision of the applicable decision maker on the underlying land use permit.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article VI

### 21.76 Review Procedures

#### *Staff Contact*

Judy Fani

#### *Correction Needed*

RZC 21.76.070.C.2 incorrectly references RZC 21.76.070.AB Variances as RZC 21.76.070.BB.

#### *Rationale*

The correction establishes accuracy regarding references to sections of the code.

#### *Amendment*

### **21.76.070 Land Use Actions And Decision Criteria**

---

- A. **Purpose.** The purpose of this chapter is to establish the procedures (if different than the standard review type) and the decision criteria for each development application or special procedure. With the exception of Criteria Applicable to all Land Use Permits in RZC 21.76.070.B below, the actions are listed in alphabetical order.
- B. **Criteria Applicable to All Land Use Permits.**
1. Purpose. The purpose of this section is to provide general criteria that ensure overall consistency between proposed land use permits, and applicable regulations, and the Comprehensive Plan.
  2. Scope. The decision criteria below shall apply to all land use permits.
  3. Criteria.
    - a. Consistency. Land use permits are reviewed by the City to determine consistency between the proposed project and the applicable regulations and Comprehensive Plan provisions.
      - i. A proposed project's consistency with the City's development regulations shall be determined by consideration of:
        - A. The type of land use;
        - B. The level of development, such as units per acre or other measures of density;
        - C. Availability of infrastructure, including public facilities and services needed to serve the development; and
        - D. The character of the development, such as development standards.
      - ii. Upon review of a land use permit and accompanying site plan, the decision maker shall determine whether building design and/or site design complies with the following provisions:
        - A. The Comprehensive Plan, RZC 21.02, Preface, RZC Article I, Zone-Based Regulations, RZC Article II, Citywide Regulations, and the Appendices that carry out these titles;
        - B. The provisions of RMC Title 15, Buildings and Construction, that affect building location and general site design;
        - C. The Washington State Environmental Policy Act (SEPA) if not otherwise satisfied;

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

- D. RZC [Article VI](#), *Review Procedures*, to the extent it provides the procedures to ensure compliance with the requirements in subsections B.3.a.ii.B and B.3.a.ii.C of this section.
- E. Both within and outside Transition Overlays, decision makers authorized by the RZC to decide upon discretionary approvals may condition such approvals and development permits, including but not limited to site plan approvals, to minimize adverse impacts on other properties and uses, and to carry out the policies of the Comprehensive Plan.
- b. **Limitations on Review.** During project review, the City shall not reexamine alternatives to or hear appeals on the items identified in subsection B.3.a.i of this section, except for issues of code interpretation.
- c. **Burden and Nature of Proof.** The burden of proof for demonstrating that the application is consistent with the applicable regulations is on the proponent. The project application must be supported by proof that it conforms to the applicable elements of the City's development regulations and the Comprehensive Plan, and that any significant adverse environmental impacts have been adequately addressed.

### **C. Administrative Design Flexibility.**

- 1. **Purpose.** The purpose of this section is to promote creativity in site design, allow flexibility in the application of standards in certain zones, and to achieve the creation of sites and uses that may benefit the public by the application of flexible standards not otherwise possible under conventional development regulations.
- 2. **Scope.** Administrative design flexibility shall only be considered for adjusting standards in the categories listed below for each type of land use. Requests for adjustment to standards not listed shall be processed as a variance as set forth in RZC [21.76.070.BAB](#), *Variances*.

### **AB. Variances.**

- 1. **Purpose.** The purpose of this section is to provide a mechanism by which the City may grant relief from certain regulations, where practical difficulty renders compliance with the provisions of that code an unnecessary hardship, where the hardship is a result of the physical characteristics of the subject property, and where the purpose of that code and of the Comprehensive Plan can be fulfilled.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VI**

### **21.76 Review Procedures**

#### ***Staff Contact***

Jae Hill

#### ***Correction Needed***

RZC 21.76.090.C should be harmonized with RZC 21.74.030.E.4.C and vice versa. A preliminary plat is a Type III approval, and is therefore subject to expiry and extension in both 21.76.090.C and 21.74.030.E.4.c.

#### ***Rationale***

The proposed amendments identified below ensure clarity between sections of code and procedures.

#### ***Amendment***

#### **21.76.090.C. Termination of Approval of Type I, II, and III Permits.**

---

1. Approval of a Type I, II, or III application shall expire two years from the date approval was final unless significant action proposed in the application has been physically commenced and remains in progress. [This expiration excludes preliminary plats subject to expiration under 21.74.030.E.](#)
2. The period may be extended on a yearly basis by the approval authority upon showing proper justification. Proper justification consists of one or more of the following conditions:
  - a. Economic hardship;
  - b. Change of ownership;
  - c. Unanticipated construction and/or site design problems;
  - d. Other circumstances beyond the control of the applicant determined acceptable by the Technical Committee.
3. Once the time period and any extensions have expired, approval shall terminate; and the application is void and deemed withdrawn.
4. Shoreline Substantial Development Permits, Shoreline Conditional Use Permits, and Shoreline Variances. See RZC 21.68.200.C.9.

#### **21.74.030.E. Limitation on Preliminary Approval.**

---

- a. Final approval of a subdivision must be acquired within seven years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2014, and within five years of the date of preliminary plat approval if the date of preliminary plat approval is on or after January 1, 2015, after which time the preliminary plat approval is void.
- b. Final approval of a subdivision must be acquired within ten years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2007, and not subject to the requirements of RCW Chapter 90.58, the Shoreline Management Act, after which time the preliminary plat approval is void.<sup>4</sup>

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

c. The Hearing Examiner may grant an extension of the time periods set forth in 4.a and 4.b above for one year if the applicant has attempted in good faith to submit the final plat within the required time period; provided, however, the applicant must file a written request with the Planning Department requesting the extension at least 30 days before expiration of the required time period.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RZC Article VII

### RZC 21.78 Definitions

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RZC 21.78 -- Manufacturing and Wholesale Trade definition excludes retail sales, however the Manufacturing Park zoning (21.14.040) allows for “Retail sales of goods manufactured on the premises, or accessory or secondary to the primary manufacturing and wholesale trade use, are permitted. Area devoted to retail sales shall not exceed the lesser of 10 percent of combined gross floor area or 1,000 square feet.”

This 10% restriction also appears in the Business Park zone (Table 21.14.030C, Line 14, Reg B) and the Industrial Zone (Table 21.14.050C, Line 7, Reg C); the restriction does not appear in the Regional Retail (21.13.030), NDD2 & NDD3 (21.13.020), or MDD4 (21.13.100) zones. Removal of the retail prohibition from the definition would, in effect, allow retail by-right with no restriction in these other zones.

Also, “on the premises” is not defined: do immediately adjacent or proximal sites count as coincident sites? How do we define “on the premises” or do we find another term?

#### *Rationale*

Amending the definition of “Manufacturing and Wholesale Trade” to strike the retail prohibition establishes the retail limitations to be wholly within 21.14.040 (or other applicable zone) instead of the definition.

#### *Amendment*

#### **Manufacturing and Wholesale Trade**

---

An establishment that engages in the transformation of raw materials into finished products, in the sale or distribution of those products to persons, firms, or corporations for resale, in the storage of materials or products in a warehouse or similar structure, or in the assembly or fabrication of goods. ~~A manufacturing or wholesale trade establishment does not engage in the retail sale of products to the end consumer.~~ Manufacturing and wholesale trade does not include any activity relating to marijuana.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

### **RZC Article VII**

### **21.78 Definitions**

#### ***Staff Contact***

Administrative Interpretation

#### ***Correction Needed***

It is unclear whether the phrase “neat and approximate” as contained in the definition of Preliminary Plat implies that minor changes in the configuration of an approval short plat or preliminary plat, such as the adjustment in the location of lot lines, are subject to the Administrative Modification review process.

#### ***Rationale***

RZC 21.76.090.D states that the Administrative Modification process is for the “modification to an approved project.” This implies that once a preliminary plat has been approved that any proposed change in the configuration of the plat would require that the project go through the Administrative Modification process.

The intent of the code is clear that preliminary plat is a general layout of the subdivision and only a neat and approximate plan. It is clear that minor changes to the plan are anticipated as the project develops into the final plat phase. As these changes are anticipated, there is no need for an Administrative Modification.

#### ***Amendment***

#### **Preliminary Plat**

---

A neat and approximate drawing of a proposed subdivision showing the general layout of streets and alleys, lots, blocks, and other elements of a subdivision consistent with the requirements of the Zoning Code. The preliminary plat shall be the basis for the approval or disapproval of the general layout of a subdivision.

The minor alterations of a preliminary approved short plat or subdivision may be brought forward to final plat without obtaining an Administrative Modification. The Administrator may determine that alterations are not minor in nature and therefore, will be required to obtain an Administrative Modification prior to final plat approval.

# 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

## RZC Article VII

## 21.78 Definitions

### Staff Contact

Jae Hill

### Correction Needed

Provide a graphic or illustration to clarify the definition of Story.

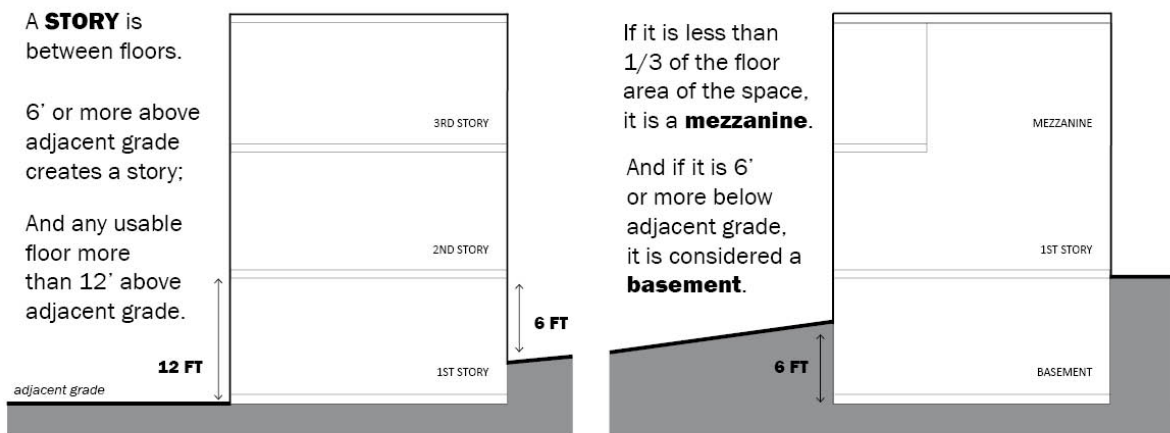
### Rationale

The illustration supplements the existing definition and provides increased clarity.

### Amendment

### Story

That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above. If the finished floor level directly above a usable or unused underfloor space is more than six feet above grade as defined herein for more than 50 percent of the total perimeter or is more than 12 feet above grade as defined herein at any point, such usable or unused underfloor space shall be considered a story. For non-buildings, or for other instances where measurement in stories is insufficient, a story shall equal 12 feet.



## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RMC Title 3. Revenue and Finance 3.10 Impact Fees

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RMC 3.10.080 references the SIC but should reference the 2007 NAICS.

#### *Rationale*

NAICS was developed under the auspices of the Office of Management and Budget (OMB), and adopted in 1997 to replace the Standard Industrial Classification (SIC) system.

#### *Amendment*

### **3.10.080 Calculation of park, fire, and school impact fees using adopted impact fee schedules.**

---

(A) Method of Calculation. All park, fire, and school impact fees shall be calculated using the schedules set forth in this section, except where an independent fee calculation study has been prepared and approved as provided in RMC [3.10.120](#).

(1) When using the impact fee schedules set forth in this section, the park, fire, and school impact fees shall be calculated by using the following formula:

$$\begin{array}{rclcl} \text{Number of} & & \text{Impact Fee} & & \text{Amount of} \\ \text{units of each} & \times & \text{Amount for a} & = & \text{Impact Fee that} \\ \text{use} & & \text{facility type} & & \text{shall be paid for} \\ & & & & \text{that facility type} \end{array}$$

(2) The number of units of each use determined as follows: (i) for residential uses it is the number of housing units for which a building permit application has been made and (ii) for office, retail, or manufacturing uses it is the gross floor area of building(s) to be used for each use expressed in square feet divided by 1,000 square feet. If uses other than parking vehicles which do not constitute a stock in trade and uses accessory to residences will take place outside of buildings, the calculations shall include the land area on which these uses will take place.

(3) Using the formula in subsection (A)(1) of this section, park, fire, and school impact fees shall be calculated separately for each use and each facility type. The total impact fees that shall be paid for any development are the sum of these calculations.

(4) If a development activity will include more than one use in a building or site, then the fee shall be determined using the above schedule by apportioning the space committed to the various uses specified on the schedule.

(5) If the type of use or development activity is not specified on the impact fee schedules in this section, the Administrator shall use the park, fire, or school impact fee applicable to the most

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

comparable type of land use on the fee schedules. The Administrator shall be guided in the selection of a comparable type by the most recent ~~Standard Industrial Code Manual~~ North American Industry Classification System (NAICS) edition and the Redmond Zoning Code. If the Administrator determines that there is no comparable type of land use on the above fee schedule, then the Administrator shall determine the proper fee by considering demographic or other documentation which is available from state, local, and regional authorities.

(6) In the case of a change in use, development activity, redevelopment, or expansion or modification of an existing use, the park, fire, or school impact fee shall be based upon the net positive increase in the impact fee for the new development activity as compared to the previous development activity. The Administrator shall be guided in this determination by the sources and agencies listed above.

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RMC Title 7. Animals RMC 7.04 Animal Control

#### *Staff Contact*

Jae Hill

#### *Correction Needed*

RMC 7.04.154 Beekeeping includes the language "where permitted" but beekeeping isn't listed as a permitted use in any zone. Standards exist for several zones.

#### *Rationale*

Removing "where permitted" allows beekeeping to be identified as a use, where necessary and under certain conditions, in the specified zones.

#### *Amendment*

#### **RMC 7.04.154 Beekeeping.**

---

Beekeeping, ~~where permitted~~, is subject to the following requirements:

- (A) No more than four hives per lot shall be allowed in areas zoned R-1, R-2, or R-3, and no more than two hives per lot shall be allowed in areas zoned R-4, R-5 or R-6, provided, that a beekeeper who picks up a swarm of bees may hold them for a period of no more than two weeks, notwithstanding the provisions of this section.
- (B) Colonies shall be maintained in small movable frame hives.
- (C) Adequate space shall be maintained in the hives to prevent overcrowding and swarming.
- (D) Colonies shall be requeened with a young hybrid queen annually, or as often as necessary to prevent any swarming or aggressive behavior.
- (E) All colonies shall be registered with the Washington State Department of Agriculture in accordance with apiary law, RCW 15.60.030.
- (F) Hives shall not be located within twenty-five feet of any property line, except under the following conditions:
  - (1) When situated eight feet or more above adjacent ground level; or
  - (2) When there is a solid fence at least six feet high separating the hive from the property line, extending at least twenty feet from the hive along the property line in both directions.
- (G) Bees living in trees, buildings or any other space (except in movable frame hives), abandoned colonies or diseased bees shall constitute a public nuisance and shall be abated, as set forth in this chapter. (Ord. 2640 § 1 (part), 2011; Ord. 1442 § 4, 1988).

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

### RMC Title 7. Animals RMC 7.04 Animal Control

#### *Staff Contact*

Administrative Interpretation

#### *Correction Needed*

RMC 7.04.157 Chickens describes the maximum number of chickens (female chickens, pullets, or hens) allowed to be kept on individually owned properties. However, the number of chickens allowed to be kept within the Residential Innovative (RIN) zoning designation was not previously included in the corresponding table and code section. This omission was an oversight as the RIN zoning designation is a single-family zoning designation by the Redmond Zoning Code, Chapter 21.08, Section 21.08.070.

#### *Rationale*

The RIN zone allows densities of four or five units to the acre, depending on the site size.

The maximum allowed number of chickens is consistent with the maximum number of chickens allowed on individually owned properties in the R-4 and R-5 zones. All other provisions of Section 7.04 Animal Control as well as other related section of Redmond, King County, and Washington State code also apply.

#### *Amendment*

#### **RMC 7.04.157 Chickens.**

---

(A) Types. Female chickens, pullets, or hens. Water fowl including ducks, geese, and swans, and other fowl are excluded from this section.

(B) Limitations.

(1) Female chickens, pullets or hens, hereby referred to as chickens, are allowed in Single-Family zones, the Urban Recreation zone, and on publicly-owned park properties.

(2) In Single-Family and Urban Recreation zones, the following maximum number of chickens may be kept on an individually-owned property:

<b>Zoning Designation</b>	<b>Allowed maximum number of chickens</b>
UR	10
RA-5	10
R-1	10
R-2	10
R-3	8

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

R-4	7
R-5	6
R-6	4
R-8	0
<u>RIN</u>	<u>Based on the size of the lot and corresponding density:</u>  <u>A. Lots below 30,000 square feet shall be allowed a maximum of six (6) chickens.</u>  <u>B. Lots greater than 30,000 square feet shall be allowed a maximum of seven (7) chickens.</u>

(3) On publicly-owned park properties, there shall be no limit on the number of chickens kept provided that RMC [7.04.151](#), Animal structures and runs requirements are met.

(C) Chicken Husbandry Registration. Approval of a Chicken Husbandry registration is required to house chickens on any property. The property owner(s) shall complete a Chicken Husbandry registration confirming that:

- (1) The property owner has read and understands RMC 7.04 Animal Control.
- (2) The property owner agrees to maintain the subject property and chicken husbandry activity in a manner that complies with RMC 7.04 Animal Control.
- (3) Property owners who housed chickens prior to December 6, 2011 are permitted to maintain chicken husbandry activities consistent with the RMC 7.04 Animal Control in effect as of December 6, 2011.

(D) Shelter and Run.

- (1) Chickens shall be sheltered in a clean structure which shall be located no less than fifteen feet from any property line.
  - (a) The shelter shall provide protection from the following:

## 2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code

- i. Weather by providing a fully enclosed structure including walls, roof, floor, and securable door.
  - ii. Predators by being made of sturdy material such as plywood.
  - iii. Rodents by limiting small points of uncontrolled access, no larger than one-half inch.
- (2) On publicly-owned park properties, there shall be no minimum setback for existing structures provided that RMC [7.04.151](#), Animal structures and runs requirements are met.
- (3) Chicken shelter, run, and other structures such as feed storage shall not be located in the front yard and shall be screened at a minimum of Type II – Visual Screen (RZC 21.32 Landscaping) from adjoining streets and access corridors.
- (4) RZC 21.08.230 Accessory Structures shall apply to chicken shelter, run, and other structures. In addition, the shelter shall be limited to no greater than 200 square feet in gross floor area and shall be no greater than eight feet in height.
- (5) A chicken run is an enclosed outside yard, no greater than six feet in height, for keeping chickens.
  - (1) A run shall provide protection from the following:
    - (a) Weather by providing a covered portion of run space that allows chickens to escape rain and snow.
    - (b) Predators by being made of sturdy, small gauge animal fencing such as chain link or chicken wire along the entire perimeter of the run. Floor fencing should also be installed. The top of the run shall be covered with additional similar fencing or netting in a manner that helps prevent chickens from straying.
  - (6) The setback required for a chicken shelter and run may be reduced to five feet from any property line provided that the property adjacent to the proposed location of the chicken shelter and run is either:
    - (a) Occupied primarily by a non-residential use such as church, school, or park;
    - (b) A permanently dedicated easement or tract such as a native protection growth easement or open space tract that is at least 10 feet in width; or
    - (c) A street or permanent trail or access corridor that includes a right of way at least 10 feet in width.

## **2018 Recommended Minor Corrections to the Redmond Zoning Code and Redmond Municipal Code**

(E) Confinement. Adequate measures shall be taken to provide safety for the chickens and to prevent them from straying onto adjacent property.

(F) Animal Waste. Adequate measures shall be taken to properly dispose of animal wastes. Accumulation of animal waste shall be prohibited from being stored within the required fifteen-foot animal shelter setback.

(G) Slaughter. Slaughter is intended only for personal consumption and no more than one chicken may be slaughtered on any property located in a residential zone within a twenty-four-hour period. Adequate measures such as arrangement with a mobile slaughter unit or veterinary service shall be taken to slaughter any more than one chicken within a twenty-four-hour period outside of any City of Redmond Residential zone. (Ord. 2640 § 1 (part), 2011).



## STATE ENVIRONMENTAL POLICY ACT (SEPA) DETERMINATION OF SEPA EXEMPTION

For more information about this project visit [www.redmond.gov/landuseapps](http://www.redmond.gov/landuseapps)

10/31/18

**PROJECT NAME:** Redmond Zoning Code - Per

**SEPA FILE NUMBER:** SEPA-2018-01265

**PROJECT DESCRIPTION:**

The periodic cleanup of the Redmond Zoning Code is intended to address minor corrections that a) provide clarity and conciseness; and b) ensure accuracy between code sections and references.

**PROJECT LOCATION:** Citywide

**SITE ADDRESS:**

**APPLICANT:** Kim Dietz

**LEAD AGENCY:** City of Redmond

THE LEAD AGENCY FOR THIS PROPOSAL HAS DETERMINED THAT THE PROPOSAL IS CATEGORICALLY EXEMPT FROM THRESHOLD DETERMINATION AND EIS REQUIREMENTS PURSUANT TO 197-11-800.19(b)

**Exhibit C: Public Hearing Notice for December 12, 2018 Hearing**

**NOTICE OF PUBLIC HEARING  
CITY OF REDMOND**

**Zoning Code Amendment: Redmond Zoning Code – Periodic Cleanup (Minor Amendments)**

The City of Redmond Planning Commission will hold a Public Hearing in the **Council Chambers, 15670 NE 85<sup>th</sup> Street, Redmond, Washington** on December 12, 2018 **at 7:00 p.m.** or as soon thereafter as possible, on:

**SUBJECT:** The recommended amendments provide a periodic cleanup to portions of the Redmond Zoning Code (RZC) and Redmond Municipal Code (RMC). The amendments correct typographical errors; address inconsistencies or missing references to other portions of the RZC, RMC, and state and federal regulations; and revise outdated place names, terminology, and identifiers.

The proposed minor corrections to the code are limited to amendments which:

- Clearly maintain the intent, purpose, and direction of current regulation.
- Are limited to a small, isolated portion of the RZC in scope and scale.
- Rely solely on existing code for clear and concise direction in administrative interpretation.

**REQUESTED ACTION:** Planning Commission recommendation on the proposed Zoning Code amendments.

All persons are invited to comment in person at the hearing, or in writing prior to the hearing, to the Planning Department at City Hall, P.O. Box 97010, Redmond, Washington, 98073-9710. Telephone number: (425) 556-2440, Fax Number: (425) 556-4242, or e-mail [planningcommission@redmond.gov](mailto:planningcommission@redmond.gov). **Contact Kimberly Dietz, Senior Planner (425-556-2415, [kdietz@redmond.gov](mailto:kdietz@redmond.gov)) for more information.**

A copy of the proposal will be available no later than November 16, 2018 from the Planning Department, 4<sup>th</sup> Floor of City Hall and on the City's web site at [www.redmond.gov/planningcommission](http://www.redmond.gov/planningcommission)

If you are hearing or visually impaired, please notify the Planning Department at (425) 556-2440 one week in advance of the hearing in order to be provided assistance.

**LEGAL NOTICE:** November 21, 2018