

City of Redmond



Agenda

Tuesday, May 19, 2026

4:30 PM

City Hall: 15670 NE 85th St; Remote: Comcast Ch. 21/321, Ziplly Ch. 34,
Facebook (@CityofRedmond), Redmond.gov/rctvlive, or 510-335-7371

Committee of the Whole - Public Safety and Human Services

Committee Members

Vivek Prakriya, Presiding Officer

Jessica Forsythe

Vanessa Kritzer

Angie Nuevacamina

Sayna Parsi

Menka Soni

Melissa Stuart

Meetings can be attended in person, viewed live on RCTV (redmond.gov/rctvlive), Comcast Channel 21/321, Ziplly Channel 34, Facebook/YouTube (@CityofRedmond), or listen live at 510-335-7371

AGENDA

ROLL CALL

A. Action Items - 30 minutes

1. Vision Blueprint 2050 [CM 26-321](#)

[Attachment A: Vision Blueprint 2050 Draft](#)

Department: Planning and Community Development, 10 minutes

Requested Action: Consent, June 2nd

2. Approval of the King County Emergency Medical Services (EMS) Basic Life Support Services and Mobile Integrated Health Services Contract (PHSKC Agreement #14807 EMS) for the 2026-2031 King County EMS Levy [CM 26-310](#)

[Attachment A: PHSKC Agreement #14807 EMS](#)

Department: Fire, 5 minutes

Requested Action: Consent, June 2nd

3. Approval of the King County Emergency Medical Services (EMS) Advanced Life Support Services Contract (PHSKC Agreement #14835 EMS) for the 2026-2031 King County EMS Levy [CM 26-328](#)

[Attachment A: PHSKC Agreement #14835 EMS](#)

Department: Fire, 5 minutes

Requested Action: Consent, June 2nd

4. Authorization to Execute Fire Mobilization Interagency Agreement with the Washington State Patrol (WSP) [CM 26-327](#)

[Attachment A: Fire Mobilization Interagency Agreement](#)

Department: Fire, 5 minutes

Requested Action: Consent, June 2nd

5. Authorization to Execute Interagency Agreement with [CM 26-326](#)
Washington State Department of Natural Resources (DNR)
for Wildfire and Emergency Response Support

[Attachment A: Interagency Agreement with DNR](#)

Department: Fire, 5 minutes

Requested Action: Consent, June 2nd

B. Feedback for Study Session - N/A

C. Informational - 10 minutes

1. Redmond Police Department Q1 2026 Activity Report [CM 26-322](#)

[Attachment A: Presentation](#)

[Attachment B: RPD Police Activity Report](#)

Department: Police, 10 minutes

Requested Action: Informational

D. Read Only - N/A

E. Items from Other Committees - 25 minutes

1. Respect, Equity, Diversity, and Inclusion (REDI) Program [CM 26-317](#)
Update

[Attachment A: REDI Program Update](#)

[Attachment B: REDI Program Administrator Job Announcement](#)

Department: Executive, 10 minutes

Requested Action: Informational

2. Community Stability Funding Update [CM 26-330](#)

Department: Finance/Planning and Community Development, 10 minutes

Requested Action: Informational

3. 2025 Legislative Conformance, Business Improvement, and [CM 26-331](#)
Fences Zoning Code Amendments

[Attachment A: Draft Ordinance](#)

[Attachment B: Draft Ordinance Exhibits 1-15](#)

[Attachment C: Planning Commission Report](#)

[Attachment D: Community Feedback Summary](#)

[Attachment E: Issues Matrix](#)

Department: Planning and Community Development, 5 minutes

Requested Action: Informational

Legislative History

4/7/26	Committee of the Whole - Planning and Public Works	referred to the City Council Study Session
4/28/26	City Council	referred to the City Council

ADJOURNMENT

Meeting videos are usually posted by 12 p.m. the day following the meeting at redmond.legistar.com, and can be viewed anytime on Facebook/YouTube (@CityofRedmond) and OnDemand at redmond.gov/OnDemand



Memorandum

Date: 5/19/2026
Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-321
Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services
FROM: Mayor Angela Birney
DEPARTMENT DIRECTOR CONTACT(S):

Planning and Community Development	Carol Helland	425-556-2107
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DEPARTMENT STAFF:

Planning and Community Development	Seraphie Allen	Deputy Director
Planning and Community Development	Jeff Churchill	Long Range Planning Manager
Planning and Community Development	Glenn Coil	Senior Planner

TITLE:
Vision Blueprint 2050

OVERVIEW STATEMENT:

Staff is requesting Council approve Vision Blueprint 2050 - the City’s capital investment strategy. This strategic plan serves as the nexus between the vision, goals, and capital facility policies in the Redmond 2050 Comprehensive Plan and the City’s Capital Investment Program (CIP) and 2-year budget. Vision Blueprint 2050 compiles the City’s capital planning and financial policies, as well as projects from the city’s adopted functional plans, and lays-out a capital investment strategy to the year 2050.

Similar to its predecessor, Vision Blueprint 2030, the plan is intended as a living document and will be updated during off-budget years in anticipation of updates to the 6-year CIP.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information Provide Direction Approve

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
Redmond 2050 Comprehensive Plan, Capital Facilities element (especially policy CF-7), and adopted functional plans
- **Required:**
N/A
- **Council Request:**

N/A

• **Other Key Facts:**

The City’s long-term capital projects and needs are housed in separate functional plans. Vision Blueprint 2050 brings together these projects into one resource that can be used as guide to plan and coordinate the City’s CIP as well as long-term planning for capital projects.

OUTCOMES:

Vision Blueprint 2050 will serve as resource and reference document for the City’s long-term capital planning.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

• **Timeline (previous or planned):**

N/A

• **Outreach Methods and Results:**

N/A

• **Feedback Summary:**

N/A

BUDGET IMPACT:

Total Cost:

\$5,350,743 is the total cost of the Community and Economic Development budget offer, which includes the staff time for updating this plan.

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

0000304 - Community and Economic Development

Budget Priority:

Vibrant and Connected

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

General Fund

Budget/Funding Constraints:

N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
N/A	Item has not been presented to Council	N/A

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/2/2026	Business Meeting	Approve

Time Constraints:

Vision Blueprint should be updated in a timely manner so that it includes planned capital investments through 2050 in order to be useful to Council, staff, and the community.

ANTICIPATED RESULT IF NOT APPROVED:

The City's capital projects will not be compiled into a single resource, making it more difficult to assess and implement the City's vision for capital projects and coordinate projects for the CIP.

ATTACHMENTS:

Attachment A: Vision Blueprint 2050 (draft)

Vision Blueprint 2050

Redmond's Capital Investment Strategy 2025-2050

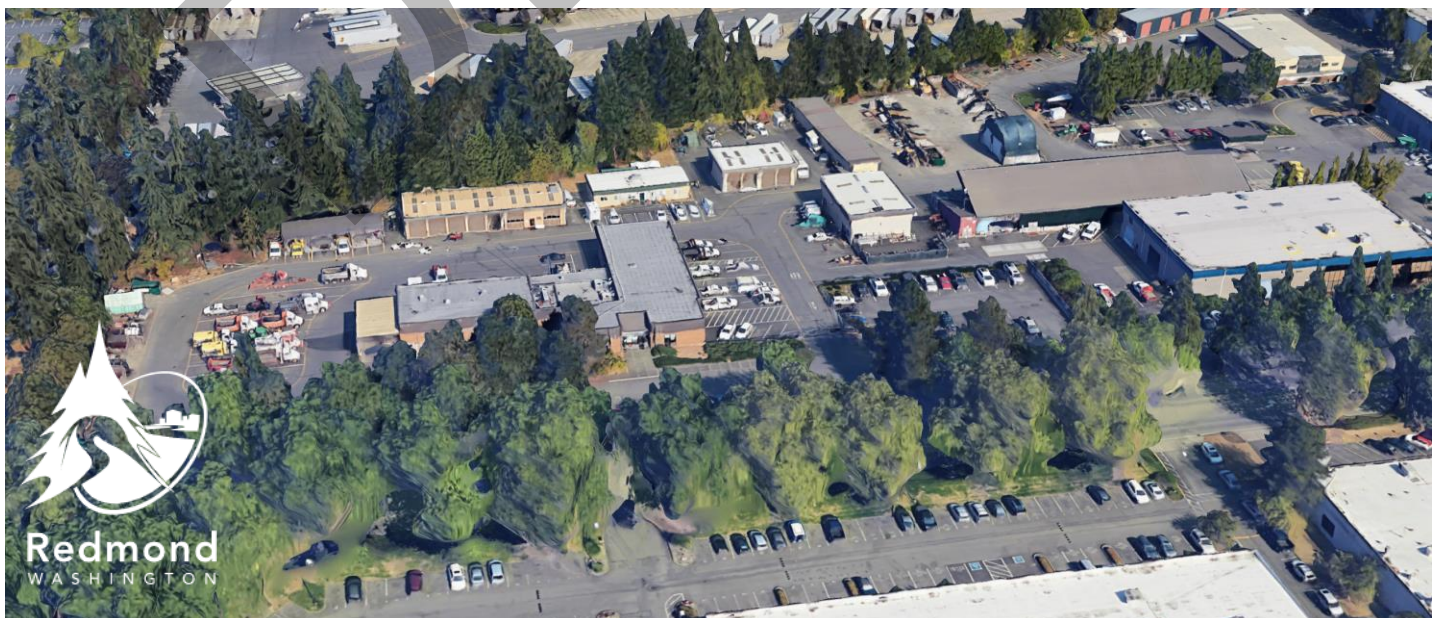


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Introduction

Investing in Redmond's Future

Redmond's vision for 2050 is a complete community: offering a wide range of services, opportunities, and amenities, along with the infrastructure to support them. The City is connected, embracing diversity and innovation.

Vision Blueprint 2050 is the City's capital investment strategy that supports the vision for 2050. This plan is an update of [Vision Blueprint 2030](#). As part of the Redmond 2050 Comprehensive Plan update, the city is updating its capital investment strategy to align with and fulfill the City's vision and goals.

Guided by the City's Budgeting by Priorities process, Redmond has charted a course to address the challenge of achieving the vision within available resources and community priorities. Through this process, the city identifies capital investment priorities for the upcoming six-year period. This is known as the Capital Investment Program (CIP) and meets the minimum requirements under the Growth Management Act for capital facilities planning. This approach defines and delivers on community priorities while acknowledging the gap between vision and available resources. To better plan for the future, the City takes this a step further by developing Vision Blueprint 2050 to align long-term capital planning with the City's comprehensive planning horizon out to 2050. This helps ensure progress towards the City's vision.

Redmond 2050 Comprehensive Plan - Capital Facilities Element

The Comprehensive Plan Capital Facilities element provides high-level vision, goals, and policies that support the CIS, CIP, and the budget requirements to implement the City's vision.

The Capital Facilities element achieves Redmond's vision by:

- Providing a clear definition of the role and purpose of the City's capital investment program, which refers to all planning and budget documents that guide Redmond's capital investments.
- Assuring that capital facility investments are prioritized to support growth in the locations targeted in the Land Use Element.
- Identifying service standards for capital facilities to meet community expectations for equitable municipal service delivery.
- Requiring that adequate long-term financial capacity exists to provide capital facilities needed to support expected growth, while maintaining adopted service level standards.
- Improving the reliability and resiliency of Redmond's facilities.
- Furthering Redmond's sustainability principles by minimizing environmental impacts of capital facilities when possible and mitigating unavoidable impacts.
- Anticipating needs and costs for capital asset preservation and replacement.

As noted in the Redmond 2050 Comprehensive Plan, the CIS outlines capital investments, costs, sequencing, forecasted revenues, and the strategic actions needed to deliver Redmond’s long-term vision of transitioning from a suburb to a city. Fulfilling this vision depends heavily on the City’s ability to provide and maintain adequate capital facilities. The City must be able to demonstrate that it can afford to construct the facilities needed to support the growth anticipated in the Land Use Element, both to preserve a high quality of life offered by Redmond and to meet Growth Management Act requirements. The success of the Comprehensive Plan hinges on “plan-level financial balance.” This means the financial capability to operate programs and construct adequate facilities when required, in support of the growth anticipated by the adopted Land Use Element through 2050. This does not require that the details or timing of every capital project be identified in advance. Rather, it calls for a general comparison of anticipated capital improvement costs with reasonably expected revenues to ensure they are in balance.

The Capital Facilities element contains five policies that provide further direction and requirements for the CIS, the CIP, and the City’s biennial budget. The community, its leadership, and staff must review and follow these policies as they work to update and implement the CIS.

CF-7 – Intent of the CIS

Develop and maintain a capital investment strategy to implement capital projects in support of the City’s land-use vision as described in the Comprehensive Plan. The intent of the plan is to:

- Guide the City’s investment decisions in the near, middle, and long term through 2050;
- Further strengthen the City’s readiness for grant applications and partnerships;
- Help the City to strategically leverage capital investment opportunities working in partnership with others when consistent with City priorities;
- Ensure effective use of public funds;
- Develop strategic and innovative infrastructure funding approaches that are consistent with adopted City financial policies, and
- Inform the community of the overall strategy.

CF-8 Components and requirements for the CIS

Ensure that the Capital Investment Strategy:

- Is consistent with the Comprehensive Plan.
- Supports the growth of Redmond’s centers consistent with the future land use plan.
- Reflects estimated project costs based on a standard approach.

- Uses functional plans, strategic plans, and asset management data as the primary sources of planned capital investments, and efforts are aligned to achieve consistency when planning and prioritizing projects.
- Summarizes the revenue and expense components of the City's functional plans.
- Includes financial data for capital spending in support of growth anticipated by the adopted Comprehensive Plan through the planning period to 2050 and the 20- year capital investment period.
- Identifies key strategic actions and investments needed to carry out the Comprehensive Plan vision.
- Summarizes planned capital facility improvements, sequencing, and costs over 20 years.
- Prioritizes planned six-year CIP projects.
- Considers staff resources and funding availability to implement planned CIP projects.
- Includes all functional areas.
- Addresses service deficiencies.
- Addresses ongoing operating costs, capital maintenance, preservation, and replacement.
- Explores options to address the identified funding gap.
- Develops funding strategies.
- Identifies follow-up work for future CIS efforts; and
- Describes how implementation progress will be monitored and reported.

CF-9 and CF-10 – Plan-level financial balance

CF-9 - Define “plan-level financial balance” as the financial capability to construct and operate adequate capital facilities at the time that they are required, in support of growth anticipated by the adopted Comprehensive Plan through the planning period to 2050 and the 20-year capital investment period.

CF-10 - Evaluate the City's ability to achieve “plan-level financial balance” every two years. Take one or more of the following actions if the financial capacity to provide necessary capital facilities for all or part of the city is found to be insufficient:

- Reassess planned land use and adjust the capacity for growth;
- Institute mechanisms for phasing or deferring growth;
- Reassess service standards for capital facilities; or
- Identify new revenue sources.

Relationship to the Capital Improvement Program (CIP)

CF-11 Adopt the City's Six-Year Capital Improvement Program (CIP) as the short-term budgetary process for implementing the long-term Capital Investment Strategy. Ensure that project priorities,

funding allocations, and financing strategies incorporated in the CIP are substantially consistent with the CIS. Allow flexibility to amend the CIP for time-sensitive or critical needs.

Redmond Today

Redmond is the seventeenth-largest city in the state with a 2025 population of 82,380. During the day, the city's population reaches 114,000, including residents at home and employees. It is home to many high-tech businesses, as well as diverse businesses such as aerospace, seafood processing, logistics, and medical services.

Downtown is active and walkable, with Downtown Park becoming the community's front lawn and a hub of activity. Despite many changes, Downtown retains a vibrant historic core.

Overlake Village's transition from an auto-centric retail center to a mixed-use neighborhood is underway, encouraged by City planning and investment in a variety of public facilities and light rail service. Overlake is home to advanced technology corporations, both large and small. Over time, thousands of new residents are anticipated to move to Overlake Village as the area transforms to include mid- and high-rise apartments and condominiums, urban parks and plazas, and a transportation network that supports mobility by transit, cars, bicycles, and foot.

Marymoor Village remains home to manufacturing and manufacturing-adjacent businesses, while also seeing new apartment construction in response to subarea planning efforts and light rail access. Its location adjacent to Marymoor Park makes it attractive for multifamily development and businesses that thrive near recreation centers.

Redmond continues to provide high-quality public safety, parks and recreation, transportation, and utilities services. Residential neighborhoods are highly sought after and home to a variety of household types and sizes. The Sammamish Valley remains an open vista of green flanked by hillsides that have retained much of their woodland character.

Redmond's Vision for the Future

In 2050, Redmond community members describe their community as complete, offering a wide range of services, opportunities, and amenities. The community has successfully woven the small-town feel of older, established neighborhoods with the energy and vitality of Redmond's centers. The result is a place where people are friendly, often meet others they know, and feel comfortable and connected. It's a place where diversity and innovation are embraced, and collaborative action is taken to achieve community objectives. It's a place home to people from diverse backgrounds, which enriches the city's culture.

The vision also includes:

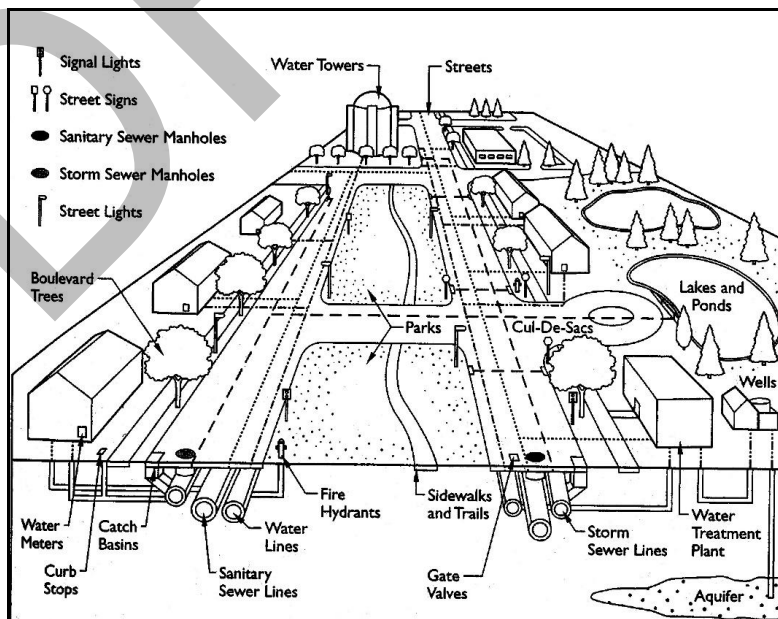
- Redmond's centers are hubs of residential, commercial, and cultural activity.

- Redmond neighborhoods are more diverse and more complete.
- Redmond maintains a strong economy and a diverse job base.
- Redmond’s land use pattern has supported sustainability objectives.
- Redmond is designed for equity and inclusion.
- Housing choices meet diverse community needs.
- Redmond’s transportation system is designed for people.
- Redmond embodies the idea of nature in the city.
- Redmond is a carbon-neutral community.
- Capital facilities and utilities serve a growing community.
- Everyone has access to high-quality parks and recreation facilities and programs.
- Community members can access the human services they need.
- Redmond is a valued regional partner.

Role of Capital Projects

Capital improvements support transportation needs, protect public health and safety, improve environmental quality, and provide recreational opportunities, to name a few. Examples include bridges, sidewalks, government buildings, water and sanitary sewer systems, parks, fire engines, and storm drainage facilities, as shown in Figure 1. Capital projects advance Redmond’s vision for the future by providing the necessary physical infrastructure and related programs.

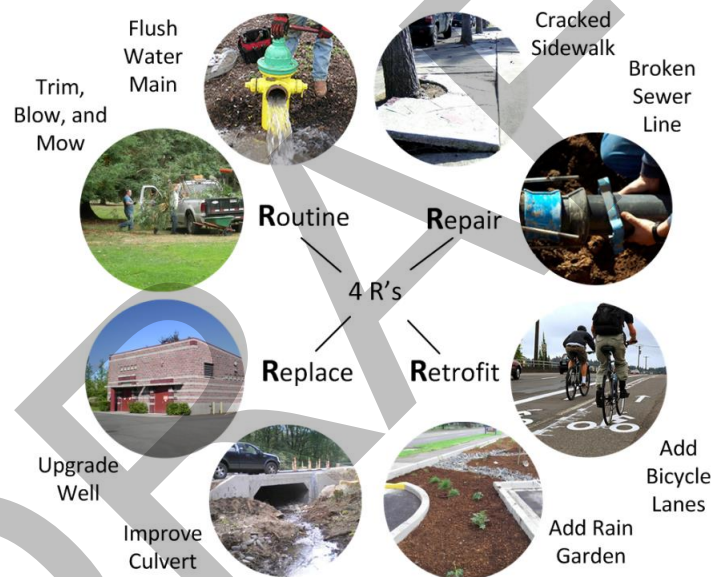
FIGURE 1: EXAMPLE OF CAPITAL FACILITIES



In the City of Redmond, a capital improvement project is a public facility expenditure costing \$50,000 or more with a useful life of 5 or more years. Redmond capital projects also include programs intended to support infrastructure levels of service, such as Transportation Demand Management.

Once a capital project is built, it must also be maintained for safety, performance, and upkeep. Some maintenance activities, such as emergency repairs, are performed under ongoing capital programs, while others, like routine cleaning or monitoring, are part of the City’s operating budget. The City’s infrastructure also needs to be periodically replaced due to aging equipment or materials, insufficient capacity, or updated state or federal requirements. Thus, consideration should be given not only to one-time capital expenses but also to the full cost of ownership, including projected maintenance and replacement costs over time. See Figure 2.

FIGURE 2: 4 RS OF CAPITAL PROJECT MAINTENANCE



Capital improvements also help to facilitate economic development. For example, the City’s investments in Downtown, Marymoor, and Overlake are tangible steps toward realizing the vision for these locations and encouraging continued private investment.

The private sector also contributes to Redmond’s physical development from minor redevelopment to major revitalization projects. This can take the form of new commercial and residential buildings with park space designed for and open to the public, such as the recently completed Esterra Park (Figure 3) in Overlake. In addition, private developers install utilities, improve streets and sidewalks, and add trails to serve new housing or commercial developments.

FIGURE 3: ESTERRA PARK



In some cases, public-private partnerships are formed to meet mutual service goals for both sectors. For example, the City recently partnered with Microsoft and Sound Transit to build the 1,100-foot Redmond Technology Station (RTS) Pedestrian Bridge (Figure 4). Private development at all scales not only meets market demand of the private sector but also contributes key infrastructure linkages in the public realm. By improving physical infrastructure and supporting key private development, capital investments serve a dual purpose in fulfilling Redmond’s land-use vision.

FIGURE 4: RTS PEDESTRIAN BRIDGE



Role of Functional Plans

Successfully planning capital facilities requires a disciplined, comprehensive process. The City of Redmond accomplishes that objective by developing functional plans consistent with policies in the Capital Facilities Element and the requirements for capital facility planning set forth by the Growth Management Act.

The City uses functional plans to guide the development of capital priorities and investment decisions within the following functional areas:

- Fire protection and response, including the city and other contracted service areas.
- Police services.
- Stormwater and surface water management.
- Water and wastewater systems.
- Parks, arts, recreation, culture, and conservation (PARCC).
- Transportation.
- Emergency preparedness and management.
- General government facilities.
- Other functional areas as identified.

The City's policy CF-2 calls for functional plans to include the following features necessary to maintain an accurate account of long-term capital facility needs and associated costs to the City, and consistency with the Comprehensive Plan and the Zoning Code:

- A description of the current capital facility infrastructure, including green infrastructure, and the scope and cost of its operation and maintenance.
- A description of current capital facility deficiencies and appropriate strategies to remedy these deficiencies.
- An analysis of capital facilities needed through the year 2050, and preliminary cost estimates to meet those needs.
- An analysis specifying how capital facilities will be financed and maintained.
- A description of the functional plan's public outreach, participation, and review process.
- Criteria to be used to prioritize projects and inform the Capital Investment Strategy.
- An analysis of how proposed investments impact underserved communities and geographies.
- A description of how the plan addresses emergency preparedness and resilience to natural hazards, including climate change impacts.
- A description of how the functional plan and supporting documents fulfill Growth Management Act requirements.

- An analysis indicating that the functional plan, including any subsequent revisions or modifications, is consistent with Comprehensive Plan policies, Zoning Code regulations, and applicable state and federal laws.

Together, the policies in the Capital Facilities Element, the City's functional plans, its capital budget, the Capital Investment Strategy, and the long-range financial strategy for capital investments comprise Redmond's Capital Facilities Program (CFP). This comprehensive planning and budgeting framework is used to assess the City's capital facility needs based on service standards, the long-term costs of acquiring and maintaining facilities, and financing strategies.

The CIS does not replace existing capital planning and budgeting documents but rather strengthens collective performance by strengthening connections. It is the "master plan" portion of the Comprehensive Plan, containing an integrated set of tools to implement the vision. When added together, the list of project needs over the next 25 years is long, and costs exceed projected revenues. Knowing the range of needs relative to revenues helps the City sequence projects effectively based on the expected pace of growth and maintenance needs, and plan for key expenditures well in advance.

Document Scope and Key Assumptions

Vision Blueprint is intended to provide a list of project needs through 2050. Routine activities or minor projects covered by ongoing programs are outside the scope of this document.

The following functional plans are used to identify projects in this plan, along with information from the City's 2025-26 budget and 2025-30 CIP.

- **General Government**
The Capital Facilities Plan 2050 - General Government was adopted in December 2025 and includes capital projects for government facilities such as City Hall, park facilities (but not parks themselves), police facilities, and fire stations.
- **Transportation**
The Transportation Master Plan (TMP) was adopted in February 2026. The TMP includes a transportation facilities plan identifying transportation projects through 2050.
- **Stormwater and Surface Water Management**
Projects from the preliminary draft of the City's first comprehensive Surface and Stormwater Plan, anticipated to be adopted in 2027, as well as the projects that are candidates for inclusion in the 2027-32 CIP, are used.
- **Water and Wastewater Utilities**
Projects identified in the 2024 Water System Plan and the General Wastewater Plan (updated 2024) are used.

- **Fire**
Vision Blueprint uses the 2025-2050 Fire Department Functional Plan. It identifies capital projects, equipment, and operational needs. Capital projects from this plan were included in the Capital Facilities Plan 2050 - General Government.
- **Parks, Arts, Recreation, Culture, and Conservation**
The 2023 PARCC Plan was used to identify capital projects for parks, park facilities, and trails.

Other scope considerations:

- **Construction Management**
Redmond’s Construction Division manages the design and construction of water, wastewater, stormwater, transportation, police, fire, parks, and stream habitat projects and provides construction inspection services for development projects. Staff sequencing of proposed projects over the three CIS time periods through 2050 did not account for the Construction Division's capacity to manage the number of projects proposed for any given time period.
- **Asset Management**
Plans are expected to be published beginning in 2027; lifecycle cost and condition data in these plans will inform future CIS updates.
- **Environmental Sustainability**
The [2025 Environmental Sustainability Action Plan \(ESAP\)](#) serves as a five-year roadmap to achieve net-zero emissions and create a resilient community and environment. Similarly, the Climate Emergency Declaration, adopted by Council, establishes the goal of net-zero emissions from City operations by 2040. The ESAP prioritizes actions, including technical analyses and policy decisions, that impact capital planning and future projects in support of these goals. Examples include facility decarbonization planning to information future maintenance upgrades, design work to advance solar and battery storage on city facilities, and green building policies and standards.

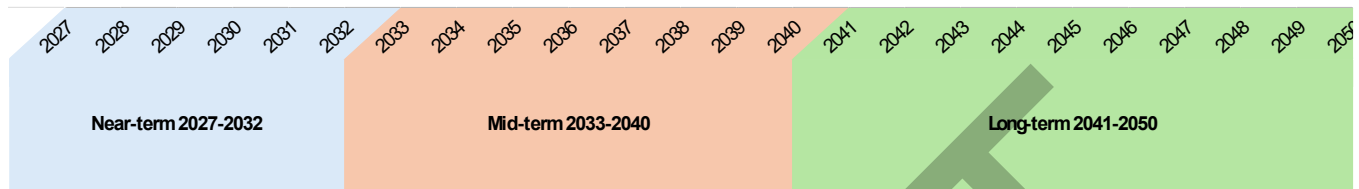
Timeline for Capital Planning

The Capital Investment Strategy includes project information and revenue projections for 2025-2050. The year 2050 defines the overall CIS planning horizon, consistent with vision descriptions and growth projections contained in the Comprehensive Plan. The CIS time horizon is then divided into three time periods - near, middle, and long - as shown in Figure 5 below. As described in Chapter 2, future CIS updates may result in adjustments to durations of one or more periods as time advances toward 2050.

Time periods are established to address uncertainty about specific project information in the outer years of the CIS. While the CIS cites the best available information, sometimes the timing is uncertain, and only the preferred or required sequencing is known, which is still useful information.

The Capital Investment Strategy can inform project identification and budget deliberations by providing a longer-term view of how expenditures will shift over time to address major initiatives and citywide needs. Chapter 2 provides further detail on this.

FIGURE 5: CAPITAL INVESTMENT STRATEGY TIMELINE



How this Document is Organized

Vision Blueprint is organized to be consistent with Growth Management Act requirements for capital facilities and utilities planning, as well as the City’s requirements, best practices, and procedures for planning. Each chapter can be read and referenced individually, but it is important to review the entire document during budget and capital investment planning to ensure alignment. The document is organized as follows:

Chapter 1 places the CIS in the context of Redmond’s existing capital program.

Chapter 2 presents significant capital projects and anticipated costs during each time period through 2050 for the City, as well as information regarding capital programs and costs.

Chapter 3 describes major revenue sources, current funding requirements and practices, projected revenues compared to anticipated costs, and potential funding alternatives.

Chapter 1

Building on a Solid Foundation

This chapter highlights Redmond's current infrastructure and service standards, as well as recent accomplishments in each functional area. This chapter has two parts:

- Accomplishments
- Redmond's Infrastructure Today

About level-of-service standards

Level-of-Service standards are adopted into the Comprehensive Plan and shown in policy CF-6.

Service standards are a yardstick for measuring the safe and reliable performance of capital facilities. Service standards may be defined in law, as with water and sewer systems and facilities; be recommended by professional associations, as with parks; or be locally defined based on community preferences, such as policing standards. Once service standards are established for capital facilities, they become requirements that guide the type and level of investment needed to maintain them. Increased population and employment may require greater capital investment to maintain service standards.

Asset Management Plans (AMPs) for each functional area will document asset conditions and the level of service each asset class is expected to deliver, and identify what investment is needed to sustain services over time. AMPs are expected to be published in 2027.

Accomplishments

Redmond's quality infrastructure results from implementing current and past functional plans and making the investments needed to maintain service standards and advance the City's vision. Recent accomplishments speak to Redmond's current priorities and suggest upcoming areas of focus. This section highlights improvements since the previous Blueprint 2030 was adopted in 2013.

General Government Facilities

Major accomplishments for government facilities occurred in Parks and Fire functional areas and are noted in their respective sections.

- Public Safety Building Phase 1 – shell and seismic retrofit.

FIGURE 6: REDMOND PUBLIC SAFETY BUILDING



Fire Facilities

Capital assets for Redmond's Fire Department include equipment and facilities. Projects completed since 2013 include:

- Fire Station 17

FIGURE 7: FIRE STATION 17



Parks

Since 2010, the City Council has adopted three updated versions of the PARCC plan, with the most recent adopted in 2023. In the current PARCC Plan, the park system was assessed using the Washington Recreation and Conservation Office's (RCO) level-of-service metrics. Public satisfaction with both parks and trails was high, and the biggest gap identified was access to parkland within a half-mile travel shed. The development of several City parks will improve the distribution rating. As of 2023, 54% of households were within a half mile of a developed City park, and 70% of households were within a half mile of trail access. Acquisition of parkland in Overlake remains a priority. Updating park impact fees and identifying new funding sources will support future acquisitions. Park projects include acquisition, master planning and design, park development, park redevelopment and maintenance, trail development, and recreational facilities.

Key accomplishments since the 2013 Blueprint include:

Acquisition

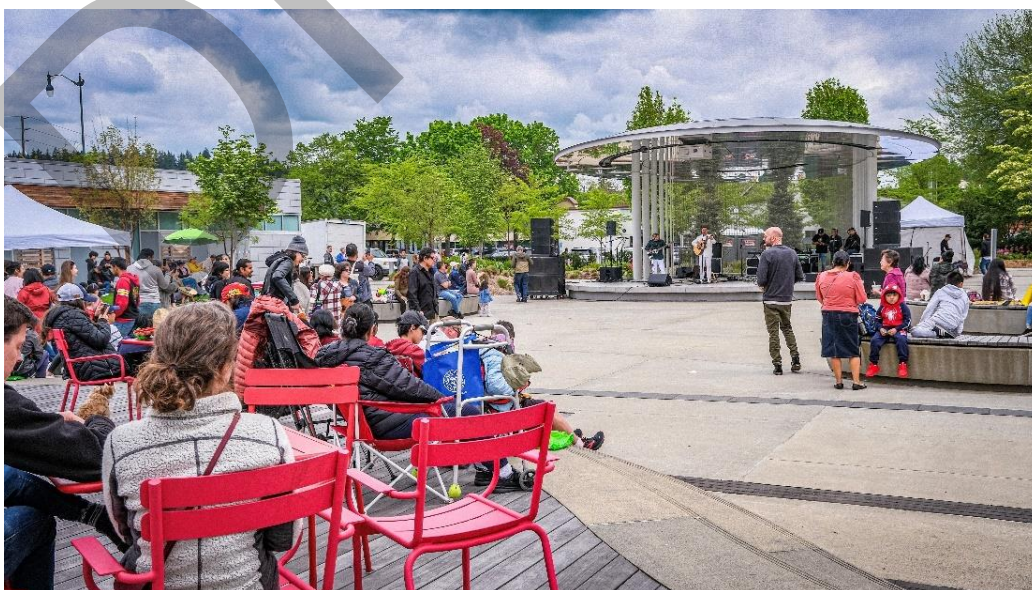
- Redmond Community Center at Marymoor Village (2025)

Park Development

- Downtown Park

Redmond's Downtown Park was opened in 2018 after 3 years of development, including master planning, property acquisition, and construction. It serves as Redmond's signature destination and creates a place for community members to gather and celebrate. It is a vibrant community space that encourages special events, arts, music, and fun. The enhanced pedestrian environment in and around the 2-acre park stimulates economic activity in the neighborhood.

FIGURE 8: DOWNTOWN PARK



Park Redevelopment and Maintenance

- Community Garden Expansion
- Demonstration Dog Park
- Grass Lawn Parking Lot
- Hartman and Grass Lawn Turf Replacements
- Meadow Park and Reservoir Park Court Resurfacing
- Hartman Park - Bike Park Renovations

Trail Development

- Redmond Central Connector Phases 2 & 3 (2017 and 2014)

The Redmond Central Connector (RCC) is a 3.9-mile trail corridor envisioned as the artery of the City, linking Sammamish, Redmond, and Kirkland and knitting together Redmond Town Center, historic Downtown, the Grass Lawn neighborhood, and the Willows business district.

The City purchased the property in 2010 as part of a regional partnership to develop a regional trail system, which is part of the larger 42-mile Eastrail. The RCC trail connects the East Lake Sammamish, Bear Creek, Sammamish River Trails, and the Cross Kirkland Corridor north of NE 124th Street. The first phase, through downtown Redmond, was completed in 2013.

FIGURE 9: REDMOND CENTRAL CONNECTOR GRAND OPENING - SEPTEMBER 2025



Recreation Facilities

- Redmond Senior and Community Center
- Redmond Community Center at Marymoor Village
- Redmond Pool Renovation

FIGURE 10: SENIOR & AND COMMUNITY CENTER - OPENING DAY MAY 2024

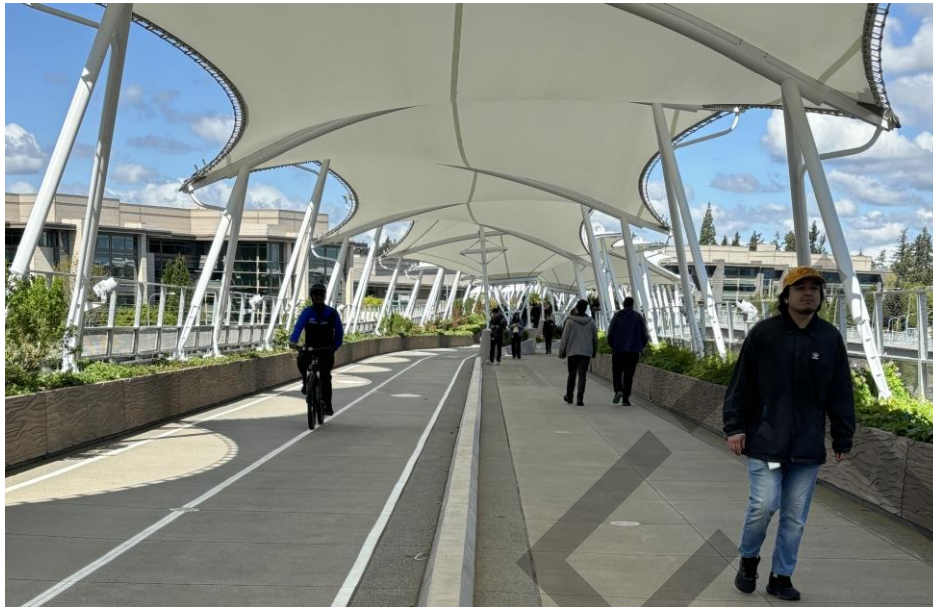


Transportation

Major transportation projects completed in Redmond since 2013 include:

- East Link light rail stations and vicinity improvements
 - Light rail has significantly improved Redmond's connection to the region for those who choose to move without a car. The City partnered with Sound Transit to construct the new DaVinci Ave in front of Overlake Village Station, featuring a large pedestrian plaza for station access.
- Redmond Technology Station Pedestrian and Bicycle Bridge
 - This pedestrian and bicycle bridge provides a comfortable, direct connection across SR 520 and 156th Ave, separating users from traffic on these busy roads. It also includes a direct connection to the Redmond Technology Station.

FIGURE 11: RTS PEDESTRIAN BRIDGE



- Overlake Pedestrian and Bicycle Bridge
 - This bridge provides a connection for two portions of the Overlake neighborhood that SR 520 has historically separated. Pedestrians and bicyclists now have a direct, comfortable route to jobs, services, and transit.
- Redmond Central Connector
 - The Redmond Central Connector provides trail users with a high comfort facility, with access to amenities and recreation opportunities through the Downtown core and connections to Kirkland, Woodinville, Sammamish, and Issaquah.
- Phase 1 of NE 40th St Shared Use Path (SR 520 to NE 163rd St)
- 156th Ave Cycle Track (28th St to 31st St and 36th St to 40th St)
- 152nd Ave Main Street Project
- SR 520 Trail Undercrossing at NE 40th Street
- Downtown couplet conversion
- Cleveland St. pedestrian scrambles

FIGURE 12: PEDESTRIAN SCRAMBLE AT CLEVELAND ST. & 166TH AVE NE



The 2022 TFP includes 65 projects and 12 programs. A total of 28 of the 65 projects in the TFP (43%) have been completed (most by the City and some by developers and outside agencies), along with proportional progress on the programs. Four additional projects are partially constructed and five of the remaining incomplete projects are partially designed.

Opportunities ahead are detailed in the 2026 Transportation Master Plan, which includes a 2050 Transportation Facilities Plan. The plan lists all the transportation needs and opportunities for the future. Themes include:

- Prioritizing the comfort, safety, and convenience of people using pedestrian and bicycle facilities over other users of the transportation system, per Redmond 2050 policy TR-13, will require changes to street design and operations that may impact the convenience of driving.
- Connecting people to light rail with convenient and frequent transit service and high comfort pedestrian and bicycle facilities will alleviate congestion and maximize the return on investment.
- New technologies such as autonomous vehicles, drones, and micro-freight have the potential to reduce congestion and emissions, but must be locally regulated to mitigate potentially negative impacts.

Water

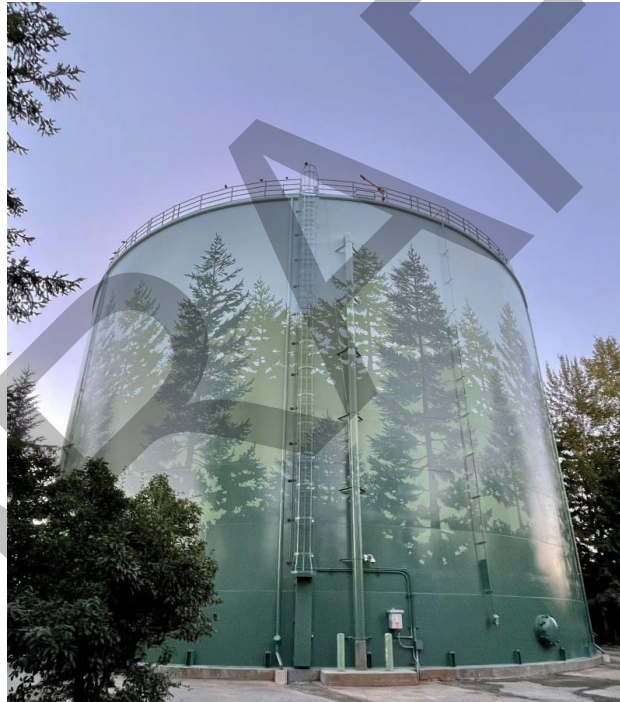
Over the past decade, the Water Utility has been upgrading the City's supply and distribution systems. Highlights include completion of the Southeast Redmond Transmission Main, seismic upgrades, recoating of the Southeast Redmond Tank, replacement of aging variable-frequency drives at the wells, upgrades to pressure-reducing valves, and improvements to telemetry. Redmond

participates with Cascade Water Alliance in securing a future source of supply, including the construction of a new supply meter connecting to the regional water supply system.

Several water main extension and replacement projects were also completed in conjunction with road improvement projects.

The City's water infrastructure continues to meet growth demands through extensions and replacements, driven by development projects and other system upgrades. The Water Utility's emphasis over the next few years will be on refurbishing older infrastructure. This includes programmatic replacement of aging asbestos-cement (AC) pipes and upgrades to some wells to maintain performance and provide additional treatment to meet emerging water-quality requirements, such as PFAS levels. A pre-design study has been completed for Well 4, and a capital project to rebuild or relocate the well is anticipated to be scoped for inclusion in the 2029-2034 CIP.

FIGURE 13: SE REDMOND WATER STORAGE TANK



Wastewater

Capital improvements have included the complete reconstruction of Lift Stations 12 and 13 to allow for increased density in the Marymoor area, as well as upgrades to Lift Stations 5, 6, 8, 11, 15, and 18.

The Wastewater Utility's emphasis over the next several years will be on providing infrastructure to support planned growth in urban centers. This includes upgrades to lift stations and conveyance systems to provide adequate capacity. The City is in the process of establishing a septic-to-sewer

program to eliminate septic systems by providing wastewater mains in areas currently not served by the City. Images below show completed Lift Station 13 and staff training on the new control room.

FIGURE 14: LIFT STATION 13 (MARYMOOR)

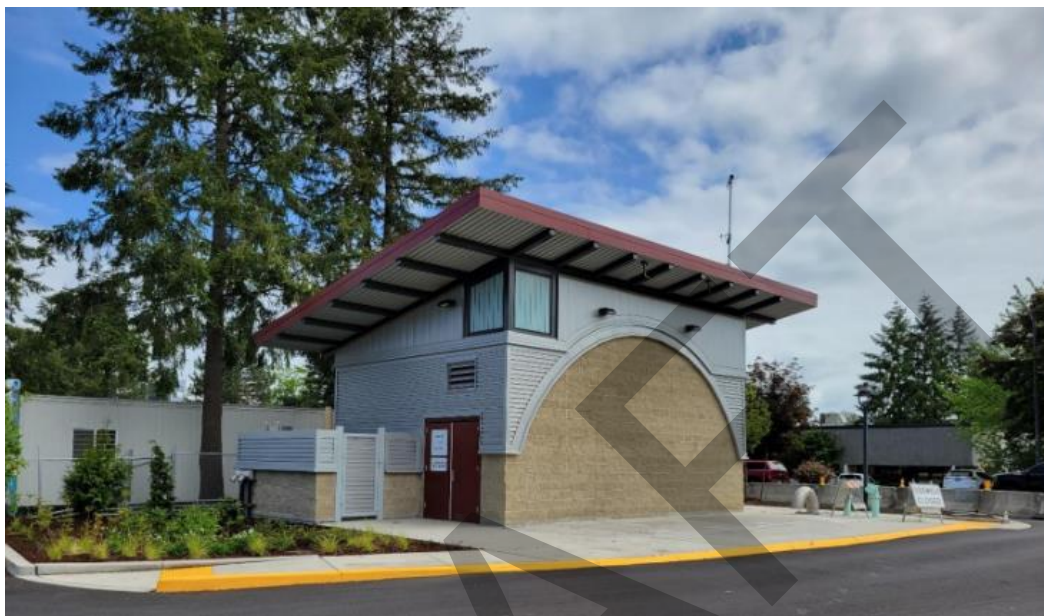


FIGURE 15: LIFT STATION 13 CONTROL ROOM



Storm and Surface Water

Continuing efforts to minimize flooding in the City, the current focus of the stormwater capital facilities program is stormwater management goals that provide clean, cool water that is safe for human contact, healthy for fish and wildlife, regulatory compliant, and aesthetically pleasing. Stormwater has been identified as a major contributor to the pollution of urban streams, lakes, and the Puget Sound.

Regional Facilities

Significant progress has been made towards implementing the regional facilities plans in Downtown and Overlake. The regional facilities will manage most stormwater requirements for new development in the basins, as well as retrofit existing development with little to no flow control or water quality treatment to current standards.

In Downtown, the Redmond Way water quality project was constructed in 2015. This project provides increased conveyance capacity for the Sammamish River and water-quality treatment for approximately 270 acres that currently receive little or no treatment. One additional water quality project at NE 85th Street is in the 2025-2030 CIP.

In Overlake, two of three planned regional facilities have been constructed. In 2015, the South Detention Vault, serving 90 acres, was constructed. In 2021, the Overlake Village Infiltration Vault was constructed. The Overlake Village Infiltration Vault provides treatment and infiltration for 94 acres. A third regional facility, planned between NE 24th St. and the Overlake Village light rail station, is likely not feasible as planned due to challenges in acquiring land. The City will need to explore alternative means to serving stormwater treatment and infiltration demands.

FIGURE 16: OVERLAKE VILLAGE STATION INFILTRATION VAULT



To maximize the value of regional facilities for future development, staff must continue to work with the Department of Ecology to demonstrate how the facilities will meet current and future Ecology requirements. This will entail a systematic evaluation of the regional programs when regulations change. Regional facilities will be a significant focus of the Stormwater capital program to accommodate anticipated growth and redevelopment in urban centers, as well as to retrofit large areas of the City.

Redmond's Infrastructure Today

General Government Facilities

The City owns, leases, and operates several other capital facilities to provide administrative, maintenance, or specialized services. Facilities include Redmond City Hall and Public Safety Building, located within Redmond's Downtown Municipal Campus, and the City's Maintenance and Operations Center (MOC) located in Southeast Redmond. MOC personnel conduct repair and maintenance activities on the City's entire capital infrastructure and provide fleet management services for more than 250 pieces of rolling stock and 150 pieces of equipment.

In addition, park facilities, public safety, and fire facilities are managed as part of the city's General Government facilities portfolio within the CIP and budget. Public Safety and Fire facilities are described below. Park facilities are described in the Parks and Recreation section below.

Redmond's Planning Department also oversees two capital programs in the General Government category: the ARCH Housing Trust Fund and Affordable Housing Development. Redmond and the 15 other local jurisdictions that are members of ARCH (A Regional Coalition of Housing) participate in funding the ARCH Housing Trust Fund. The trust fund, created in 1993, is capitalized by local general funds, local sales tax (which is offset against the state sales tax and results in no tax increase to the consumer), and locally controlled, federal Community Development Block Grant (CDBG) funds. The trust fund process allows ARCH members to jointly administer their housing funds and take advantage of the best available opportunities to create affordable and special needs housing throughout East King County. Affordable Housing Development is funded from the General Fund.

Level of Service standards

- *Facilities that are safe and meet all applicable health, safety, and accessibility standards.*
- *Facilities that are properly sized, designed for their intended purpose, and evolve to meet future demands, such as population growth, expanded infrastructure, and changes in regulatory requirements.*
- *Critical facilities are built or upgraded to standards that increase the likelihood that vital services continue in the event of a disaster.*
- *Constructed to support the equitable provision and use of facilities for all users.*

Fire Facilities

The Redmond Fire Department serves the City of Redmond and Fire District 34, providing a full range of fire suppression and emergency medical response services. The Fire Department's seven stations serve an area of approximately 47 square miles.

The Department's mission is to continuously protect and preserve life and property through quality education, prevention, disaster preparedness, and rapid emergency response within the City of Redmond and King County Fire District 34. The Department also provides emergency medical services at the "Basic Life Support" level and is the lead agency for Northeast King County Medic One to deliver "Advanced Life Support".

Level of Service standards

Service standards for Fire protection and emergency management response, including the City and Fire District #34, include a travel time of six minutes or less for 90 percent of emergency fire and medical calls in the City.

Police

The Redmond Police Department provides public safety services, community outreach, and plans capital facility improvements and equipment to ensure quality public safety. Policing is carried out in partnership with the community through long-term problem-solving, crime prevention, and law enforcement, and the Redmond Police provides backup for surrounding jurisdictions. The Police Department's primary capital facility is its operations center located in the Public Safety Building on the Municipal Campus.

Level of Service standards

- *Police capital facility needs are associated with police services, general operations, special operations, and support services. The service standard is to have facilities and equipment sufficient to meet the demand for police services and to meet the needs of staff assigned to service delivery.*
- *Ensure emergency response times meet community expectations and call response types.*

Parks

Redmond's Parks Department is responsible for planning and operating Redmond's parks, recreation, and arts system. Redmond's park system includes three recreation centers and 47 parks. Individual facilities include a range of neighborhood, community, and resource parks, as well as a network of trails used for transportation and recreation. There are more than 40 miles of trails in Redmond that have been constructed by the City, King County, and Washington State Department of Transportation. Private parks and trails are also owned and maintained by entities such as homeowner's associations.

The three recreation centers operated by the City are the Redmond Senior and Community Center, the Redmond Community Center at Marymoor Village, and the Redmond Pool. The Old Firehouse Teen Center closed in 2025 due to deteriorating conditions; a new teen center is planned to be built on the same site.

Level of Service standards

The City’s parks, arts, recreation, culture, and conservation service standards are considered in light of the National Recreation and Park Association’s (NRPA) Park Metrics – a variable metric designed to take into account a community’s unique needs. Current key NRPA Park Metric median values are as follows

Category	Benchmark
Park Access	10-minute walk access goal (used by NRPA & Trust for Public Land)
Number of Parks per 10,000 Residents	9.9 per 10k residents
Acres of Parkland per 1,000 Residents	10.8 acres/1,000
Residents per Park	~2,200 residents per park
Median Park Size	5 acres
Operating Expenditures per Capita	~\$96 per resident annually
Full-Time Employees per 10,000 Residents	8.3 FTEs
Revenue Recovery (Cost Recovery)	24% of the operating budget is typically recovered through fees

The Redmond 2050 Comprehensive Plan notes the following LOS standards for parks and recreation facilities:

Provide recreational opportunities for all residents through sufficient and equitably distributed parks, trails, and recreational facilities.

- *Percent of households within a ½ mile of developed city park*
- *Percent of households within a ½ mile of trail access.*
- *Acreage of parkland per capita.*
- *Recreation and Conservation Office (RCO) Level of Service Metric*

The *Parks, Arts, Recreation, Culture, and Conservation* plan is the functional plan for Redmond’s park system, and describes the service standards in greater detail.

Transportation

Redmond is served by a wide variety of transportation facilities, ranging from multi-use trails and sidewalks to a network of major arterial and freeway facilities and light rail. The transportation system in 2025 includes 366 lane miles of roadway, 230 miles of sidewalk, 112 traffic signals, over 2,000 city-owned streetlights, and 9,275 street signs. Redmond’s transportation system is also supported by

programmatic initiatives, such as GoRedmond, Commute Trip Reduction, transit service partnerships, and parking management, designed to encourage more efficient use of transportation infrastructure. Together, these facilities and programs support the City's land use vision by developing and maintaining a sustainable, clean, accessible, safe, and efficient transportation system that moves people and goods.

Public transit facilities in Redmond are operated by King County Metro and Sound Transit and include four light rail stations, four park-and-ride lots, two transit centers, and numerous transit stops. The Washington State Department of Transportation is responsible for the development and maintenance of the SR 520 corridor and has limited maintenance and development responsibilities for SR 202 in Redmond.

Level of Service standards

Transportation service standards help identify the need for programs and projects that support new growth and serve people already living and working in Redmond. Redmond has adopted a service standard that seeks to balance mobility and access demands from existing and future development with investments in the transportation system, ensuring these investments are proportional or concurrent with the demands on the system. This mobility-based concurrency approach, further described in the Transportation Master Plan, ensures that the transportation system supports the City's land-use vision and that the City meets state requirements for establishing service standards.

In addition, the mobility-based service standard is intended to expand travel choices and achieve a multimodal travel environment. Programs, projects, and services in response to existing and growth-related travel include improving access and connections, motor vehicle operations, public transit service levels, the walking and bicycling environment, and transportation demand management, among others.

Water

Water facilities serving the City of Redmond and the Novelty Hill Service Area are developed and maintained by the City's water utility, within the Public Works Department, which is responsible for developing and maintaining service standards. Water is supplied through a combination of local City-owned wells and water purchased from Cascade Water Alliance.

Redmond's water system consists of five well sites, ten water storage tanks, and 340 miles of water pipe, serving residential and business customers through 20,100 meters. The City also owns 83 monitoring wells in the aquifer's critical recharge areas. Several facilities are jointly owned with the cities of Bellevue and Kirkland.

Level of Service standards

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Wastewater

Wastewater facilities serving the City of Redmond and the Novelty Hill Service Area are developed and maintained by the City's wastewater utility within the Public Works Department. Public Works is responsible for developing and maintaining service standards for the wastewater utility. The City, through its wastewater utility, is the main provider of sewer service within city limits. A limited number of parcels receive wastewater service from neighboring jurisdictions through interlocal agreements. In addition, some properties are still served by septic tank systems. The Redmond sewer system consists of a network of conveyance pipes and pumping facilities, including 226 miles of sewer line and 22 lift stations. The system works primarily on a gravity-feed basis, with some assistance from lift stations.

Larger transmission mains carry waste to King County interceptors, with sewage ultimately treated at King County's Brightwater treatment plant for most of the City and Novelty Hill Service Area, and at the South treatment plant for a portion of Overlake.

Level of Service standards

The service standard for Redmond's sanitary sewer system is set to allow the collection of peak wastewater discharge, along with infiltration and inflow. The service standard is further described in Redmond's *General Wastewater Plan*.

Storm and Surface Water

The City's Public Works Department ensures that stormwater and surface water systems are properly planned, developed, and maintained.

The stormwater utility currently maintains several planning documents that guide its stormwater and surface water management objectives. The planning documents include 20 watershed plans to improve the water quality and habitat conditions in all of Redmond's streams, compliance with the City's National Pollution Discharge Elimination System (NPDES) Permit, and a Stormwater and Surface Water System Plan, a functional plan consistent with facility planning policies in the Comprehensive Plan, and which will be adopted as part of the Comprehensive Plan in 2027.

Public Works inspects multiple public and private drainage and stormwater facilities to ensure these systems are maintained and functioning as designed. There are more than 300 miles of public stormwater pipes in the City, more than 50 miles of surface waters (such as streams), more than

11,900 catch basins and manholes, and over 300 stormwater control vaults (detention/retention and water quality). Goals for the stormwater systems are to:

- Convey water runoff from common storm events so that the utility of streets, sidewalks, and public lands/facilities is not adversely impacted.
- Provide for system overflow during significant storm events to minimize impacts to buildings and property.
- Provide treatment facilities to remove pollutants.
- Provide for natural systems that are stable and maximize the habitat value.

The Stormwater Utility also manages and performs street sweeping throughout the City. Street sweeping improves water quality by removing pollutants such as debris, oils, and heavy metals before they enter stormwater systems and waterways. Street sweeping also prevents sediment buildup, which reduces the risk of flooding. Minimizing harmful runoff from regular street sweeping supports healthier water and reduces pollution to Redmond's rivers, lakes, and streams.

Level of Service standards

Level-of-service standards established for stormwater and surface water facilities, as identified in the Redmond 2050 Comprehensive Plan, note:

- A level that permits flood and erosion control for the appropriate rainfall duration and intensity to ensure the safety, welfare, and convenience of people and property in developed areas.
- A level of stormwater treatment and detention that adequately protects surface and groundwater quality and is protective of habitat for fish and wildlife, including fish passage through all fish-bearing streams.
- A stormwater system that is designed and maintained to meet NPDES permit requirements.

Chapter 2

Redmond's Infrastructure Needs

What this chapter does

This chapter describes Redmond's major capital project needs by time period, and anticipated costs if available. As costs were taken from multiple sources and developed at different times, these should be considered as high-level planning estimates to support future revenue forecasts and project prioritization.

This chapter also establishes principles to help consider proposed capital projects against not just the service standards of the functional area, but also the needs of the entire City.

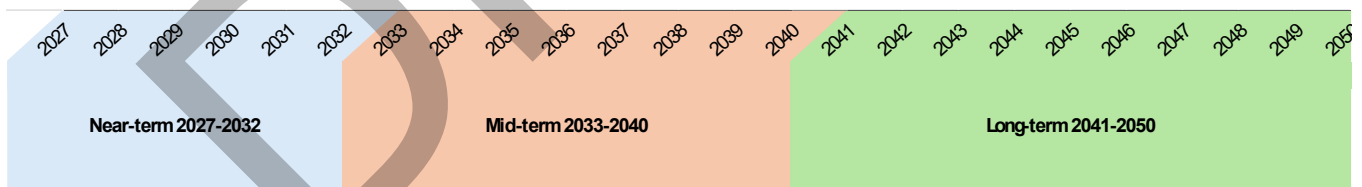
Capital investment time periods

The Capital Investment Strategy timeline corresponds with the Comprehensive Plan's time horizon and vision for the future. The Comprehensive Plan extends to 2050; in the future, as the City extends the Comprehensive Plan horizon as part of periodic major updates, corresponding updates will be made to the CIS horizon.

The 25 years covered in the CIS are grouped into three time periods - near, middle, and long.

- Near-term covers the years 2027-32
- Mid-term covers the years 2033-40
- Long-term covers the years 2041-50

FIGURE 17: CAPITAL INVESTMENT TIME PERIODS



Vision Blueprint - Capital Investment Strategy Principles

The Vision Blueprint includes a set of principles to help consider proposed capital projects against not just the service standards of the functional area, but also the needs of the entire City. This allows projects from different functional areas to be considered side-by-side to determine appropriate sequencing to carry out Citywide principles. The intent of the principles is to provide both a framework for project sequencing and flexibility to accommodate new opportunities, such as funding from grants or partnerships.

Value for investment: Achieve high value for the dollars invested and demonstrate efficiency in cost, timing and approach. Leverage actions and resources by others - through partnerships, for example - to meet the strategic and evolving needs of the City.

Level of service standards: Meet safety needs, complete proactive maintenance to preserve existing investments, improve infrastructure to meet updated regulations and standards, and meet growth-related needs. Account for both the capital and maintenance costs associated with infrastructure investments.

Asset Stewardship and Renewal: Prioritize the timely replacement, rehabilitation, and modernization of aging infrastructure to ensure reliable service delivery and long-term system performance. Use data-driven asset management practices and advanced technologies, such as Supervisory Control and Data Acquisition (SCADA) systems, to monitor conditions in real time, identify critical needs, and reduce the risk of service disruptions. Extend the useful life of existing facilities wherever feasible while strategically investing in upgrades that improve automation, cybersecurity, and operational efficiency. Coordinate renewal efforts to minimize community impacts, improve system resilience, and align investments with current standards, regulatory requirements, and sustainability goals. Plan proactively for both near-term repairs and long-term capital replacement to protect public safety, support continued growth, and safeguard the City's infrastructure investments. The City's Municipal Asset Management Policy (MAMP), adopted October 21, 2025, and the Strategic Asset Management Plan (SAMP) establish how condition, risk, and lifecycle cost data are developed and used across all City departments to support these investment decisions.

Comprehensive Plan: Carry out the Comprehensive Plan, including adopted functional plans, and supporting the themes of sustainability, resilience, and equity and inclusion. Support Redmond's vision and land use plan with special regard to specific projects and priorities identified in the Comprehensive Plan.

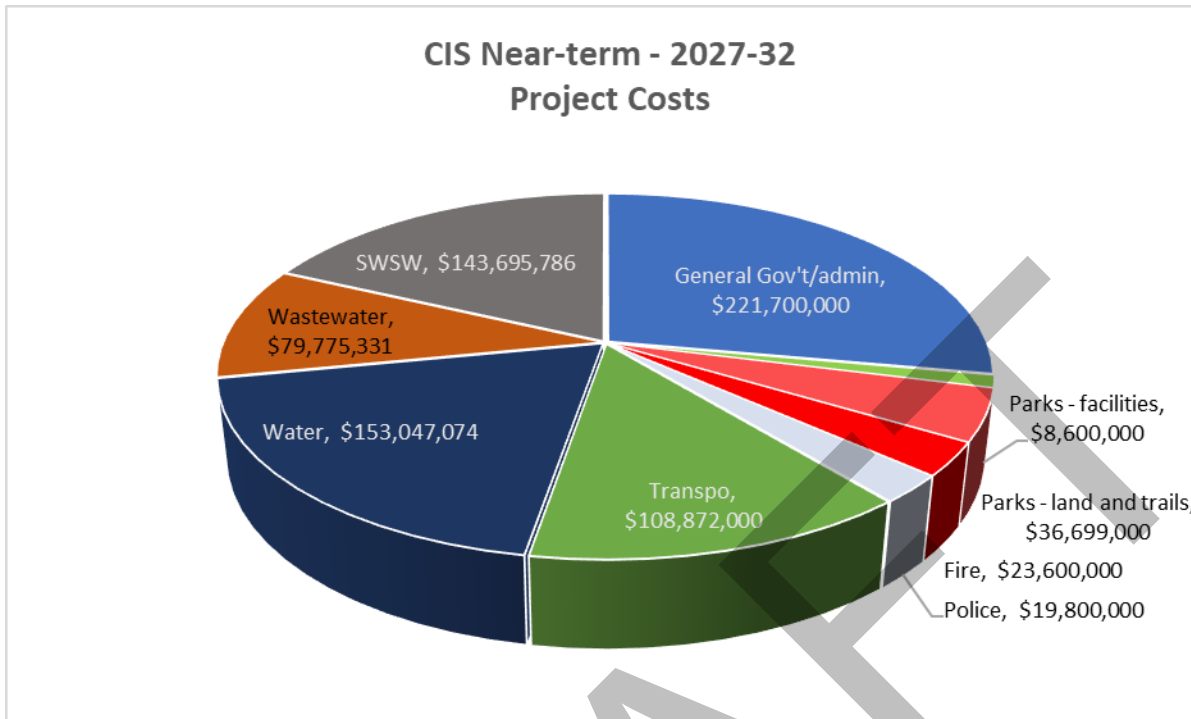
Summary of key improvements

This section describes anticipated City capital infrastructure investments divided into the three planning timelines to the year 2050. These projects are taken from adopted functional plans and are considered a snapshot of the period in which they were adopted. Updates to functional plans and studies will lead to revisions to the list in the future.

Near-term (2027 - 2032)

This period includes projects identified and budgeted for the 2025-30 CIP as well as near-term needs identified in adopted functional plans. Because the near-term CIS is substantially based on the adopted CIP, and in order for it to be as accurate a portrayal of the next CIP as possible, this planning horizon is the most financially constrained. The estimated costs for the near-term period are \$796 million.

FIGURE 18: CIS NEAR-TERM PROJECT COSTS



General Government Facilities

The 2025-30 budget allocates about \$257 million for general government facilities projects, including police and fire facilities. The bulk of this budget is for the proposed redevelopment of the Maintenance and Operation Center.

Other projects include:

- Purchase of a City Hall Annex in Overlake
- Sustainability projects, such as electric vehicle charging stations
- American with Disabilities Act (ADA) improvements

The near-term period also includes:

- The construction of a new Teen Center to replace the Old Redmond Firehouse Teen Center.

Fire Facilities

Fire facilities included in the 2025-30 CIP are:

- Fire Station 17 siding replacement
- Fire Station 11 repairs and installation of an electric vehicle charging station.

Police

The 2025-30 CIP includes funding for the Public Safety Building for mechanical and electrical improvements. The near-term period also includes heat pump replacements at the Public Safety Building.

Parks

Parks improvements in the 2025-30 CIP include about \$39 million in investments and include:

- Development of Southeast Redmond Park
- Idylwood Park Parking Lot Repairs & Frontage Improvements
- A new sports field at Grass Lawn Park
- Hartman Park Playground Replacement
- A permanent dog park at Luke McRedmond Park
- Completion of the Redmond Central Connector Phase 3
- Design work for the East Redmond Corridor

FIGURE 19: SE REDMOND PARK



Additional projects included in the near-term are:

- LED lighting conversions at Grass Lawn and Perrigo Parks

- Turf replacements at Grass Lawn, Hartman and Perrigo Parks
- Phase 2 of a Community Garden expansion
- Replacement of the restroom at Anderson Park
- East Redmond Corridor Phase 1 implementation

Transportation

The 2025-30 CIP for Transportation includes \$109 million for projects and programs, such as pavement management, sidewalk repairs, and pedestrian safety.

Projects include:

- 148th Avenue new northbound lane and trail from State Route 520 to 24th Street
- Cycle tracks on 156th Ave and 161st Ave
- New roundabout at Bel-Red Road and West Lake Sammamish Parkway
- A bike lane on Avondale Way between the Bear Creek trail and Avondale Road
- Pavement management projects on West Lake Sammamish Parkway, NE 24th St, and Avondale Road
- Replacement of the 95th St Bridge

Additional projects included in the near-term are:

- Bear Creek Bridge rehabilitation
- An expansion of the Downtown Adaptive Signals program
- 156th Ave NE buffered bike lanes (51st to 60th)
- 148th Ave NE Safety Corridor Project and Shared use Path
- West Lake Sammamish Pkwy multimodal improvements
- Old Redmond Rd. Paving, utilities, and separated bike lane

Water

Note that investments for the Novelty Hill service area are included in the water portfolio.

The 2025-30 CIP identifies about \$69 million in water project investments including water utility apportionment of Maintenance and Operations Center project. These include:

- Replacement of the joint use Kirkland South Reservoir tank
- Pressure Reducing Valve and Meter Replacement project
- Asbestos water main replacements (miscellaneous locations)

- Novelty Hill Water Tank 1 - Repainting and Seismic Upgrades
- Extension of the Willow Road watermain
- Replacement of the 51st St watermain
- Booster Pump Station Upgrades (Education Hill, SE Redmond, Perrigo)
- Upgrades to control and telemetry systems for Novelty Hill water facilities.

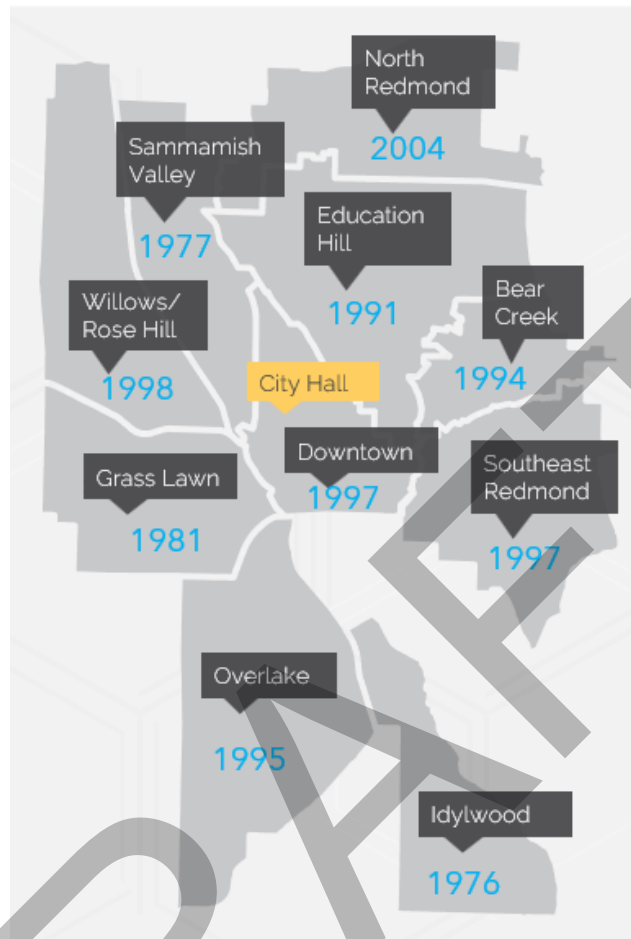
Additional projects included in the near-term are:

- Well 4 rehabilitation
- Water Quality Treatment for Supply Wells 1 and 2 (project not fully scoped, feasibility study in progress)
- Revisions to scope of existing projects to align with proposed transportation paving projects

Planning Water Improvements

The water utility is developing an Asset Management Plan to inform programmatic capital repair and replacements of aging infrastructure as renewal demand rises. The utility is also building a prioritization tool to rank pipe renewal and replacement projects based on condition and risk. The tool is anticipated to be deployed in 2028. On-going programmatic pipe renewal and replacement projects are included in the near-term time period to reflect investment needs for aging infrastructure. Figure 20 below shows median age of water infrastructure by neighborhood.

FIGURE 20: MEDIAN AGE OF WATER INFRASTRUCTURE BY N'HOOD



Wastewater

Note that investments for the Novelty Hill service area are included in the wastewater portfolio.

Wastewater projects in the 2025-30 CIP have investments of \$30 million and generally include upgrades to lift stations and wastewater utility apportionment of Maintenance and Operations Center project. Other projects include:

- Connection to King County Wastewater System - Avondale Road
- Wastewater Pipe Rehabilitation Project #2
- Upgrades to control and telemetry systems for Novelty Hill wastewater facilities.

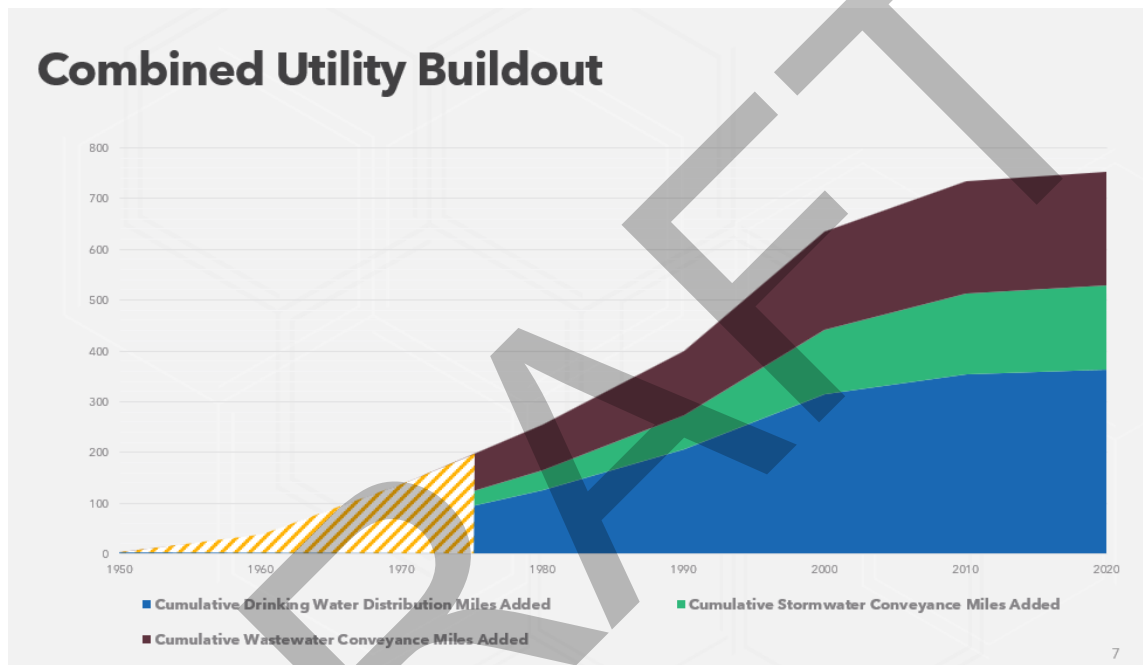
Additional projects included in the near-term are:

- Redmond Town Center Sewer upgrades to support planned redevelopment
- Sewer upgrades on NE 51st
- Wastewater pipe rehabilitations on West Lake Sammamish Parkway and on Education Hill.

Planning Wastewater Improvements

The wastewater utility is developing an Asset Management Plan to inform programmatic capital repair and replacement of aging infrastructure and a project prioritization tool to rank renewal and replacement projects which is anticipated to be deployed in 2028. Figure 21 below shows utility infrastructure by installation decade and infrastructure nearly at life expectancy.

FIGURE 21: COMBINED UTILITY BUILDOUT BY DECADE



Storm and Surface Water

Stormwater projects in the 2025-30 CIP include about \$73 million in investments, with more than half dedicated to the Evans Creek relocation project. Near-term funding also includes stormwater utility apportionment of Maintenance and Operations Center project. Other projects include:

- 9200 Ravine Stormwater bypass
- Miscellaneous projects involving culvert replacements, stormwater pond repairs and corrugated metal stormwater pipe replacements

Additional projects included in the near-term are:

- Bear Creek Habitat enhancement
- Water quality facility on NE 85th St
- A stormwater main and trunk line at 95th near Sammamish River

Public Works is also proposing several programmatic projects for the near-term period for efficient management and maintenance of existing stormwater infrastructure. The programs will drive stormwater pipe renewal, fish barrier removal, small drainage repair, and small stream habitat improvements.

Planning Stormwater Improvements

The City will continue efforts to be early implementers of innovative techniques and technologies that help achieve its goals quickly and cost effectively, as well as being competitive for grant funding, and partnering with other City divisions on projects with multiple benefits. Transportation retrofits are a good example of partnering opportunities as most roads have no flow control or water quality treatment. These projects offer opportunities for low impact development techniques such as bio-retention (rain gardens), infiltration, pervious pavements, and minimizing runoff through removal of pavement. The City will continue to need to examine stormwater management regulations and capital improvement objectives in response to state and federal requirements and in support of Redmond's sustainability principles.

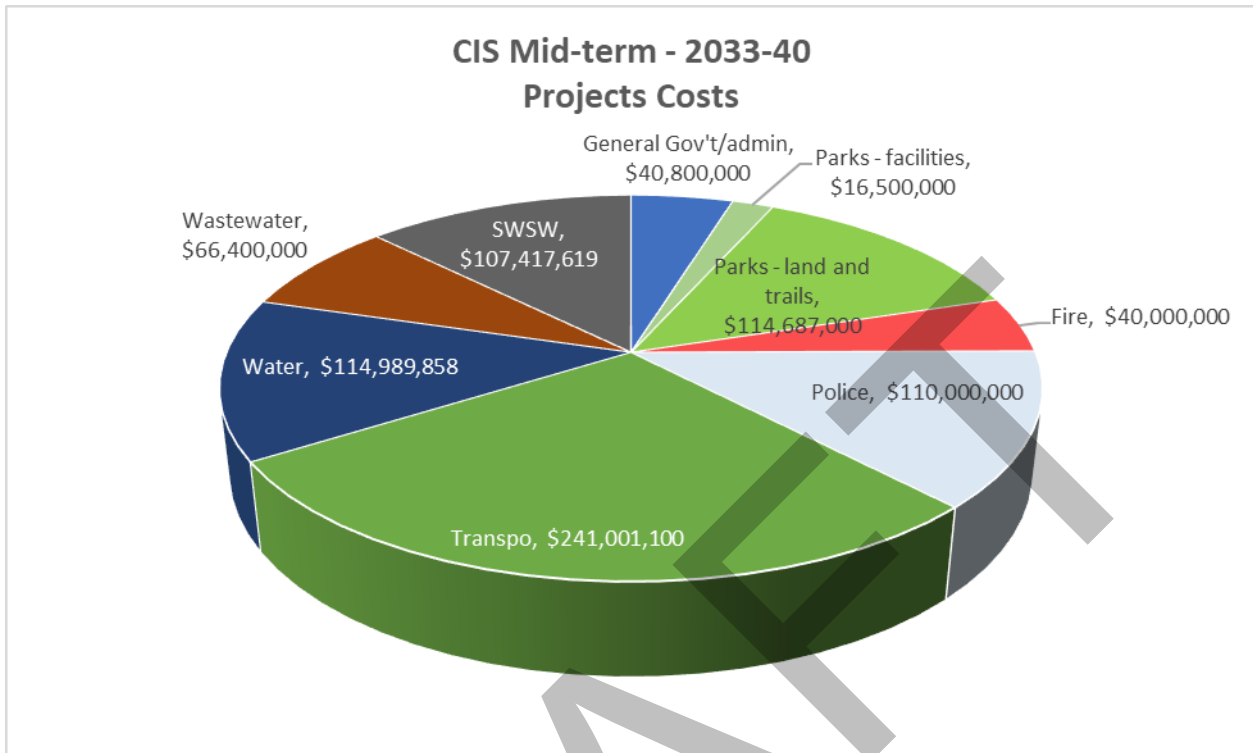
Staff recently reevaluated the prioritization criteria for capital projects to bring them in line with the division performance measures - integrating the runoff reduction, flow control, and water quality treatment needs of each drainage area. On the infrastructure side, a new asset management system is in development that will allow the systematic programming of capital repair and replacement as renewal demand rises.

Mid-term (2033-2040)

Projects identified for the mid-term planning period were identified from adopted functional plans. Project costs and revenues are identified at a high level to support future planning. As functional plans are updated these projects will be reevaluated. During this period the Redmond Comprehensive Plan will also be updated, requiring a reevaluation of the CIS and project needs to align with the updated plan's vision and goals.

There are about \$851.8 million in proposed investments for this period. These are broken down for each functional area in the table below.

FIGURE 22: CIS MID-TERM PROJECT COSTS



General Government Facilities

Four projects estimated at \$40.8 million are identified in the mid-term CIS for general government facilities. Proposed investments include costs of maintenance and renovations occurring during the planning period.

- City Hall lifecycle renovations
- Maintenance and Operations Center on-going maintenance
- Land acquisition for an Overlake Community Center

Fire

Proposed Fire Department investments for this period are estimated at \$40 million and are focused on land acquisition and construction costs a new Fire Station 12.

Police

This period envisions a new Public Safety Building with cost estimated at \$110 million.

Parks

The proposed CIS for Parks did not distinguish between mid- and long-term; instead, planning was for 20-year investments. Over 40 parks and trails projects were identified with an estimated investment of \$115 million. Park projects were broken down into three areas, excluding community centers, identified above in general government facilities:

East Redmond Corridor

- Farrel-McWhirter Renovation
- Arthur Johnson Park Design & Development
- Conrad Olson Park Design & Development
- Juel Park Design & Development
- Martin Park Design & Development

Urban Parks and Plazas

- Marymoor Village urban park or plaza development
- Overlake urban park or plaza development
- Downtown linear park or plaza acquisition and development

Park Development and Enhancements

- Sammamish Valley Park Development
- Dudley Carter Park Renovation
- Cascade View Park Expansion

Community Centers

- Overlake Community Center

Trail Projects

- Marymoor to Idylwood Park on West Lake Sammamish Parkway
- Various PSE Powerline Trail improvements
- Buildout of the East Redmond Corridor Trail network
- Nike Park trail improvements
- Miscellaneous neighborhood connections

Transportation

The Transportation Master Plan identified 42 projects with a cost estimate of \$241 million during the 2033-40 CIS planning period. Projects include:

- Redmond Way widening, which would add a second westbound lane and parking on the north side of Redmond Way between 168th Avenue and 166th Avenue.
- Multiple projects to construct and upgrade streets in accordance with Overlake Village Design Standards.
- Multiple cycle tracks and other multimodal pedestrian corridors.
- Upgrades to the road and pedestrian network in Marymoor Village.
- Widening 187th Ave NE between Redmond way and East Lake Sammamish Parkway.
- In North Redmond, construct a new traffic signal or roundabout at 124th Ave NE and 162nd Pl NE.

Utilities

All utilities (Water, Wastewater, and Stormwater) are in the process of developing Asset Management Plans and tools to prioritize programmatic capital repair and replacements of aging infrastructure as renewal demand rises. It is anticipated that additional renewal and replacement projects will be identified for the 2033-2040 CIP.

Water

The water utility projects were divided as either 6-year CIP or long-term in the Water System Plan. For the purposes of capital investment planning projects are identified in funding as mid-term projects until additional assessment can determine which projects can be delayed until 2041 or beyond. Mid-term projects include about \$115 million in investments and include:

- Continued programmatic pipe replacements to renew aging infrastructure.
- Well equipment upgrades
- An additional 7.4-million-gallon water storage facility on Education Hill
- Aging water main replacements
- Novelty Hill Water Tank 2 - Recoating and Seismic Upgrades
- Rehabilitation or relocation of Supply Well 4

Wastewater

The General Wastewater Plan identified on-going programmatic projects to extend wastewater lines to connect septic systems in the wastewater service area and seven projects totaling \$66 million for the period beyond 2032. These do not include developer projects. Projects include:

- Lift Station No. 8 Rehabilitation Gravity Alternative (NE 111th St to 167th Ct NE)
- Lift Station No. 15 Gravity Sewer Replacement project

Storm and Surface Water

For the mid-term time period, on-going programmatic projects to drive stormwater pipe renewal, fish barrier removal, small drainage repair, and small stream habitat improvements are included as well as, nine projects estimated at about \$107 million were identified for the 2033-40 period. Not all projects had cost estimates identified. Projects identified for this period include:

- Overlake Regional Stormwater - Bellevue bypass
- Sammamish River Habitat Enhancements 90th to Willows
- Bear Creek enhancements: rehabilitation and acquisition projects
- Monticello Creek South Fork channel realignment and rehabilitation
- 116th Culvert and Stream Relocation at Mosaic Meadows

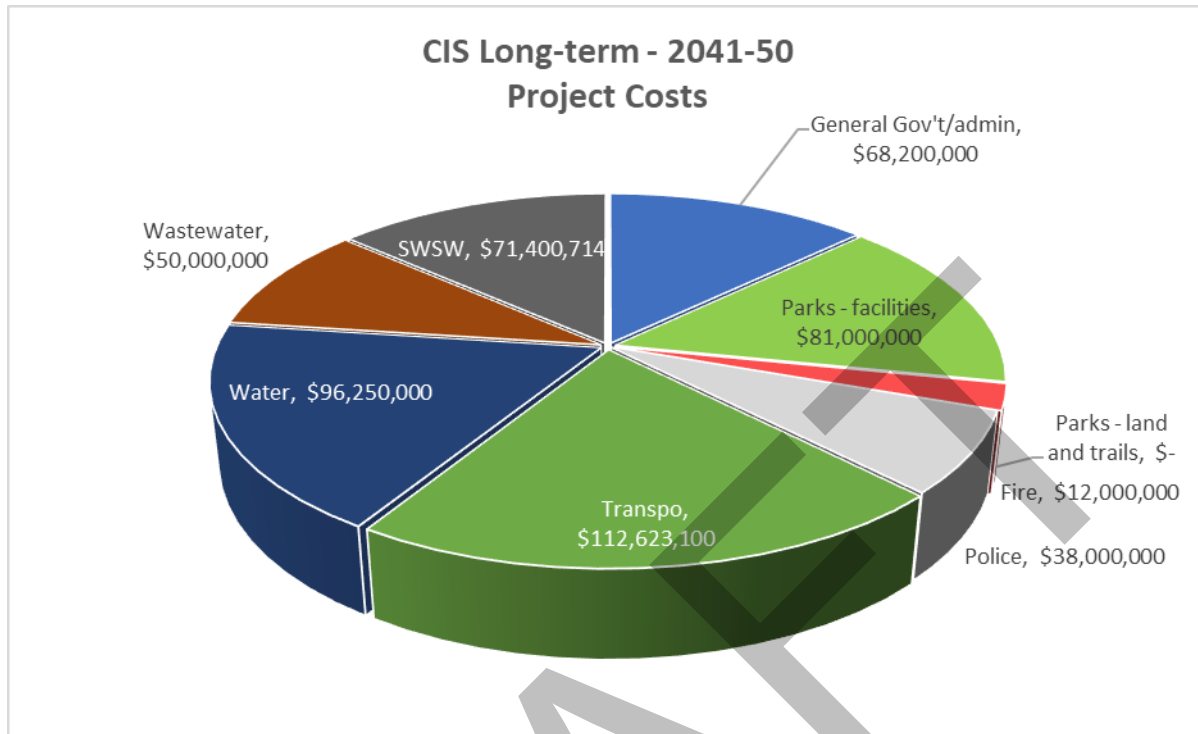
Long-term (2041-2050)

The long-term time period is the final period of the 25-year CIS horizon. Long-term projects include those that were not a funding priority in the mid-term; were appropriate to sequence with expected development activity, population and employment growth, and regional investments; or are based on anticipated infrastructure replacement needs during this time period.

This is the least certain time period with respect to project scope, costs, and revenue projections. In that regard the long-term period acts as a placeholder for future needs as well as conceptual projects.

Project investments identified for this period total about \$529 million, as shown below. As noted in the previous section, some projects identified in the CIS mid-period 2033-40 may fall into the later years CIS period.

FIGURE 23: CIS LONG-TERM PROJECT COSTS



General Government Facilities

Investments for this period would relate to maintenance of existing facilities such as City Hall and the Maintenance and Operations Center.

Fire

Investments for this period include \$12 million for Fire Station 16 lifecycle renovations.

Police

Public safety investments for this period include a potential Overlake Precinct, estimated at \$38 million.

Parks

Investments in this period envision a new community center in Overlake, with a cost estimated at up to \$81 million. For other park projects, refer to the section on medium-term projects for Parks as the medium- and long-term projects were not distinguished in the PARCC Plan as such but rather were grouped as 20-year investments.

Transportation

The Transportation Master Plan identifies 14 projects with a cost of \$113 million in the long-term. Investments include:

- An extension of 158th Ave NE south to Redmond Way to support redevelopment in the area.
- A grade separation project on the 520 Trail at NE 51st St
- Intersection improvements in Overlake at NE 51st St and 148th and 152nd Avenues
- In Marymoor, a retrofit of NE 65th St
- Along NE 76th St in SE Redmond, widening and intersection improvements
- Widening and upgrades to NE 116th St on Education Hill
- Widening Red-Wood Road between the PSE Powerline trail and NE 124th St.

Utilities

All utilities (Water, Wastewater, and Stormwater) are in the process of developing Asset Management Plans and tools to prioritize programmatic capital repair and replacements of aging infrastructure as renewal demand rises. It is anticipated that additional renewal and replacement projects will be identified for the 2041-2050 CIP as larger share of assets hit their life expectancy.

Water

For the long-term period 2041-2050, on-going projects are identified to renew and repair infrastructure. The programmatic replacement projects are estimated at \$96 million. These include:

- Aging Water Main Replacements
- Advanced Meter Infrastructure transition
- An additional water storage facility at Overlake

Wastewater

For the long-term period 2041-2050, on-going projects are identified to extend wastewater lines to connect septic systems within the wastewater service area. The programmatic septic to sewer projects are estimated at \$50 million. For other potential long-term projects, see medium-term projects for Wastewater as the medium- and long-term projects were not distinguished as such but rather were grouped as 20-year investments.

Storm and Surface Water

For the long-term period 2041-50, eight projects were identified, estimated at \$71 million. These include:

- Sammamish River habit enhancements, including open space at Valley Estates
- Bear Creek Restoration at Bear Creek Park
- Peter's Creek Restoration

Chapter 3

Funding Redmond's Infrastructure Needs

This chapter describes the City's major revenue sources, Redmond's financial and capital planning approach, projected revenues and anticipated costs for the three periods of the 2050 Vision Blueprint, and potential funding alternatives.

Fiscal Policies

The City of Redmond's fiscal policies serve as a crucial framework for effectively and sustainably managing public finances. These policies arise from the necessity to balance the demands of community services with available resources, ensuring adequate funding for essential functions such as public safety, education, and infrastructure maintenance.

The following fiscal policies are relevant to the Capital Investment Strategy. These policies will be presented and adopted as part of the biennial budget process.

5.3 Capital Program Funding Appropriations

- 5.3.1 Funding Sources
 - Capital funding sources may be appropriated for:
 - Infrastructure projects that cost at least \$50,000 with a useful life of at least five (5) years.
 - Technology projects that cost at least \$10,000 with a useful life at least three (3) years.
 - Approved, coordinated, and ongoing programs.
 - Allowable non-capitalizable costs such as assessments, studies, plans, and monitoring of capital asset performance, which will be expended in the operating budget, but funded by transfers from the capital program.
- 5.3.2 Capital Project Financing
 - The City will identify the estimated costs and potential funding sources for each capital project.
 - The City will determine the least costly financing method for all capital investments while ensuring cash flow needs are still met.
- 5.3.3 Council Approval
 - City Council will approve the capital investment program plans and project appropriations in two-year increments for inclusion in the biennial budget.
 - Funding commitments for the future years will be reconfirmed during future budget processes.
- 5.3.4 Carryover Budget
 - Capital projects are typically multi-biennial projects implemented in phases with automatic carryover of budget from one biennium to the next.

- 5.3.5 Project Budget Management
 - Capital investment project budgets will be approved by City Council in total. Budgets for project phases will be managed by project managers.

5.5 Operating Impact of Capital Investments

- 5.5.1 Costs
 - The near- and long-term support, maintenance and operating costs associated with a capital project proposal shall be estimated and included to evaluate life cycle costs.
- 5.5.2 Operating Costs
 - The capital project approval process must ensure that necessary funds can reasonably be assumed to be available for increased operating costs stemming from project completion.

5.6 Capital Investment Funding

- 5.6.1 Capital Investment Program Funding
 - The City will annually transfer five percent (5%) of discretionary General Fund revenues plus the pavement management contribution to the capital investment program as part of the biennial budget.
- 5.6.2 General Fund Transfers
 - General Fund transfers for capital projects will be made on a reimbursable basis.
- 5.6.3 Real Estate Excise Tax (REET)
 - Real estate excise tax (REET) will be used for one-time capital project funding. It will not be used for general maintenance of the City's infrastructure.
- 5.6.4 Impact Fees and Capital Facilities Charges
 - All impact fees and capital facilities charges will be increased annually based on the Consumer Price Index (CPI).
- 5.6.5 Fee and Charge Updates
 - The City shall conduct comprehensive updates for all impact fees and capital facilities charges at least every five years.
- 5.6.6 Business Tax Increases
 - Business Tax will be increased annually based on the CPI.
- 5.6.7 Capital Grant Funding Requirements
 - Applications for capital grant funding will only be submitted if the project receiving the funding is part of the City's Capital Investment Strategy and/or approved by the Governance Committee.
- 5.6.8 Short-Term Debt
 - Short-term debt encompasses a payback period of three years or less.
 - The City may use short-term debt or interfund loans to meet temporary cash flow needs.
 - Interfund loans will be permitted only if an analysis of the affected fund indicates excess funds are available and the use of these funds will not impact the fund's current operations.

- Interfund short-term borrowing will be subject to City Council approval and will bear interest based upon prevailing rates.
- The City will not use short-term debt for current operations.
- 5.6.9 Long-Term Debt
 - Long-term debt encompasses a payback period of more than three years.
 - The City will utilize long-term borrowing for capital projects that cannot be financed with available cash and/or anticipated cash flows on a pay-as-you-go basis.
 - Current outstanding debt can be refinanced through issuing refunding bonds provided that the net present value (NPV) savings from securing lower interest rates is at least four percent (4%).
 - The City will determine whether self-supporting bonds (such as special assessment improvement district bonds) are in the City's best interest when planning to incur debt to finance capital improvements.
 - The City will maintain proactive communications with the investment community, including the secondary market, about its financial condition. In addition, the City will follow a policy of full disclosure on its financial reports and the bond prospectus (also known as the Official Statement).
 - The City will not use long-term debt for current operations.
- 5.6.10 General Obligation Bonds
 - Every project proposed for financing through general obligation debt shall be accompanied by a full analysis of the future support, maintenance and operating costs associated with the project.
 - Bonds cannot be issued for a longer maturity schedule than a conservative estimate of the useful life of the asset to be financed.
 - Before general obligation bond propositions are placed before the voters, the capital project(s) under consideration shall be included in the Capital Investment Program. The source of funds should describe the intended use of bond financing.
 - No general obligation bonds issued for one or more capital projects shall exceed 50 percent of the total project funding without voter approval.
- 5.6.11 Limited Tax General Obligation Bonds
 - As a precondition to the issuance of limited tax (i.e., non-voted) general obligation bonds, alternative methods of financing should also be examined.
 - Limited tax general obligation bonds should only be issued under certain conditions:
 - A project requires funding not available from alternative sources
 - Matching fund monies are available which may be lost if not applied for in a timely manner
 - Catastrophic conditions.
- 5.6.12 Revenue Bonds
 - Revenue bonds are used to finance construction or improvements to facilities of enterprise systems operated by the City in accordance with the Capital Investment Program and are generally payable from the enterprise.

- No taxing power or general fund pledge is provided as security. Unlike general obligation bonds, revenue bonds are not subject to the City's statutory debt limitation nor is voter approval required.
- 5.6.13 Financing of Lease Purchases
 - Lease purchase financing may be used as an alternative method to fund capital acquisitions when it is determined to be in the City's best financial and operational interest.
 - The City shall evaluate lease purchase financing based on the following criteria:
 - Cost effectiveness
 - Asset characteristics
 - Budget and cash flow impacts
 - Flexibility and risk
 - Lease purchase agreements shall comply with applicable Washington State Law governing municipal debt and financing authority.
 - The term of any lease purchase agreement shall not exceed the useful life of the asset being financed.
 - Lease purchase obligations shall be used solely for the acquisition of capital assets with a define useful life and shall not be used to finance recurring operating expenditures.
- 5.6.14 Long-Term Interfund Loans
 - The City may utilize interfund loans rather than outside debt instruments to finance capital investments. Interfund loans will be permitted only if an analysis of the affected fund indicates excess funds are available and the use of these funds will not impact the fund's anticipated operations.
 - All interfund borrowing will be subject to prior approval by the City Council and will bear interest based upon prevailing rates.
 - The decision to use interfund loans rather than outside debt will be based on which is deemed to be the most cost-effective approach to finance capital investments. Such an assessment will be reviewed by the City's Financial Advisor, who shall provide an objective analysis and recommendation to the City Council.

5.7 Capital Investment Financial Management

- 5.7.1 Capital Investment Strategy
 - The City will maintain a long-term Capital Investment Strategy (CIS) that addresses the capital needs of the community consistent with the City's vision, comprehensive plan, and functional area plans.
- 5.7.2 Capital Investment Plan
 - The City will develop six-year capital investment plans, including related support and maintenance & operations costs. Financial plans shall be updated annually to ensure continued available resources to fund projects.
- 5.7.3 Infrastructure Investment Forecasts
 - Infrastructure investment forecasts will consider changes in population, real estate development, and economic conditions.

- 5.7.4 Technology Investment Forecasts
 - Technology investment forecasts will consider factors such as emerging technologies, cybersecurity risks, and the evolving digital service needs of the community.

Available Revenues

The majority of the City's capital investments are supported by seven major revenue sources (as well as beginning balances) as described below:

General Fund Contributions - by policy, the City annually transfers at least 5% of General Fund revenues (minus development and significant one-time revenues), available one-time money, and pavement management contributions to the capital investment program. These contributions are supported by general sales, property, and utility taxes. Two of these revenues, sales and utility taxes, are extremely vulnerable to economic fluctuations. General Fund contributions are considered discretionary and can be used for all projects in the City's 6-Year Capital Improvement Program.

This discretionary CIP revenue is further allocated on a percentage basis to transportation, parks, and general government (including fire, police, general government buildings/facilities, and planning) capital projects based on the City's fiscal policy.

Business License Surcharge - A portion of the business license fee is a surcharge dedicated to transportation capital improvements and transportation demand management. Adjusted annually for inflation, the surcharge will increase to \$87 per FTE in 2025 and \$91 per FTE in 2026.

Impact fees - RCW 82.02.050(2) authorizes cities planning under the Growth Management Act to assess, collect, and use impact fees to pay for transportation, fire, park, and school facilities needed to accommodate growth. Impact fees are a part of the overall financing plan to ensure the City's infrastructure grows in tandem with the pace of development and are imposed upon development projects as a condition of approval. Revenue from impact fees fluctuates with the City's development cycles. These fees are restricted to projects that increase the City's infrastructure capacity to accommodate growth.

Real Estate Excise Tax (REET) - A Real estate excise tax of 0.50% is levied on all sales of real estate and committed to funding one-time capital projects.

Intergovernmental & Miscellaneous - Includes revenues received through the Community Facility Districts, Transportation Benefit District, operating transfers, and investment interest earnings.

Utility Revenues - Water, wastewater, and stormwater rates fund most costs associated with providing these services to the community. Other sources include development user fees, grants, and investment interest earnings.

Using Redmond's Resources Wisely

Redmond's goal is to have new development and new facilities arrive concurrently, while appropriately maintaining current infrastructure. Such a goal can only be achieved through long-range financial and infrastructure planning that takes into account the community's ability and willingness to pay for improvements, and the City's success in leveraging local revenue to secure outside resources. Through analysis of expenditure and revenue trend data, Redmond is able to watch for fluctuations in economic cycles that may significantly disrupt the City's ability to achieve level of service standards. This analysis also takes into account the overall funding approach by trying to maintain a balance between those who pay for capital construction and those who benefit as well as discretionary revenue versus restricted.

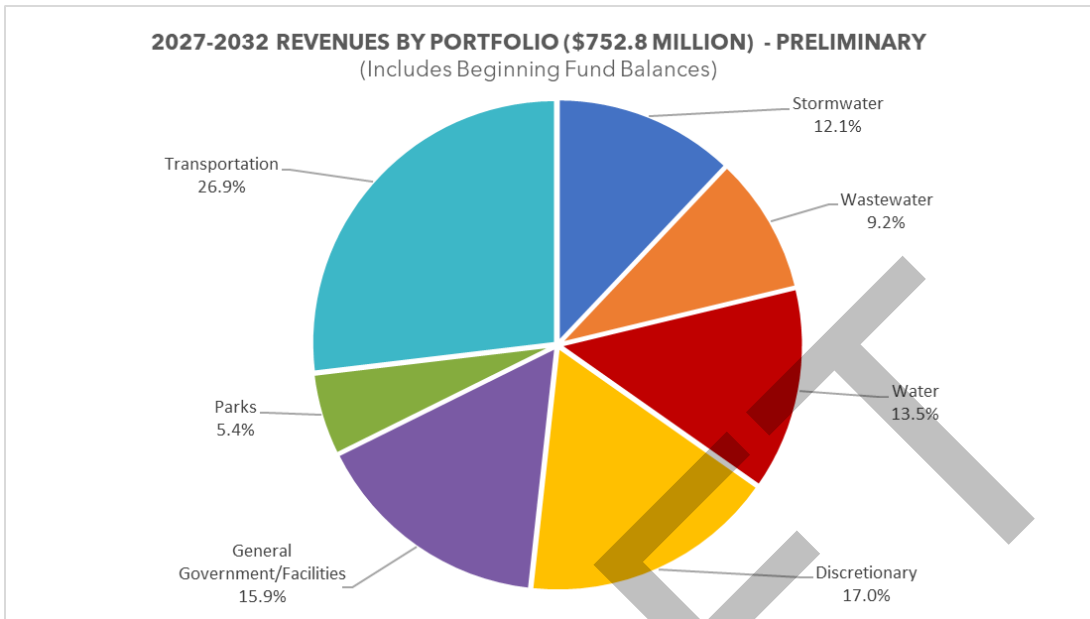
Redmond's Forecast

In terms of fiscal policy, the capital investment program will be supported by prudent revenue and expenditure forecasts. If the City determines that outside funding is needed, Redmond will determine the least-cost financing method for all new projects. Biennially, the City prepares and updates a six-year revenue forecast that measures fluctuations in the economy and the impacts those cycles have on revenue collections. Redmond uses these forecasts, as well as forecasts from other entities, to create a business plan that allows the City to maintain appropriate levels of service to the community. Forecast assumptions range from employment and population growth to estimates of interest rates and development activity. Tracking trends is one way the City uses to focus attention on potential vulnerable areas in the City's financial plan. Asset Management Plans, in development in accordance with the Municipal Asset Management Policy, will add lifecycle cost forecasts by asset class to this analysis, identifying where projected revenues fall below renewal and replacement needs for each CIS planning period.

Near-term (2027-32) Capital Investment Strategy Revenue

This revenue plan for the near-term period is based on the best available information at time of publication and is likely to be adjusted before publication of the proposed 2027-32 Capital Investment Program.

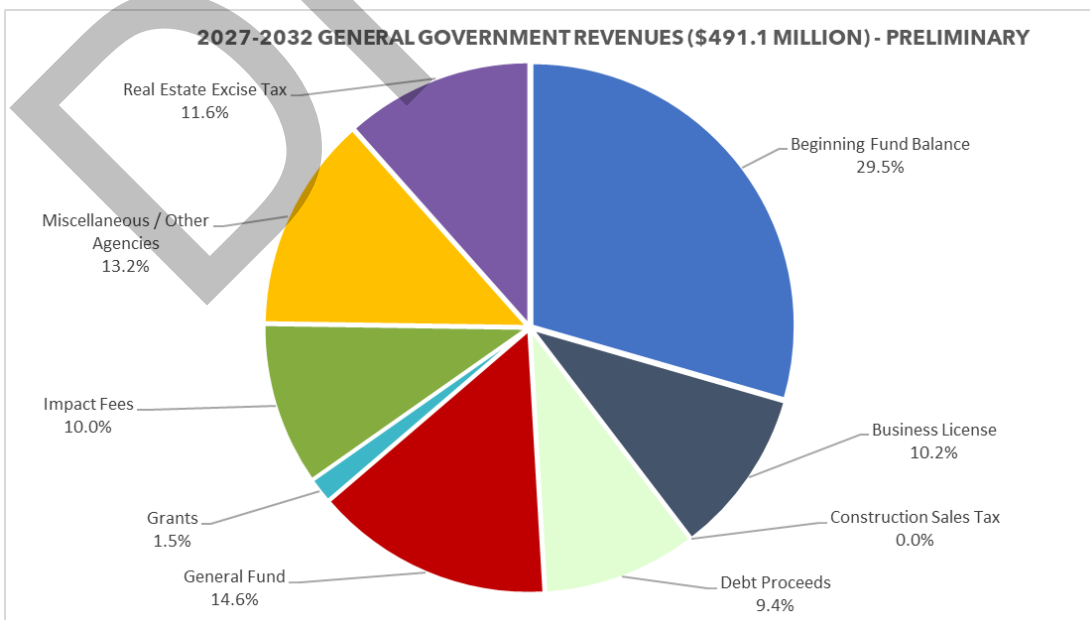
FIGURE 24: 2027-32 REVENUES BY PORTFOLIO



General Gov't Revenue and Needs

General Government includes portfolios for General Government/Facilities, Parks, and Transportation programs. Revenues in the General Government portfolio are projected to total \$491.1 million between 2027 and 2032, including beginning fund balances, increases in business license collections, investment interest, funding from other agencies, and debt proceeds.

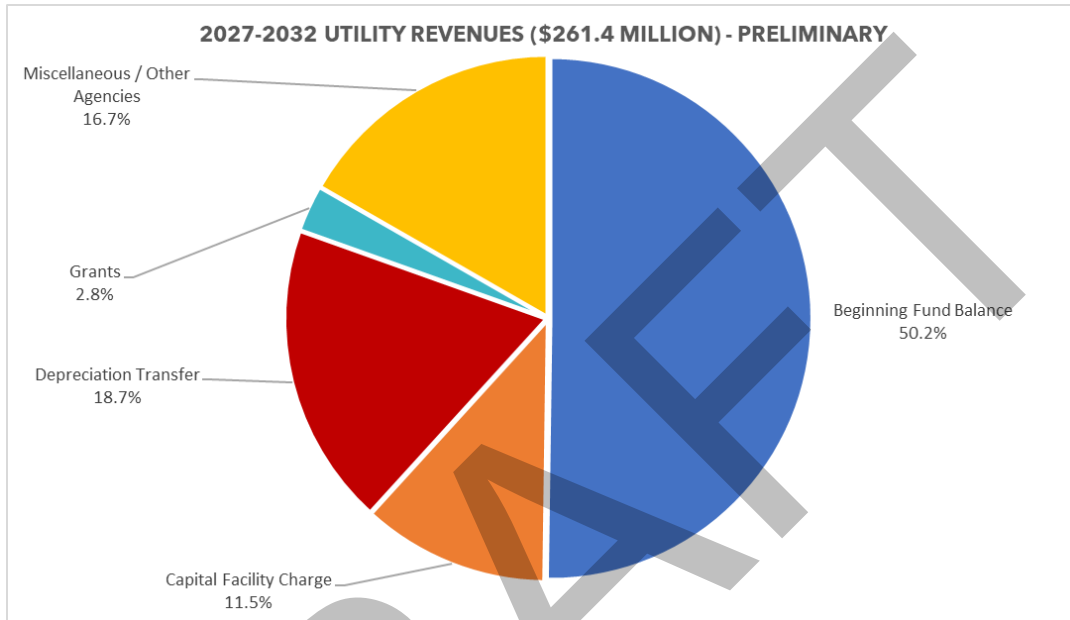
FIGURE 25: 2027-32 GENERAL GOV'T REVENUES



Utility capital program

The Utility portfolios include the Water, Wastewater, and Stormwater programs. A total of \$261.4 million in revenue is projected between 2027 and 2032, including beginning fund balances

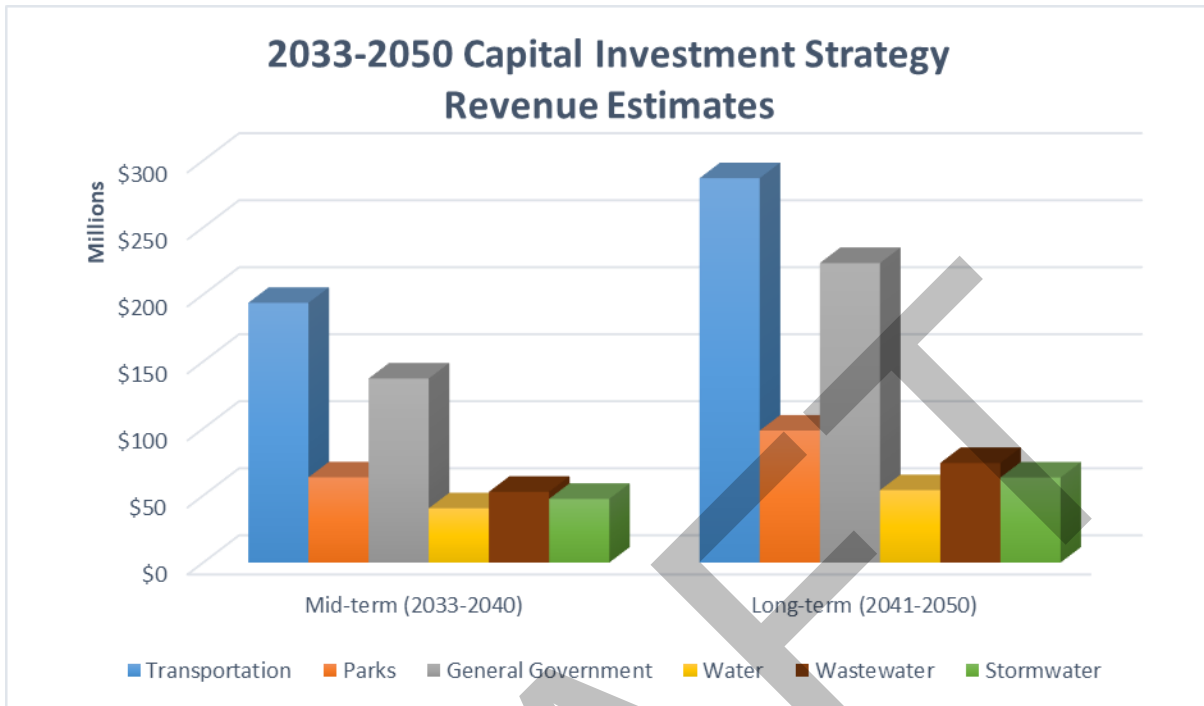
FIGURE 26: 2027-32 UTILITY REVENUES



2033-2050 Capital Investment Revenue Forecast

Preliminary revenue estimates to support the Vision Blueprint are shown below. Estimates are based on the current economic climate and are intended to convey the magnitude of revenues that could be available to the capital plan through 2050, rather than an accounting of specific revenue sources that the City will collect over the next 20 years. The estimates are based on the City's current allocation of 5% of General Fund revenue to the capital investment program.

FIGURE 27: 2033-50 CIS REVENUE ESTIMATES



Functional Plan specific revenue forecasts

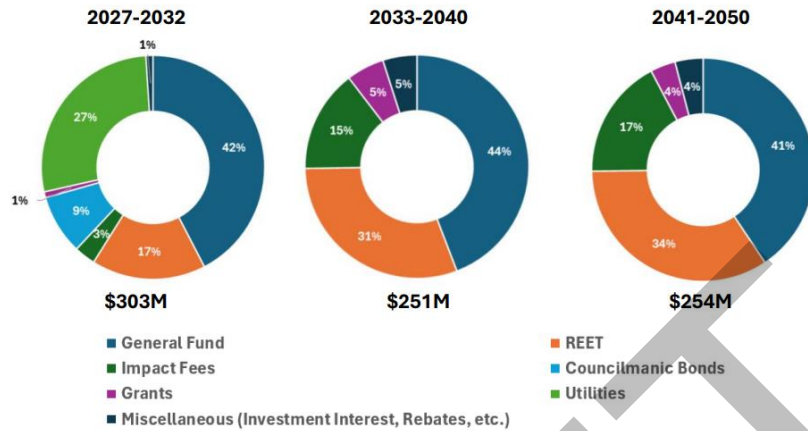
Supporting the City’s CIS policies, recently updated functional plans contain revenue forecasts to 2050. As other functional plans are updated, the City will also conduct a revenue forecast to support specific functional areas and the utilities. Revenue forecasts for Transportation and Governmental Facilities are shown below:

Please note that time periods may not be consistent with CIS periods.

Government Facilities

Revenue estimates were made for the 2025-2050 Capital Facilities Plan – General Gov’t Facilities and are shown below, depicting revenue sources proportions for the planning periods.

FIGURE 28: GENERAL GOV'T FACILITIES ESTIMATED REVENUES 2027-50



Transportation

A revenue forecast for the 2022-2050 Transportation Facilities Plan (part of the Transportation Master Plan) shows forecasted revenues for the period 2022-2050.

FIGURE 29: TRANSPORTATION REVENUE FORECAST 2022-50

TFP revenue forecast 2022-2050

Revenue Source	Forecast (\$M) 2022-2050	Percent	Description of Source
General Fund Transfer	60.26	6.8%	Council appropriation from City general fund
Pavement Management General Fund	8.70	1.0%	Council appropriation from City general fund
Real Estate Excise Tax	62.78	7.1%	Tax on property sales in Redmond
Motor Vehicle Excise Tax	16.06	1.8%	State transportation funds to Redmond
Other Jurisdictions	2.93	0.3%	Cost participation by other agencies in Redmond projects
Federal and State Grants	103.92	11.7%	Cost participation grants for specific projects
Business Tax	139.24	15.7%	Employment based tax - Redmond employers
Impact Fees	243.20	27.4%	Transportation impact fee cash payments by developers; or construction value by developers
Developer Contributions	63.2	7.1%	Value of developer payments or construction for specific projects; not impact fee credited

Miscellaneous Sources	14.6	1.6%	Interest earnings, rent, surplus property, revenue for completed projects for concurrency
Miscellaneous Carryovers	24.37	2.7%	Funds brought forward; net of debt payments, non-tfp projects and overhead
Transportation Benefit District	148.50	16.7%	City Council adopted an ordinance to form a Transportation Benefits District
Total	887.75	100.0%	

Proposed expenditures 2033-50

For the period 2033-2050, the City estimates a need of \$1.381 billion for projects, with most costs attributed to transportation investments. Approximately \$506 million is needed for Utility (Water/Wastewater and Stormwater) investments.

Given the long-term gap, the City will need to continually prioritize and sequence capital projects to appropriately target financial investments and most effectively achieve Redmond's vision. Support for capital investments should also consider alternative financing approaches to ensure projects are aligned with the vision, coordination is achieved, and taxpayers get the best value for their investment.

FIGURE 30: MID-TERM FUNDING VS. NEEDS

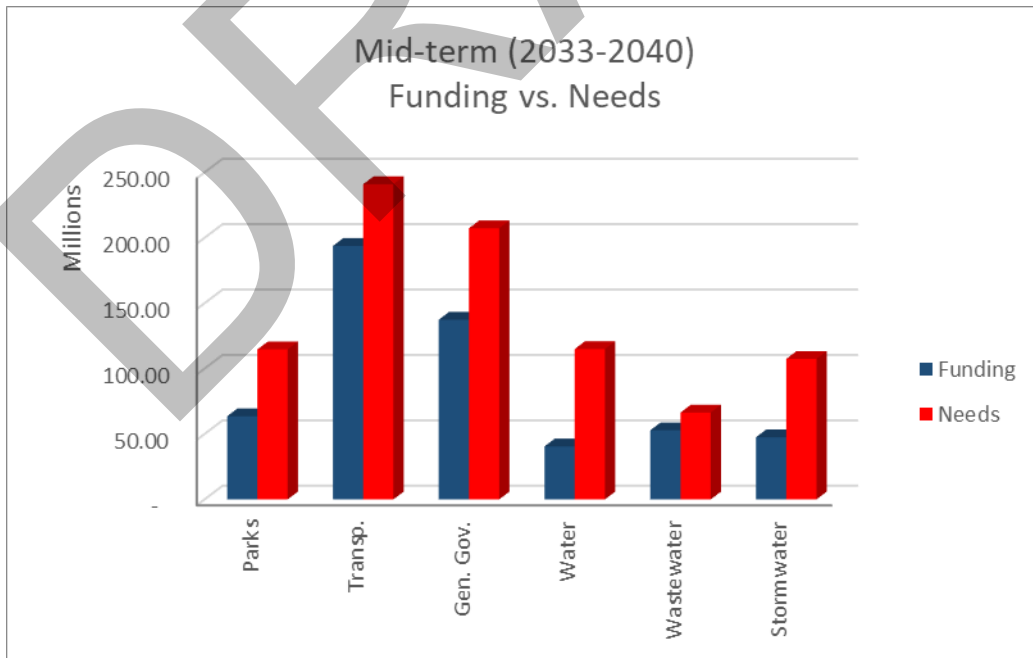
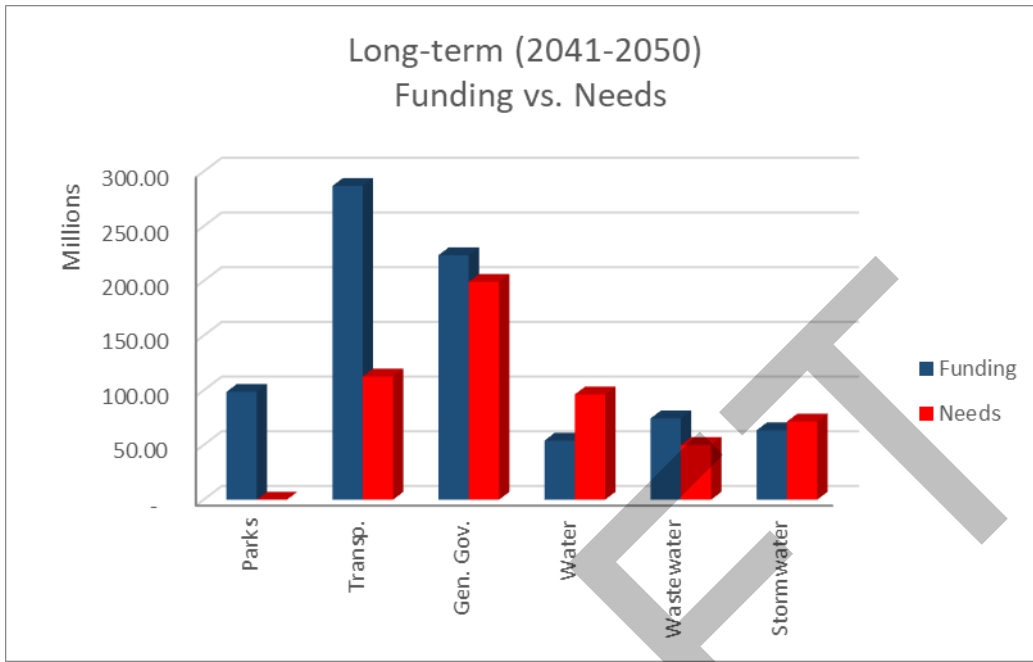


FIGURE 21: LONG-TERM FUNDING VS. NEEDS



Alternative Financing

According to Redmond's fiscal policies, the City will use long-term borrowing for capital improvements that cannot be reasonably financed on a pay-as-you-go basis from anticipated cash flows. Accordingly, acceptable uses for bond proceeds include those assets that can be capitalized and depreciated. Whatever financing method is used, the City will seek the most cost-effective financing option based on the project's scope and the terms of indebtedness. In addition to changing the amounts and/or contributions from existing CIP revenue sources, the City has alternative financing options for capital improvements, as described below.

Unlimited Tax General Obligation Bonds (UTGO Bonds)

Unlimited Tax General Obligation bonds are one of the most common methods of financing capital improvements for local governments. Local governments are authorized to issue UTGO bonds pursuant to Article 7, Section 2(b) of the Washington State Constitution and laws of the state of Washington, including but not limited to chapters 39.36, 39.46, and 84.52 RCW. UTGO bonds must be approved by the voters within the local government and are secured by annual property taxes, more than regular property taxes, at whatever rate is necessary to repay the bonds. Further, UTGO bonds constitute a general obligation of the local government, and, as such, the full faith, credit, and resources of the local government are also pledged for repayment.

Limited Tax General Obligation Bonds (LTGO)

LTGO bonds are backed by the full faith and credit of the City. The bonds can be issued without a vote, but are “limited” in that no additional resources are provided to pay debt service on these bonds. The debt service must be paid from existing city resources. They are also limited in both amount and rate by the City’s debt capacity.

Revenue Bond

Revenue bonds are typically issued to fund improvements to facilities or systems in the City’s utilities. Revenue bonds can be either voted on or non-voted debt. The debt is secured solely by the pledge of a specific revenue stream, such as utility user fees.

Levy Lid Lifts

By a vote of the people, the City can raise property taxes beyond the 1% increase allowed by law for special projects and programs. The lid lift can be configured to remain in place permanently or for a finite period.

Local Improvement Districts (LIDs)/Utility Local Improvement Districts (ULIDs)

The Revised Code of Washington (RCW) 35.43 through 35.56 authorizes cities and towns to fund capital improvement projects through local improvement districts. LIDs are a means of assisting benefitting properties in financing needed capital improvements by forming special assessment districts. LIDs permit improvements to be financed and paid for overtime through assessments on the benefitting properties. A variation of the LID is the ULID, which is used to fund utility-related projects. The difference between ULIDs and LIDs is that utility revenues are pledged to repay the debt, in addition to assessments on the benefitting properties.

Other Alternative Financing Mechanisms

Transportation Benefit Districts legislation, RCW 36.73, authorizes the use of multiple funding sources for specific, planned improvements within a defined boundary. Some of the sources include sales and use tax, a motor vehicle license fee, impact fees, vehicle tolls, property taxes, and LID assessments, as well as other debt sources as mentioned above. Most of the sources require a public vote.

Other alternative financing methods include Public Development Authorities (PDAs) and Public Facilities Districts (PFDs). PDAs are often created to manage the development and operation of a single project, which is considered best managed outside the typical City government authority. Pike Place Market is an example of a PDA in Washington state. Public Facilities Districts are used solely to develop certain regional facilities, such as convention or special events centers. PDAs can issue tax-exempt bonds, but do not have taxing authority. Much like PDAs, PFDs are managed outside traditional government authority; however, a PFD can impose a local sales tax that is credited against the state sales tax.

DRAFT



The City of Redmond assures that no person shall, on the grounds of race, color, national origin, or gender, as provided by Title VI of the Civil Rights Act of 1964 and the Civil Rights Restoration Act of 1987, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity. For more information about Title VI, please visit redmond.gov/TitleVI. 可在本市的网址

redmond.gov/TitleVI 上查阅 | El aviso contra la discriminación está disponible en redmond.gov/TitleVI.



Memorandum

Date: 5/19/2026
Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-310
Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services
FROM: Mayor Angela Birney
DEPARTMENT DIRECTOR CONTACT(S):

Fire	Adrian Shepard, Fire Chief	425-556-2200
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DEPARTMENT STAFF:

Fire	Jim Whitney	Deputy Fire Chief
Fire	Amy Moorhead	Medical Services Administrator

TITLE:

Approval of the King County Emergency Medical Services (EMS) Basic Life Support Services and Mobile Integrated Health Services Contract (PHSKC Agreement #14807 EMS) for the 2026-2031 King County EMS Levy

OVERVIEW STATEMENT:

The Fire Department is seeking approval of the King County EMS Contract for Basic Life Support Services (BLS) and Mobile Integrated Health Services (MIH) for the January 1, 2026 through December 31, 2031 King County EMS Levy period and to authorize the Mayor to sign the contract.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information Provide Direction Approve

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
 - Redmond's Fire Department Strategic Plan for 2022-2027
 - Redmond Fire Department's Community Risk Assessment & Standards of Cover for 2022-2027
- **Required:**
RCW 84.52.069
- **Council Request:**
N/A
- **Other Key Facts:**
On May 20, 2025, City Council approved resolution No. 1603: Placement of a Countywide Ballot Measure Before Voters in 2025 for a Funding Levy to Support Medic One/Emergency Medical Services (EMS) for the Period from

January 1, 2026, through December 31, 2031. The levy was then approved by voters in November 2025 to set a countywide rate of 25 cents per \$1,000 of assessed property value for the 2026-2031 period. The City Council previously approved a resolution supporting the 2020-2025 King County Medic One/Emergency Medical Services levy on June 4, 2019. The levy was later approved by voters in the November 2019 election at a rate of 26.5 cents per \$1,000 of assessed property value.

OUTCOMES:

The contract for the period of January 1, 2026 through December 31, 2031 will provide stable and predictable revenue to the City of Redmond, consistent with the King County EMS Levy financial policy and the voter-approved November 2025 levy. This funding supports the full cost of basic life support (BLS) services and is critical to maintaining the City’s overall fiscal stability.

King County manages training, education, and quality assurance to ensure consistent standards across jurisdictions, supporting high-quality patient care and regional interoperability.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
N/A
- **Outreach Methods and Results:**
N/A
- **Feedback Summary:**
N/A

BUDGET IMPACT:

Total Cost:

A rate of 25-cents per \$1,000 of assessed value for 2026-2031.

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

277

Budget Priority:

Safe & Resilient

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

N/A

Budget/Funding Constraints:

n/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
N/A	Item has not been presented to Council	N/A

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/2/2026	Business Meeting	Approve

Time Constraints:

The current EMS levy expired at the end of 2025. In order to receive funding starting in 2026, the contract must be executed by the City.

ANTICIPATED RESULT IF NOT APPROVED:

Limited or discontinued funding for several essential services that the City of Redmond provides to its community and the broader region.

ATTACHMENTS:

Attachment A: King County Contract for Basic Life Support Services 2026-2031 (PHSKC Agreement #14807 EMS)

	COMMUNITY SERVICES AGREEMENT – OTHER GOVERNMENT	PHSKC Agreement # 14807 EMS
This Agreement is between King County and the Recipient identified below. The County department overseeing the work to be performed in this Agreement is the Department of Public Health (PHSKC).		
RECIPIENT NAME City of Redmond	RECIPIENT FEDERAL TAX ID # 91-6001492	
RECIPIENT ADDRESS 8450 161st Ave NE, Redmond, WA 98052	RECIPIENT CONTACT & EMAIL ADDRESS Kelley Cochran; Mayorscontracts@redmond.gov	
PHSKC DIVISION EMS	PROJECT TITLE Basic Life Support Services	
AGREEMENT START DATE January 01, 2026	AGREEMENT END DATE December 31, 2031	AGREEMENT MAXIMUM AMOUNT \$2,566,174.00
FUNDING DETAILS		
<u>Funding Source</u> EMS Levy	<u>PHSKC Contract #</u>	<u>Amount</u> \$2,566,174.00
<u>Effective Dates</u> Jan 01 2026 TO Dec 31 2031		
FUNDING SUMMARY FEDERAL:	COUNTY: \$2,566,174.00	STATE:
OTHER:		
IS THE RECIPIENT A SUBRECIPIENT FOR PURPOSES OF THIS AGREEMENT? No		
EXHIBITS. The following Exhibits are attached and are incorporated into this Agreement by reference: Appendix 1- Insurance Requirements Exhibit A – BLS Scope of Work Exhibit B1 – Basic BLS Allocation invoice Exhibit B2 – BLS Core Services invoice Exhibit B3.1 – MIH Agency Invoice Exhibit B3.2 – MIH Supporting Agency Invoice Exhibit B5 – Support of EMS Training Section Invoice Exhibit C – MIH Scope of Work		
In consideration of payments, covenants, and agreements hereinafter mentioned, to be made and performed by the parties hereto, the parties mutually agree that the Recipient shall provide services and comply with the requirements set forth in this Agreement. The parties signing below represent that they have read and understand this Agreement, and have the authority to execute this Agreement. Furthermore, in addition to agreeing to the terms and conditions provided herein, by signing this Agreement, the Recipient certifies that it has read and understands the Agreement requirements on the PHSKC website (https://kingcounty.gov/en/dept/dph/about-king-county/about-public-health/working-with-public-health/contracts), and agrees to comply with all of the Agreement terms and conditions detailed on that site, including EEO/Nondiscrimination, HIPAA, Insurance, and Credentialing, as applicable.		
RECIPIENT SIGNATURE	PRINTED NAME AND TITLE	DATE SIGNED
PHSKC SIGNATURE	PRINTED NAME AND TITLE	DATE SIGNED

KING COUNTY TERMS AND CONDITIONS

1. Agreement Term and Termination

- A. This Agreement shall commence on the Agreement Start Date and shall terminate on the Agreement End Date as specified on page 1 of this Agreement, unless extended or terminated earlier, pursuant to the terms and conditions of the Agreement.
- B. This Agreement may be terminated by the County without cause, in whole or in part, prior to the Agreement End Date, by providing the other party thirty (30) days advance written notice of the termination. The Agreement may be suspended by the County without cause, in whole or in part, prior to the date specified in Subsection 1.A. above, by providing the Recipient thirty (30) days advance written notice of the suspension.
- C. The County may terminate or suspend this Agreement, in whole or in part, upon seven (7) days advance written notice in the event: (1) the Recipient materially breaches any duty, obligation, or service required pursuant to this Agreement, or (2) the duties, obligations, or services required herein become impossible, illegal, or not feasible. If the Agreement is terminated by the County pursuant to this Subsection 1.C. (1), the Recipient shall be liable for damages, including any additional costs of procurement of similar services from another source.

If the termination results from acts or omissions of the Recipient, including but not limited to misappropriation, nonperformance of required services, or fiscal mismanagement, the Recipient shall return to the County immediately any funds, misappropriated or unexpended, which have been paid to the Recipient by the County.

- D. If County or other expected or actual funding is withdrawn, reduced, or limited in any way prior to the termination date set forth above in Subsection 1.A., the County may, upon written notification to the Recipient, terminate or suspend this Agreement in whole or in part.

If the Agreement is terminated or suspended as provided in this Section: (1) the County will be liable only for payment in accordance with the terms of this Agreement for services rendered prior to the effective date of termination or suspension; and (2) in the case of termination the Recipient shall be released from any obligation to provide such further services pursuant to the Agreement ; and (3) in the case of suspension the Recipient shall be released from any obligation to provide services during the period of suspension and until such time as the County provides written authorization to resume services..

Funding or obligation under this Agreement beyond the current appropriation year is conditional upon appropriation by the County Council of sufficient funds to support the activities described in the Agreement. Should such appropriation not be approved, this Agreement will terminate at the close of the current appropriation year.

- E. County funds must supplement, not replace (supplant) non-county funds. Recipient must ensure that County funds do not supplant funds that have been budgeted for the same purpose through non-County sources. Recipient may be required to demonstrate and document that a reduction in non-County resources occurred for reasons other than the receipt of expected receipt of County funds.
- F. Nothing herein shall limit, waive, or extinguish any right or remedy provided by this Agreement or law that either party may have in the event that the obligations, terms, and conditions set forth in this Agreement are breached by the other party.

2. Compensation and Method of Payment

- A. The total Agreement compensation shall be determined annually by King County. The amount allocated for the first year shall be: **\$ 1,972,240** (BLS), **\$ 70,316** (Core), **\$ 488,618** (MIH), and **\$35,000** (EMT). Subsequent allocations shall be determined by the County consistent with the following allocation method in the form of a letter signed by the Public Health Director or designee.

1. **BLS Basic Allocation:** As identified in the EMS 2026-2031 Medic One/EMS Strategic Plan, each BLS recipient's annual BLS Basic allocation is determined by adding the proportion of the total increase, 60% based on call volumes, and 40% based on assessed valuation to the previous year's allocation.
2. **BLS Core Services:** Recipients may submit a BLS Core Services Program request to the EMS Division to help cover unanticipated costs that cannot be accommodated within an agency's current budget. Each BLS recipient's annual Core Services Program allocation is determined by adding the proportion of the total increase, 60% based on call volume and 40% based on assessed valuation, to the previous year's allocation.
3. **Mobile Integrated Healthcare (MIH):** BLS Recipients will receive funding for participation in Mobile Integrated Healthcare efforts as identified by the EMS Division and regional partners and defined in Exhibit C-MIH Scope of Work. Each BLS recipient's annual MIH funding allocation is determined by adding the proportion of the total increase, 60% based on call volume and 40% based on assessed valuation to the previous year's allocation
4. Additional compensation may be awarded by the County in its sole discretion as follows:
 - a) **Regionalization of Initial EMT Training:** To support an expanded set of training forums as defined in Exhibit D.
5. **Support of Regional Programs:** Additional compensation may be awarded by the County in its sole discretion as follows:
 - a) **Training and Education:** Based on written agreement and direction by the responsible EMS Division Training and Education Supervisor, recipients may support and be reimbursed for supporting regional training and education programs.
 - b) **Other Regional Services programs:** Based on written agreement and direction by the responsible EMS Division Supervisor, recipients may support and be reimbursed for supporting regional services programs.

B. The County shall reimburse the Recipient for satisfactory completion of the services and requirements specified in this Agreement, payable in the following manner:

1. **BLS Basic Allocation:** Upon receipt and approval by the County of a signed invoice in substantially the form of the attached Invoice Exhibit B1. The Recipient may bill up to the full amount of the annual allocation at any time during the specified contract year if it can certify and document that its total expenditures have equaled or exceeded the full amount of the annual contract.
2. **BLS Core Services:** Upon receipt and approval by the County of a signed invoice as set forth in Exhibit B2.
3. **Mobile Integrated Healthcare (MIH):** Upon receipt and approval by the County of a signed invoice as set forth in Exhibit B3.1 and B3.2.
4. **Regionalization of Initial EMT Training:** Upon receipt and approval by the County of a signed invoice as set forth in Exhibit B4.
5. **Support of Regional Programs.** Reimbursement of costs supporting EMS Regional Programs, specifically related to training and education, will be based on written agreement and direction by the responsible EMS Division program manager, using signed invoice as set forth in Exhibit B5.

C. The Recipient shall submit an invoice and all accompanying reports as specified in the attached exhibits or agreed upon alternatives not more than 60 working days after the close of each indicated

reporting period. The County shall make payment to the Recipient not more than 30 days after a complete and accurate invoice is received.

- D. The Recipient shall submit its final invoice and all outstanding reports within 90 days of the date this Agreement terminates. If the Recipient's final invoice and reports are not submitted by the day specified in this subsection, the County will be relieved of all liability for payment to the Recipient of the amounts set forth in said invoice or any subsequent invoice.
- E. When a budget is attached hereto as an exhibit, the Recipient shall apply the funds received from the County under this Agreement in accordance with said budget. The Agreement may contain separate budgets for separate program components and allocations. The Recipient shall request prior approval from the County for an amendment to this Agreement when the cumulative amount of transfers among the budget categories is expected to exceed 10% of the Agreement allocation amount in any Agreement budget. Supporting documents necessary to explain fully the nature and purpose of the amendment must accompany each request for an amendment. Cumulative transfers between budget categories of 10% or less need not be incorporated by written amendment; however, the County must be informed immediately in writing of each such change.
- F. Should, in the sole discretion of the County, the Recipient not timely expend funds allocated under this Agreement, the County may recapture and reprogram any such under-expenditures unilaterally and without the need for further amendment of this Agreement. The County may unilaterally make changes to the funding source without the need for an amendment. The Recipient shall be notified in writing of any changes in the fund source or the recapturing or reprogramming of under expenditures.
- G. If travel costs are contained in the attached budget, reimbursement of Recipient travel, lodging, and meal expenses are limited to the eligible costs based on the following rates and criteria.
 - 1. The mileage rate allowed by King County shall not exceed the current Internal Revenue Service (IRS) rates per mile as allowed for business related travel. The IRS mileage rate shall be paid for the operation, maintenance and depreciation of individually owned vehicles for that time which the vehicle is used during work hours. Parking shall be the actual cost. When rental vehicles are authorized, government rates shall be requested. If the Recipient does not request government rates, the Recipient shall be personally responsible for the difference. Please reference the federal web site for current rates: <http://www.gsa.gov>.
 - 2. Reimbursement for meals shall be limited to the per diem rates established by federal travel requisitions for the host city in the Code of Federal Regulations, 41 CFR § 301, App.A. Please reference <http://www.gsa.gov> for the current host city per diem rates.
 - 3. Accommodation rates shall not exceed the federal lodging limit plus host city taxes. The Recipient shall always request government rates.
 - 4. Air travel shall be by coach class at the lowest possible price available at the time the County requests a particular trip. In general, a trip is associated with a particular work activity of limited duration and only one round-trip ticket, per person, shall be billed per trip. Any air travel occurring as part of a federal grant must be in accordance with the Fly America Act.

3. Internal Control and Accounting System

The Recipient shall establish and maintain a system of accounting and internal controls which complies with applicable generally accepted government accounting standards (GAGAS).

4. Debarment and Suspension Certification

Entities that are debarred, suspended, or proposed for debarment by the U.S. Government are excluded from receiving federal funds and contracting with the County. The Recipient, by signature to this Agreement, certifies that the Recipient is not presently debarred, suspended, or proposed for debarment by any Federal department or agency. The Recipient also agrees that it will not enter into a sub-agreement with a Recipient that is debarred, suspended, or proposed for debarment. The Recipient agrees to notify

King County in the event it, or a sub-awardee, is debarred, suspended, or proposed for debarment by any Federal department or agency.

5. Maintenance of Records/Evaluations and Inspections

- A. The Recipient shall maintain accounts and records, including personnel, property, financial, and programmatic records and other such records as may be deemed necessary by the County to ensure proper accounting for all Agreement funds and compliance with this Agreement.
- B. In accordance with the nondiscrimination and equal employment opportunity requirements set forth in Section 13. below, the Recipient shall maintain the following:
 - 1. Records of employment, employment advertisements, application forms, and other pertinent data, records and information related to employment, applications for employment or the administration or delivery of services or any other benefits under this Agreement; and
 - 2. Records, including written quotes, bids, estimates or proposals submitted to the Recipient by all businesses seeking to participate on this Agreement, and any other information necessary to document the actual use of and payments to sub-awardees and suppliers in this Agreement, including employment records.

The County may visit the site of the work and the Recipient’s office to review the foregoing records. The Recipient shall provide every assistance requested by the County during such visits. In all other respects, the Recipient shall make the foregoing records available to the County for inspection and copying upon request. If this Agreement involves federal funds, the Recipient shall comply with all record keeping requirements set forth in any federal rules, regulations or statutes included or referenced in the Agreement documents.

- C. Except as provided in Section 6 of this Agreement, the records listed in A and B above shall be maintained for a period of six (6) years after termination hereof unless permission to destroy them is granted by the Office of the Archivist in accordance with Revised Code of Washington (RCW) Chapter 40.14.
- D. Medical records shall be maintained and preserved by the Recipient in accordance with state and federal medical records statutes, including but not limited to RCW 70.41.190, 70.02.160, and standard medical records practice. If the Recipient ceases operations under this Agreement, the Recipient shall be responsible for the disposition and maintenance of such medical records.
- E. The Recipient agrees to cooperate with the County or its agent in the evaluation of the Recipient’s performance under this Agreement and to make available all information reasonably required by any such evaluation process. The results and records of said evaluations shall be maintained and disclosed in accordance with RCW Chapter 42.56.
- F. The Recipient agrees that all information, records, and data collected in connection with this Agreement shall be protected from unauthorized disclosure in accordance with applicable state and federal law.

6. Compliance with the Health Insurance Portability and Accountability Act of 1996 (HIPAA)

The Recipient shall not use protected health information created or shared under this Agreement in any manner that would constitute a violation of HIPAA and any regulations enacted pursuant to its provisions. Recipient shall read and certify compliance with all HIPAA requirements at <https://kingcounty.gov/en/dept/dph/about-king-county/about-public-health/working-with-public-health/contracts>.

7. Audits

- A. If the Recipient is a municipal entity or other government institution or jurisdiction, it shall notify the County in writing within 30 days of when its annual report of examination/audit, conducted by the Washington State Auditor, has been completed.

- B. Additional audit or review requirements which may be imposed on the County will be passed on to the Recipient and the Recipient will be required to comply with any such requirements.

8. Corrective Action

If the County determines that a breach of Agreement has occurred, that is, the Recipient has failed to comply with any terms or conditions of this Agreement or the Recipient has failed to provide in any manner the work or services agreed to herein, and if the County deems said breach to warrant corrective action, the following sequential procedure will apply:

- A. The County will notify the Recipient in writing of the nature of the breach;
The Recipient shall respond in writing within three (3) working days of its receipt of such notification, which response shall indicate the steps being taken to correct the specified deficiencies. The corrective action plan shall specify the proposed completion date for bringing the Agreement into compliance, which date shall not be more than ten (10) days from the date of the Recipient's response, unless the County, at its sole discretion, specifies in writing an extension in the number of days to complete the corrective actions;
- B. The County will notify the Recipient in writing of the County's determination as to the sufficiency of the Recipient's corrective action plan. The determination of sufficiency of the Recipient's corrective action plan shall be at the sole discretion of the County;
- C. In the event that the Recipient does not respond within the appropriate time with a corrective action plan, or the Recipient's corrective action plan is determined by the County to be insufficient, the County may commence termination or suspension of this Agreement in whole or in part pursuant to Section 1.C.;
- D. In addition, the County may withhold any payment owed the Recipient or prohibit the Recipient from incurring additional obligations of funds until the County is satisfied that corrective action has been taken or completed; and
- E. Nothing herein shall be deemed to affect or waive any rights the parties may have pursuant to Section 1., Subsections B, C, D, and E.

9. Dispute Resolution

The parties shall use their best, good-faith efforts to cooperatively resolve disputes and problems that arise in connection with this Agreement. Both parties will make a good faith effort to continue without delay to carry out their respective responsibilities under this Agreement while attempting to resolve the dispute under this section.

10. Hold Harmless and Indemnification

- A. In providing services under this Agreement, the Recipient is an independent contractor, and neither it nor its officers, agents, employees, or subcontractors are employees of the County for any purpose. The Recipient shall be responsible for all federal and/or state tax, industrial insurance, and Social Security liability that may result from the performance of and compensation for these services and shall make no claim of career service or civil service rights which may accrue to a County employee under state or local law.

The County assumes no responsibility for the payment of any compensation, wages, benefits, or taxes, by, or on behalf of the Recipient, its employees, subcontractors and/or others by reason of this Agreement. The Recipient shall protect, indemnify, and save harmless the County, its officers, agents, and employees from and against any and all claims, costs, and/or losses whatsoever occurring or resulting from (1) the Recipient's failure to pay any such compensation, wages, benefits, or taxes, and/or (2) the supplying to the Recipient of work, services, materials, or supplies by Recipient employees or other suppliers in connection with or support of the performance of this Agreement.

- B. The Recipient further agrees that it is financially responsible for and will repay the County all indicated amounts following an audit exception which occurs due to the negligence, intentional act, and/or failure, for any reason, to comply with the terms of this Agreement by the Recipient, its officers, employees, agents, or subcontractors. This duty to repay the County shall not be diminished or extinguished by the prior termination of the Agreement pursuant to the Term and Termination section.
- C. The Recipient shall defend, indemnify, and hold harmless the County, its officers, employees, and agents from any and all costs, claims, judgments, and/or awards of damages, arising out of, or in any way resulting from, the negligent acts or omissions of the Recipient, its officers, employees, sub-awardees and/or agents in its performance or non-performance of its obligations under this Agreement. In the event the County incurs any judgment, award, and/or cost arising therefrom including attorneys' fees to enforce the provisions of this article, all such fees, expenses, and costs shall be recoverable from the Recipient.
- D. The County shall defend, indemnify, and hold harmless the Recipient, its officers, employees, and agents from any and all costs, claims, judgments, and/or awards of damages, arising out of, or in any way resulting from, the negligent acts or omissions of the County, its officers, employees, or agents in its performance or non-performance of its obligations under this Agreement. In the event the Recipient incurs any judgment, award, and/or cost arising therefrom including attorneys' fees to enforce the provisions of this article, all such fees, expenses, and costs shall be recoverable from the County.
- E. Claims shall include, but not be limited to, assertions that use or transfer of software, book, document, report, film, tape, or sound reproduction or material of any kind, delivered hereunder, constitutes an infringement of any copyright, patent, trademark, trade name, and/or otherwise results in unfair trade practice.
- F. Nothing contained within this provision shall affect and/or alter the application of any other provision contained within this Agreement.
- G. The indemnification, protection, defense and save harmless obligations contained herein shall survive the expiration, abandonment or termination of this Agreement.

11. Insurance Requirements

The Recipient, unless expressly waived in Appendix 1, shall procure and maintain for the term of this Agreement, insurance covering King County as an additional insured, against claims for injuries to persons or damages to property which may arise from, or in connection with, the performance of work hereunder by the Recipient, its agents, representatives, employees, and/or sub-awardees. The costs of such insurance shall be paid by the Recipient or sub-awardee. The Recipient may furnish separate certificates of insurance and policy endorsements for each sub-awardee as evidence of compliance with the insurance requirements of this Agreement. The Recipient is responsible for ensuring compliance with all of the insurance requirements stated herein. Failure by the Recipient, its agents, employees, officers, sub-awardee, providers, and/or provider sub-awardees to comply with the insurance requirements stated herein shall constitute a material breach of this Agreement. Specific coverages required by this contract are contained in Appendix 1.

- A. Municipal or state agency provisions

If the Contractor is a Municipal Corporation or an agency of the State of Washington or any other Public Agency and is self-insured for any of the above insurance requirements, a certification of self-insurance shall be attached and be incorporated by reference and shall constitute compliance with this section.

- B. Deductibles and self-insured retentions

Any deductibles or self-insured retentions shall not apply to the Contractor's liability to the County and shall be the sole responsibility of the Contractor or its Subcontractor.

- C. Other insurance provisions: The insurance coverage(s) required in this Contract are to contain, or be endorsed to contain, the following provisions

1. All Liability Policies (except Employers Liability, Workers Compensation and Professional Liability (Errors and Omissions):
 - a. King County, its officers, officials, employees and agents are to be covered as additional insureds, for full coverage and policy limits, as respects liability arising out of activities performed by or on behalf of the Contractor in connection with this Contract. Additional Insured Endorsement(s) shall be included with the certificate of insurance, "CG 2010 11/85" or its substantive equivalent is required. The County requires these Endorsement(s) to complete the Contract.
 - b. Such coverage shall be primary and non-contributory insurance as respects the County, its officers, officials, employees and agents.
 - c. The Contractor's insurance coverage shall apply separately to each insured against whom a claim is made and/or lawsuit is brought, except with respect to the limits of the insurer's liability.
2. All policies
 - a. Coverage shall not be suspended, voided, canceled, reduced in coverage or in limits until after thirty (30) days prior written notice has been given to the County.
 - b. Each insurance policy shall be written on an "occurrence" basis/form; except that insurance on a "claims made" basis/form may be acceptable with prior County approval.

If coverage is approved and purchased on a "claims made" basis/form, the Contractor warrants continuation of coverage, either through policy renewals or the purchase of an extended discovery period, if such extended coverage is available, for not less than three (3) years from the date of Contract termination and/or conversion from a "claims made" form to an "occurrence" coverage form.

D. Acceptability of Insurers

1. Insurance coverage is to be placed with insurers with an AM Best's rating of no less than A: VIII, or, if not rated with an AM Best's, with minimum surpluses the equivalent of an AM Best's surplus size VIII.
2. Professional Liability, Errors and Omissions insurance coverage may be placed with insurers with an AM Best's rating of B+:VII. Any exception must be approved by the County.
3. If at any time any of the foregoing policies fail to meet minimum requirements, the Contractor shall, upon notice to that effect from the County, promptly obtain a new policy, and shall submit the same to the County, with the appropriate certificates and endorsements, for approval.

E. Verification of coverage

1. The Contractor shall furnish the County certificates of insurance and endorsements required by this Contract. Such certificates and endorsements, and renewals thereof, shall be attached as exhibits to the Contract. The certificates and endorsements for each insurance policy are to be on forms approved by the County prior to the commencement of activities associated with the Contract. In the event of a claim, the County reserves the right to require complete, certified copies of all required insurance policies at any time, which may be redacted of confidential and proprietary information.
2. If the Agency/Contracting Party is a Municipal Corporation or an agency of the State of Washington and is a member of the Washington Cities Insurance Authority (WCIA) or any other self-insurance risk pool, a written acknowledgement/certification of current membership will be attached to the Agreement as Exhibit I and satisfies the insurance requirements specified above.
3. County's receipt or acceptance of Contractor's evidence of insurance without comment or objection, or County's failure to request certified copies of such insurance does not waive, alter, modify or invalidate any of the insurance requirements set forth above or, consequently, constitute County's acceptance of the adequacy of Contractor's insurance or preclude or prevent any action by County against Contractor for breach of the insurance requirements.

F. Insurance for subcontractors

1. If the Contractor subcontracts any portion of this Contract pursuant to Section XIII, the Contractor shall include all subcontractors as insureds under its policies or shall require reasonable and appropriate insurance coverage and insurance limits to cover each of the subcontractors liabilities given the subcontractor's scope of work and the services being provided herein. To the extent reasonably commercially available, insurance maintained by any subcontractor must comply with the specified insurance requirements, including the requirements under "Other insurance provisions".
2. Contractor is obligated to require and verify that each subcontractor maintains the required insurance and ensure that King County is included as additional insured. Upon request by King County, and within five (5) business days, Contractor must provide evidence of each subcontractor's insurance coverage, including endorsements.

G. All coverages and requirements

Nothing contained within these insurance requirements shall be deemed to limit the scope, application and/or limits of the coverage afforded by said policies, which coverage will apply to each insured to the full extent provided by the terms and conditions of the policy(s). Nothing contained within this provision shall affect and/or alter the application of any other provision contained within this Contract.

12. Sub-agreements

- A. "Sub-agreement" shall mean any agreement between the Recipient and a sub-awardee or between sub-awardees that is based on this Agreement, provided that the term "sub-awardee" does not include the purchase of (1) support services not related to the subject matter of this Agreement, or (2) supplies.
- B. The Recipient shall include Sections 2.D., 2.E., 3, 4, 5, 6, 10.A., 10.B., 10.G., 12, 13, 14, 15, 16, 17, 23, 24, 26, and the Funder's Special Terms and Conditions, if attached, in every sub-agreement that relates to the subject matter of this Agreement.
- C. The Recipient agrees to include the following language verbatim in every sub-agreement for services which relate to the subject matter of this Agreement:

"Sub-awardee shall protect, defend, indemnify, and hold harmless King County, its officers, employees and agents from any and all costs, claims, judgments, and/or awards of damages arising out of, or in any way resulting from the negligent act or omissions of sub-awardee, its officers, employees, and/or agents in connection with or in support of this Agreement. Sub-awardee expressly agrees and understands that King County is a third party beneficiary to this Agreement and shall have the right to bring an action against sub-awardee to enforce the provisions of this paragraph."

13. Nondiscrimination and Equal Employment Opportunity

The Recipient shall comply with all requirements found at <https://kingcounty.gov/en/dept/dph/about-king-county/about-public-health/working-with-public-health/contracts>.

14. Conflict of Interest

- A. The Recipient agrees to comply with applicable provisions of K.C.C. 3.04. Failure to comply with such requirements shall be a material breach of this Agreement, and may result in termination of this Agreement pursuant to Section II and subject the Recipient to the remedies stated therein, or otherwise available to the County at law or in equity.
- B. The Recipient agrees, pursuant to KCC 3.04.060, that it will not willfully attempt to secure preferential treatment in its dealings with the County by offering any valuable consideration, thing of value or gift, whether in the form of services, loan, thing or promise, in any form to any county official or employee. The Recipient acknowledges that if it is found to have violated the prohibition found in this paragraph,

its current Agreements with the county will be cancelled and it shall not be able to bid on any county Agreement for a period of two years.

- C. The Recipient acknowledges that for one year after leaving County employment, a former County employee may not have a financial or beneficial interest in an agreement or grant that was planned, authorized, or funded by a County action in which the former County employee participated during County employment. Recipient shall identify at the time of offer current or former County employees involved in the preparation of proposals or the anticipated performance of Work if awarded the Agreement. Failure to identify current or former County employees involved in this transaction may result in the County's denying or terminating this Agreement. After Agreement award, the Recipient is responsible for notifying the County's Project Manager of current or former County employees who may become involved in the Agreement any time during the term of the Agreement.

15. Equipment Purchase, Maintenance, and Ownership

- A. The Recipient agrees that any equipment purchased, in whole or in part, with Contract funds at a cost of ,000 per item or more, when the purchase of such equipment is reimbursable as a Contract budget item, shall be treated as a capital asset, including tagging. The Recipient shall be responsible for all such property, including the proper care and maintenance of the equipment.
- B. In the event Recipient no longer provides services under a contract with the County, equipment and the equipment allocation funds/reserves are to be returned to the King County EMS Fund or transferred to a new Recipient, as determined by the County.

16. Proprietary Rights

The parties to this Agreement hereby mutually agree that if any patentable or copyrightable material or article should result from the work described herein, all rights accruing from such material or article shall be the sole property of the party that produces such material or article. If any patentable or copyrightable material or article should result from the work described herein and is jointly produced by both parties, all rights accruing from such material or article shall be owned in accordance with US Patent Law. Each party agrees to and does hereby grant to the other party, irrevocable, nonexclusive, and royalty-free license to use, according to law, any material or article and use any method that may be developed as part of the work under this Agreement.

The foregoing products license shall not apply to existing training materials, consulting aids, checklists, and other materials and documents of the Recipient which are modified for use in the performance of this Agreement.

The foregoing provisions of this section shall not apply to existing training materials, consulting aids, checklists, and other materials and documents of the Recipient that are not modified for use in the performance of this Agreement.

17. Political Activity Prohibited

None of the funds, materials, property, or services provided directly or indirectly under this Agreement shall be used for any partisan political activity or to further the election or defeat of any candidate for public office.

18. King County Recycled Product Procurement Policy

In accordance with King County Code 18.20, the Recipient shall use recycled paper, and both sides of sheets of paper whenever practicable, when submitting proposals, reports, and invoices, if paper copies are required.

19. Future Support

The County makes no commitment to support the services awarded for herein and assumes no obligation for future support of the activity awarded herein except as expressly set forth in this Agreement.

20. Entire Agreement/Waiver of Default

The parties agree that this Agreement is the complete expression of the terms hereto and any oral or written representations or understandings not incorporated herein are excluded. Both parties recognize that time is of the essence in the performance of the provisions of this Agreement. Waiver of any default shall not be deemed to be a waiver of any subsequent default. Waiver or breach of any provision of the Agreement shall not be deemed to be a waiver of any other or subsequent breach and shall not be construed to be a modification of the terms of the Agreement unless stated to be such through written approval by the County, which shall be attached to the original Agreement.

21. Amendments

Either party may request changes to this Agreement. Proposed changes which are mutually agreed upon shall be incorporated by written amendments to this Agreement. Changes to the County’s Agreement numbering system or fund source may be made unilaterally by the County and without the need for amendment of this Agreement. The Recipient shall be notified in writing of any changes in the Agreement number or fund source assigned by the County; provided, however, that the total compensation allocated by the County through this Agreement does not change.

22. Notices

Whenever this Agreement provides for notice to be provided by one party to another, such notice shall be in writing and directed to the chief executive office of the Recipient and the project representative of the County department specified on page one of this Agreement. Any time within which a party must take some action shall be computed from the date that the notice is received by said party.

23. Services Provided in Accordance with Law and Rule and Regulation

The Recipient and any sub-awardee agree to abide by the laws of the state of Washington, rules and regulations promulgated thereunder, and regulations of the state and federal governments, as applicable, which control disposition of funds granted under this Agreement, all of which are incorporated herein by reference.

In the event that there is a conflict between any of the language contained in any exhibit or attachment to this Agreement, the language in the Agreement shall have control over the language contained in the exhibit or the attachment, unless the parties affirmatively agree in writing to the contrary.

24. Applicable Law

This Agreement shall be construed and interpreted in accordance with the laws of the State of Washington. The venue for any action hereunder shall be in the Superior Court for King County, Washington.

25. Electronic Processing and Signatures

The parties agree that this Agreement may be processed and signed electronically, which if done so, will be subject to additional terms and conditions found at <https://www.docusign.com/company/terms-of-use>.

The parties acknowledge that they have consulted with their respective attorneys and have had the opportunity to review this Agreement. Therefore, the parties expressly agree that this Agreement shall be given full force and effect according to each and all of its express terms and provisions and the rule of construction that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement.

The parties executing this Agreement electronically have authority to sign and bind its represented party to this Agreement.

26. No Third Party Beneficiaries

Except for the parties to whom this Agreement is assigned in compliance with the terms of this Agreement, there are no third party beneficiaries to this Agreement, and this Agreement shall not impart any rights enforceable by any person or entity that is not a party hereto.

END OF COUNTY TERMS AND CONDITIONS

APPENDIX 1 – INSURANCE REQUIREMENTS

PHSKC Agreement # 14807 EMS

Unless waived under section A below, the following insurance requirements are hereby incorporated into the referenced Agreement’s terms and conditions.

Section A.

The requirement that Contractor maintains insurance coverage as specified for this Agreement is not waived.

Section B. Specific Requirements

General Liability Insurance:

\$3,000,000 per occurrence and \$3,000,000 in the aggregate for bodily injury, personal and advertising injury, and property damage. Coverage shall be at least as broad as that afforded under ISO form number CG 00 01 current edition, or its substantive equivalent. Such insurance shall include coverage for, but not limited to premises liability, ongoing operations, and contractual liability. Limits may be satisfied by a single primary policy or by a combination of separate primary and umbrella or excess liability policies, provided that coverage under the latter shall be at least as broad as that afforded under the primary policy and satisfy all other requirements applicable to liability insurance including but not limited to additional insured status for the County.

Products and Completed Liability Insurance:

The General Liability policy shall include coverage for products and completed operations.

Sexual Abuse and Misconduct Liability Insurance:

1. Reserved.
2. Reserved.

Automobile Liability Insurance:

If a vehicle will be used in the performance of the Scope of Work, the Contractor shall maintain Automobile Liability coverage for \$3,000,000 combined single limit per accident for bodily injury and property damage. Coverage shall be at least as broad as that afforded under ISO form number CA 00 01 covering BUSINESS AUTO COVERAGE, symbol 1 ‘any auto’; or the appropriate coverage provided by symbols 2, 7, 8, or 9. Limits may be satisfied by a single primary limit or by a combination of separate primary and umbrella or excess liability policies, provided that coverage under the latter shall be at least as broad as that afforded under the primary policy.

Professional Liability Insurance (Errors and Omissions):

1. In the event that services delivered pursuant to this Contract either directly or indirectly involve or require professional services, \$3,000,000 per claim and in the aggregate. ‘Professional Services’

for the purpose of this Contract Section, shall mean any services provided by a licensed professional or those services that require professional standards of care.

2. Reserved.

Cyber Liability/Technology Insurance:

1. If Scope of Work involves access to, handling, and/or storage of sensitive data, to include but not limited to payment card information, personally identifiable information (PII), and personal health information (PHI) of 1,000 or more records, Cyber Liability coverage shall be maintained. Coverage shall include loss resulting from data security/privacy breach, or other unauthorized access or related violations including identity fraud and privacy law violations, denial of service attacks, introduction of virus and malicious code, extortion, dissemination or destruction of electronic data, business interruption, privacy law violations, disclosure of non-public, personal or confidential information, identity fraud, loss of income due to system crashes, breach of contract, and acts by rogue employees. Coverage shall include notification and other expenses incurred in remedying a privacy breach as well as costs to investigate and restore data.

\$3,000,000 per claim and in the aggregate.

Workers' Compensation Insurance and Employer's Liability ("Stop Gap") Insurance:

1. Workers' Compensation coverage, as required by the Industrial Insurance Act of the State of Washington, as well as any similar coverage required for this Work by applicable Federal or 'Other States' State Law. When statutorily required to have Workers' Compensation coverage, Contractor shall maintain Employers Liability or Stop Gap coverage with a limit no less than \$1,000,000 each occurrence and shall be at least as broad as the protection provided by the Workers' Compensation policy Part 2 (Employers Liability), or, in monopolistic states, including but not limited to Washington, the protection provided by the 'Stop Gap' endorsement to the Commercial General Liability policy.

Public Health—Seattle & King County
Emergency Medical Services (EMS) Division
Exhibit A –Scope of Work

Basic Life Support (BLS) Services

- A. The Recipient shall provide Basic Life Support (BLS) services within their geographic boundaries consistent with the following requirements, and in other geographic areas consistent with any mutual aid agreement.
- B. BLS services shall comply with the requirements adopted by King County pursuant to Chapter [2.35A.030](#) of the King County Code or by the King County Medical Program Director (MPD) pursuant to Chapter [18.73](#) RCW and shall be consistent with the scope of work, EMS Strategic Plan, and EMS Policies.
- C. Service Requirements: The Recipient shall ensure that BLS services provided under this Contract are consistent with the following requirements:
 - I. Personnel: All emergency medical services personnel providing basic life support services supported by King County funds must be certified as Emergency Medical Technicians (EMTs) as defined by RCW [18.73](#). Basic EMT training will be provided in coordination with the EMS Division and the King County MPD, and in accordance with Washington state regulations.
 - II. Continuing Medical Education: EMTs will remain certified as required by WAC [246-976](#). Quarterly continuing education and proficiency standards designed to meet the King County BLS OTEP will be set by the EMS Division and the King County MPD. The Recipient must report ongoing completion of education and skill proficiency updates to the EMS Division.
 - a. The Recipient must maintain training records for a minimum of seven years or in accordance with the records retention requirements of their organization, whichever is greater. WAC [246-976-026](#).
 - b. The EMS Division Training and Education Section may occasionally review agency training records and/or support EMS Division's acquisition of training records as requested by the King County MPD and/or Washington State Department of Health. WAC [246-976-026](#).
 - III. Medical Standards: The Recipient shall adhere to standards of medical care for the triage, treatment and transport of patient as authorized by the King County MPD pursuant to RCW [18.73](#) and

18.71. Standards of medical care are delineated in the EMS Division training curriculum approved by the Washington State Department of Health, “Seattle and King County EMT Patient Care Guidelines.”

- a. Scope of Practice: Evaluation and treatment activities by EMTs from agencies not described in the standards of medical care are deemed outside the scope of practice. Changes or additions to this scope of practice will be issued periodically by the King County MPD and any revisions shall be incorporated into this requirement.
- b. Patient Confidentiality: Information concerning the evaluation and treatment of a patient by BLS personnel in the performance of their duties is to be handled as confidential material, including patient name, medical history, incident location, or any other confidential information. Confidential medical information may not be released unless the patient, or his/her court-appointed representative, completes and signs an Authorization for Release of Information form in accordance with Washington RCW 70.02 and the federal Health Insurance Protection and Portability Act.
- c. Equipment:
 1. The Recipient will maintain an ongoing inventory of four to six-month supply of infectious disease personal protective equipment (PPE).
 2. All vehicles used to deliver emergency medical services must meet vehicle standards as established by the Washington State Department of Health pursuant to RCW 18.73, unless waived by the State Department of Health Office of EMS Trauma Prevention Licensing. Medical equipment used by personnel must meet appropriate federal or state standards or county protocols.
- d. Transportation Policy: The Recipient is responsible for developing a policy for the transport of patients from the incident scene to the treatment scene. The decision to transport a patient seen by BLS personnel will be determined by the patient’s medical condition as described in the Basic EMT core curriculum and any mitigating circumstances. The mode of transport will be consistent with the patient’s medical condition and provide humane, efficient and expedient care. Transport destinations should be consistent with the State Trauma System Activation Guidelines.
- e. Record Keeping and Record Submission: An electronic healthcare record (EHR) must be created to document a response to an emergency medical incident, including cancelled calls. An EHR must be completed as accurately and

thoroughly as possible. Completed patient care reports must be submitted to the EMS Division. In the case of cardiac arrest events (or other events, such as research protocols, or as defined by the King County MPD), notification must be provided to the EMS Division within 24 hours and completed records within the specified time (i.e., 2 days of the event in 20206) by the King County MPD. Agencies are responsible for retention of the patient care record per Washington state records retention requirements.

- f. Service Modifications: Review and modifications of BLS requirements may be conducted on a regular basis. BLS services shall be consistent with any modifications to protocols or procedures as defined by the King County Medical Program Director.
- IV. Mutual Aid Agreements: A specific plan for mutual aid with adjacent BLS and ALS agencies shall be established and available for review by the EMS Division by December 31, 2026.
 - V. Assignment/Sub-agreements: The recipient will not assign or sub-award any portion of this Agreement or transfer or assign any claim arising pursuant to this Agreement without written mutual agreement between the EMS Division Director and Recipient. The recipient must notify the EMS Division Director in writing of a proposed assignment or sub-award within a reasonable amount of time but at least sixty (60) days prior to the date of any proposed assignment or sub-award. After providing such notice the recipient must provide the EMS Division Director with periodic updates
 - VI. Joint EMS Agency Activities: The Recipient may conduct joint non-response related activities, such as trainings or drills, with Advanced Life Support (ALS) providers in the region.
 - VII. Quality Improvement Program: The Recipient agrees to actively participate in an ongoing program of Quality Improvement consistent with the regional standards and approach established by the King County MPD, the EMS Division and regional EMS agencies. Elements of the program should include: 1) EMT assessment and oversight, 2) sentinel event and inquiry, 3) BLS patient care record review, and 4) EMT certification and recertification maintenance and oversight. The Recipient must have a written Quality Improvement Plan that specifies the BLS agency's internal quality review activities and should be available for review by the EMS Division by December 31, 2026.
 - VIII. Performance Measurement and Review: The Recipient agrees to participate in an ongoing program of regional performance measurement and review. Performance indicators will be reported by the EMS Division on an annual basis and updated as needed.

Standards for each agency will be monitored in the following major areas: total call volume and average unit response time. Mitigation activities will be initiated with agencies if needed.

- IX. Proposed Research and Evaluation Activities: Recipient shall request and receive prior review and written approval from the King County MPD and the EMS Division Director for any proposed clinical research or evaluation activities involving personnel, equipment or data supported directly or indirectly by King County funds. All such clinical research and evaluation must be in compliance with State, County and local regulations and laws.
- X. Emergency Medical Technician (EMT) Training Program: Recipient employees, at the EMS Division's sole discretion, may participate in the EMS Division's EMT Training Program (Program) to include the following elements:
- a. Participation: The EMS Division will solicit interested career service firefighters from regional agencies to participate in EMS Division hosted Initial EMT Training classes. Agencies provide completed applications for potential candidates to the EMS Division to be reviewed for participation. The EMS Division will confirm candidates' selection with their sponsoring agency.
 - b. Specific Learning Objectives: To provide training and information on basic State and National Requirements for Emergency Medical Technicians and to provide clinical observation of acutely ill patients in an emergency room setting. Students will have the opportunity to observe patients' history and exams, treatments and perform vital signs if applicable.
 - c. Clinical Observation: The Program includes a 10-hour clinical rotation at Harborview Medical Center whereby the Recipient employee's primary duty will be to observe, however they may be called upon to perform the following activities: Take vital signs, blood pressure, pulse, respiratory rates, temperatures and other duties as assigned by clinical staff.
 - d. Ride along: Observe patient care and treatment on a Fire Department Aid car. Main objective is to allow students the opportunity to observe a variety of career EMT skills and techniques including, but not limited to scene assessment, EMT patient interaction, patient exam, medical documentation and hospital staff interaction.
 - e. The Recipient and the EMS Division will instruct their respective staff and employees participating in the Program to maintain confidentiality of patient information as required

by law and by the policies and procedures of the Recipient and the EMS Division.

2026 FINAL Allocations for BLS Agencies

Agency	BLS Allocation	Core Allocation	BLS Allocation TOTAL	MIH	TOTAL	2025 Total Allocation (BLS/MIH)	Difference	Reg'l EMT Trng	EMS Training Section Support	Amendment Total
Bellevue Fire Department	\$4,710,760	\$169,181	\$4,879,941	\$1,165,674	\$6,045,615	\$5,164,084	\$881,531	\$218,921	\$60,000	\$278,921
Eastside Fire & Rescue	\$2,576,655	\$89,169	\$2,665,824	\$624,718	\$3,290,542	\$2,782,593	\$507,949		\$75,000	\$75,000
Woodinville Fire & Rescue	\$865,476	\$26,451	\$891,927	\$182,202	\$1,074,129	\$933,637	\$140,492		\$5,000	\$5,000
Mercer Island Fire Department(8)	\$768,975	\$27,611	\$796,586	\$189,252	\$985,838	\$846,649	\$139,189		\$5,000	\$5,000
Fire District #45 - Duvall (9)	\$252,819	\$6,715	\$259,534	\$46,972	\$306,506	\$266,890	\$39,616		\$10,000	\$10,000
Redmond Fire Department	\$1,972,240	\$70,316	\$2,042,556	\$488,618	\$2,531,174	\$2,144,772	\$386,402		\$35,000	\$35,000
Kirkland Fire Department	\$1,942,184	\$68,986	\$2,011,170	\$482,257	\$2,493,427	\$2,101,870	\$391,557		\$60,000	\$60,000
Puget Sound Regional Fire Authority (1)	\$2,979,500	\$104,208	\$3,083,708	\$752,128	\$3,835,836	\$3,179,803	\$656,033	\$562,967	\$60,000	\$622,967
Sea Tac Fire Department (1)	\$676,216	\$22,760	\$698,976	\$162,323	\$861,299	\$724,999	\$136,300		\$5,000	\$5,000
Fire District #43 - Maple Valley(1)	\$684,129	\$19,248	\$703,377	\$135,020	\$838,397	\$726,514	\$111,883		\$5,000	\$5,000
Tukwila Fire Department(7)	\$740,112	\$24,696	\$764,808	\$177,607	\$942,415	\$786,842	\$155,573		\$5,000	\$5,000
Renton Regional Fire Authority(2)	\$2,240,755	\$78,602	\$2,319,357	\$564,306	\$2,883,663	\$2,401,404	\$482,259		\$85,000	\$85,000
Fire District #40(2)	\$363,154	\$11,265	\$374,419	\$76,174	\$450,593	\$384,532	\$66,061		\$0	\$0
South King Fire	\$2,769,759	\$96,635	\$2,866,394	\$698,964	\$3,565,358	\$2,950,357	\$615,001		\$20,000	\$20,000
Shoreline Fire Department	\$1,257,299	\$44,051	\$1,301,350	\$317,364	\$1,618,714	\$1,350,106	\$268,608	\$218,921	\$60,000	\$278,921
Fire District #16 - Northshore	\$653,691	\$22,873	\$676,564	\$160,212	\$836,776	\$708,290	\$128,486		\$5,000	\$5,000
Valley Regional Fire Authority	\$1,597,891	\$55,386	\$1,653,277	\$400,201	\$2,053,478	\$1,688,138	\$365,340		\$20,000	\$20,000
Fire District #2 - Burien(4)	\$1,129,011	\$39,431	\$1,168,442	\$281,000	\$1,449,442	\$1,206,294	\$243,148		\$5,000	\$5,000
Fire District #11 - North Highline(4)	\$609,090	\$11,670	\$620,760	\$83,161	\$703,921	\$631,927	\$71,994		\$5,000	\$5,000
Bothell Fire Department	\$610,671	\$18,799	\$629,470	\$134,532	\$764,002	\$644,359	\$119,643		\$20,000	\$20,000
Snoqualmie Fire Department	\$219,343	\$7,662	\$227,005	\$53,503	\$280,508	\$238,385	\$42,123		\$20,000	\$20,000
Fire District #13 - Vashon/Maury	\$321,455	\$9,852	\$331,307	\$70,858	\$402,165	\$345,099	\$57,066		\$20,000	\$20,000
Mountain View(3)	\$438,094	\$9,668	\$447,762	\$69,516	\$517,278	\$454,152	\$63,126		\$10,000	\$10,000
City of Black Diamond(3)	\$90,868	\$2,361	\$93,229	\$17,544	\$110,773	\$91,643	\$19,130		\$5,000	\$5,000
Enumclaw Fire Department	\$465,217	\$12,342	\$477,559	\$87,960	\$565,519	\$491,798	\$73,721		\$10,000	\$10,000
Fire District #20 - Bryn Mawr /Skyway	\$326,390	\$10,311	\$336,701	\$73,423	\$410,124	\$346,744	\$63,380		\$10,000	\$10,000
Fire District #27 - Fall City	\$160,116	\$4,165	\$164,281	\$28,932	\$193,213	\$170,096	\$23,117		\$10,000	\$10,000
Fire District #47 - Palmer/Selleck	\$39,825	\$896	\$40,721	\$6,326	\$47,047	\$42,062	\$4,985		\$5,000	\$5,000
Fire District #50 - Skykomish	\$64,056	\$1,084	\$65,140	\$7,667	\$72,807	\$66,927	\$5,880		\$5,000	\$5,000
Fire District #51 - Snoqualmie Pass	\$37,079	\$400	\$37,479	\$2,660	\$40,139	\$38,308	\$1,831		\$10,000	\$10,000
Total	\$31,562,830	\$1,066,794	\$32,629,624	\$7,541,074	\$40,170,698	\$33,909,274	\$6,261,424	\$1,000,809	\$650,000	\$1,650,809

Notes 1, 2, 3, 4, 5, 6, 8 and 9 indicate contract agencies.

Bellevue Fire Department
Eastside Fire & Rescue
 Woodinville Fire & Rescue
Mercer Island Fire Department(8)
Fire District #45 - Duvall (9)
Redmond Fire Department
Kirkland Fire Department
Puget Sound Regional Fire Authority (1)
SeaTac Fire Department (1)
Fire District #43 - Maple Valley(1)
Tukwila Fire Department(7)
Renton Regional Fire Authority(2)
Fire District #40(2)
South King Fire
Shoreline Fire Department
 Fire District #16 - Northshore
Valley Regional Fire Authority
Fire District #2 - Burien(4)
Fire District #11 - North Highline(4)
Bothell Fire Department
Snoqualmie Fire Department
Fire District #13 - Vashon/Maury
Mountain View(3)
City of Black Diamond(3)
Enumclaw Fire Department
Fire District #20 -Bryn Mawr /Skyway
Fire District #27 - Fall City
Fire District #47 - Palmer/Selleck
Fire District #50 - Skykomish
Fire District #51 - Snoqualmie Pass



2026-2031 BLS Invoice - Basic Allocation

Contract Number:
 Exhibit: B1 - BLS Basic Allocation Invoice
 Contract Period of Performance: 2026-2031

Agency Name: _____
 Address: _____

 Contact Person: _____
 Phone: _____
 email: _____

Please submit signed PDF of invoice to:
mary.won@kingcounty.gov

ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Req # and Receipt #	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type (Circle One)	CHECK or ACH
Print on Remittance	_____
PH Program name & phone	_____

Start Date	End Date
MM/DD/YY	MM/DD/YY

Invoice for services rendered under this contract for the period of:

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	CFDA	Amount
1045572	830000	53180	002	101752				\$ -

Attach sheet for multiple POETAs

OPERATIONAL FUNDS	2026 Budget	Invoice Amount	Previous Total	Expense To Date	Budget Remaining
Salaries & Benefits					
EMT Salaries	\$ -	\$ -	\$ -	\$ -	\$ -
Other Salaries	\$ -	\$ -	\$ -	\$ -	\$ -
Overtime	\$ -	\$ -	\$ -	\$ -	\$ -
Employee Benefits	\$ -	\$ -	\$ -	\$ -	\$ -
<i>Subtotal Salaries</i>	\$ -	\$ -	\$ -	\$ -	\$ -
<i>Subtotal Employee Benefits:</i>	\$ -	\$ -	\$ -	\$ -	\$ -
<i>Subtotal Employee Salaries & Benefits:</i>	\$ -	\$ -	\$ -	\$ -	\$ -
Other Costs:					
Medical Supplies & Equipment	\$ -	\$ -	\$ -	\$ -	\$ -
Office & Computer Supplies & Equipment	\$ -	\$ -	\$ -	\$ -	\$ -
Uniforms, Fire & Safety Supplies	\$ -	\$ -	\$ -	\$ -	\$ -
Dispatch	\$ -	\$ -	\$ -	\$ -	\$ -
Communications	\$ -	\$ -	\$ -	\$ -	\$ -
Vehicle Maintenance	\$ -	\$ -	\$ -	\$ -	\$ -
Facility Costs	\$ -	\$ -	\$ -	\$ -	\$ -
Training	\$ -	\$ -	\$ -	\$ -	\$ -
Misc.	\$ -	\$ -	\$ -	\$ -	\$ -
<i>Subtotal Other Costs:</i>	\$ -	\$ -	\$ -	\$ -	\$ -
Basic BLS Allocation Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy Rcvd
Date					
Initial					



ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

2026-2031 BLS Invoice - BLS Core Services

Contract Number:
Exhibit: B2 - BLS Core Services Invoice
 Contract Period of Performance: 2025

Agency Name: _____
 Address: _____

 Contact Person: _____
 Phone: _____
 email: _____

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Req # and Receipt #	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type (Circle One)	CHECK or ACH
Print on Remittance	_____
PH Program name & phone	_____

Please submit signed PDF of invoice to:
becky.ellis@kingcounty.gov

Start Date	End Date
MM/DD/YY	MM/DD/YY

Invoice for services rendered under this contract for the period of:

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	CFDA	Amount
1127515	830000	53180		101752				\$ -

Attach sheet for multiple POETAs

OPERATIONAL FUNDS	2026 Budget	Invoice Amount	Previous Total	Expense To Date	Budget Remaining
Operations					
Dispatch/Communications	\$ -	\$ -	\$ -	\$ -	\$ -
EMS Student Training	\$ -	\$ -	\$ -	\$ -	\$ -
Operational Supplies	\$ -	\$ -	\$ -	\$ -	\$ -
Other Unplanned Expense	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Operations	\$ -	\$ -	\$ -	\$ -	\$ -
Capacity					
Facilities	\$ -	\$ -	\$ -	\$ -	\$ -
Call Valume/Utiliation	\$ -	\$ -	\$ -	\$ -	\$ -
Expanded Capacity to meet added demand	\$ -	\$ -	\$ -	\$ -	\$ -
Unplanned Event	\$ -	\$ -	\$ -	\$ -	\$ -
Aid Car Hours	\$ -	\$ -	\$ -	\$ -	\$ -
Consumable Supplies	\$ -	\$ -	\$ -	\$ -	\$ -
Other Unplanned Expense	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Capacity	\$ -	\$ -	\$ -	\$ -	\$ -
Equipment					
Vehicle	\$ -	\$ -	\$ -	\$ -	\$ -
Communications	\$ -	\$ -	\$ -	\$ -	\$ -
Medical & Other	\$ -	\$ -	\$ -	\$ -	\$ -
Stretchers	\$ -	\$ -	\$ -	\$ -	\$ -
Other	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Equipment	\$ -	\$ -	\$ -	\$ -	\$ -
BLS Core Services Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Co
Date					
Initial					



ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

2026-2031 BLS Invoice - Agencies that operate an MIH program

Contract Number:

Exhibit: B3.1 - Agencies that operate an MIH program

Contract Period of Performance: 2026

Agency Name:

Address: _____

Contact Person: _____

Phone: _____

email: _____

Please submit signed PDF of invoice to:

cdruker@kingcounty.gov

Invoice for services rendered under this contract for the period of:

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Req # and Receipt #	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type	(Circle One) CHECK or ACH
Print on Remittance	_____
PH Program name & phone	_____

Start Date	End Date
_____	_____
MM/DD/YY	

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	CFDA	Amount
1137930	830500	53180	002	101752				\$ -

Attach sheet for multiple POETAs

Direct Costs	2026 Budget	Invoice Amount	Previous Total	Expense To Date	Budget Remaining
Personnel Costs					
Salaries	\$ -	\$ -	\$ -	\$ -	\$ -
Overtime	\$ -	\$ -	\$ -	\$ -	\$ -
Benefits	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Personnel	\$ -	\$ -	\$ -	\$ -	\$ -
Program Support					
Supplies & Uniforms	\$ -	\$ -	\$ -	\$ -	\$ -
Planning	\$ -	\$ -	\$ -	\$ -	\$ -
Training	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Support	\$ -	\$ -	\$ -	\$ -	\$ -
Vehicle/Vehicle Support	\$ -	\$ -	\$ -	\$ -	\$ -
Technology/Reporting	\$ -	\$ -	\$ -	\$ -	\$ -
Professional Services	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal Veh/Tech/Pros Svcs	\$ -	\$ -	\$ -	\$ -	\$ -
Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy
Date					
Initial					



ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

2026-2031 BLS Invoice - Agencies that contract for MIH program

Contract Number:

Exhibit: B3.2 - Agencies that contract for MIH program

Contract Period of Performance: 2026

Agency Name:

Address: _____

Contact Person: _____

Phone: _____

email: _____

Please submit signed PDF of invoice to:

cdrucker@kingcounty.gov

Invoice for services rendered under this contract for the period of:

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Req # and Receipt #	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type	(Circle One) CHECK or ACH
Print on Remittance	_____
PH Program name & phone	_____

Start Date	End Date
_____	_____
MM/DD/YY	

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	CFDA	Amount
1137930	830500	53180	002	101752				\$ -

Attach sheet for multiple POETAs

Direct Costs	2026 Budget	Invoice Amount	Previous Total	Expense To Date	Budget Remaining
MIH Agency Cost	\$ -	\$ -	\$ -	\$ -	\$ -
Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy
Date	_____	_____	_____	_____	_____
Initial	_____	_____	_____	_____	_____



INVOICE

Contract Number:
Exhibit: B5 -- Training Section Support
 Contract Period of Performance:

Agency
 Who/where
 address
 city, state
 email

Submit signed PDF of invoice to:

Jason Hammond
 401 5th Ave., Suite 1200
 Seattle, WA 98104
jhammond@kingcounty.gov

ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____

Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type	(Circle One) CHECK or ACH
Program name & phone	_____

Invoice for services rendered under this contract for the period of:

Start Date	End Date

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	Alloc	Amount	check
1137853	830311	53180	150.1	101752			Training	\$ -	0.00
1137852	830311	53180	150	101752			CBT	\$ -	0.00
	830311	53180		101752			Other	\$ -	0.00

Attach sheet for multiple POETAs

Direct Costs	Budget	Previously Billed	Current	Cumulative	Balance	
Initial EMT Class		\$ -	\$ -	\$ -	\$ -	
CBT Train the Trainer			\$ -	\$ -	\$ -	
Other			\$ -	\$ -	\$ -	
Total Direct Costs	\$ -	\$ -	\$ -	\$ -	\$ -	
Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -	0.00

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy Rcvd
Date					
Initial					

Include cents

EXHIBIT B5
EMERGENCY MEDICAL SERVICES FUND
BLS SUPPORT of EMS Training Section

BLS Agency Name: _____
 Class/Activity & Dates: _____

<u>Category</u>	<u>Description (based on request)</u>	<u>Role*</u>	<u>Dates</u>	<u>Hours</u>	<u>Contract Authority</u>	<u>This Invoice</u>	<u>Previous Totals</u>	<u>Expenses To Date</u>	<u>Authority Remaining</u>	<u>% Remaining</u>
Initial EMT Training										
								\$ -	\$ -	-
								\$ -	\$ -	-
								\$ -	\$ -	-
								\$ -	\$ -	-
								\$ -	\$ -	-
15% Indirect Costs						\$ -		\$ -	\$ -	-
	Subtotal Training Support:									
				-		\$ -	\$ -	\$ -	\$ -	-
CBT Train the Trainer										
								\$ -	\$ -	-
								\$ -	\$ -	-
								\$ -	\$ -	-
15% Indirect Costs						\$ -		\$ -	\$ -	-
	Subtotal SME:									
				-		\$ -	\$ -	\$ -	\$ -	-
Other requests										
								\$ -	\$ -	-
								\$ -	\$ -	-
15% Indirect Costs						\$ -		\$ -	\$ -	-
	Subtotal Other Costs:									
				-		\$ -	\$ -	\$ -	\$ -	-
	TOTAL BLS Support for EMS Training Section:									
				-		\$ -	\$ -	\$ -	\$ -	-

*Role: indicate roll in class - ESE/CBT Training (State certification = ESE); SEI; SEI Development
 Reimbursement is for underlying agency wages, benefits and optional 10% to cover indirect costs.
 Attach list of dates, names, role, and hours with appropriate costing information

Updated: 12/28/2025

Public Health—Seattle & King County, Emergency
Medical Services Division Exhibit C – Scope of Work
Mobile Integrated Healthcare

1. Purpose:

Agencies will receive funding for participation in Mobile Integrated Healthcare (MIH) efforts. The EMS Division will make available the guidelines, aims, objectives, metrics, and reporting requirements of MIH programs. Agencies must register their MIH program with the EMS Division and identify their MIH program as a “Response” model, “Referral” model, or both.

The EMS Division and its regional partners will collaboratively identify major components of the MIH efforts, including minimum standards for “Response” and “Referral” models of providing MIH services, costs eligible for reimbursement, and reporting methods.

Costs eligible for reimbursement through this contract include expenses related to personnel, program support, vehicle/vehicle support, technology/reporting, and professional services. More details about these categories are made available by the EMS Division.

Agencies will provide the MIH services and submit invoices for reimbursement at least annually (monthly or quarterly are also allowable).

Reimbursement requested via this scope of work should also not be requested for reimbursement under the current Basic Life Support or Advanced Life Support (where applicable) contracts with the EMS Division.

2. *The Agency shall:*

A. General:

- i. Comply with all requirements as specified in current Basic Life Support (BLS) contracts with the EMS Division.
- ii. Where applicable, comply with all requirements as specified in current Advanced Life Support (ALS) contracts with the EMS Division.
- iii. Register their MIH program with the EMS Division.
- iv. Assist with regional MIH assessment and report key indicators to the EMS Division, King County EMS Advisory Committee (EMSAC), and other entities as requested. Provide EMS Division with case management data for regional evaluation and assessment.
- v. Establish and keep updated an Agency Contact person or persons for the purposes of MIH efforts.

- B. Response (where applicable):
 - i. Staff the MIH “Response” unit with at least one EMT-trained and certified responder.
 - ii. MIH unit may serve as a dispatched response unit to low acuity medical 9-1-1 incidents in lieu of the traditional BLS response.
 - iii. Respond in a non-code status (with flow of traffic), without lights and sirens.
 - iv. At scene on all dispatched incidents, a trained and certified EMT will perform the initial assessment and evaluation using standard King County EMT Patient Care Guidelines. Activities following the initial medical assessment or for any non-dispatched interaction may include non-EMT personnel in an effort to seek the optimal patient care and appropriate disposition, including identifying if a patient could benefit from referral to follow-up treatment, care, or social service assistance and initiating that care.

- C. Liability and Medical Oversight
 - i. King County Medical Program Direction and medical oversight remains in place for EMT personnel. Agency should ensure liability coverage and appropriate medical direction and oversight is in place for non-EMT personnel participating in activities described in this Scope.

- D. Invoices:
 - i. Submit an invoice (monthly, quarterly, or annually) along with proper documentation to justify expenses requested for reimbursement.

- 3. *Public Health—Seattle & King County, Emergency Medical Services Division, shall:*
 - A. Reimburse Agency for expenses related to the Agency MIH Program.
 - B. Facilitate meetings of the EMS Division and Regional MIH Network (i.e., MIH stakeholder group) to maintain communication and partnership with the Agency regarding all contract funded activities.
 - C. Assist with regional MIH assessment and report key indicators to the Agency, King County EMS Advisory Committee (EMSAC), and other entities as requested.
 - D. Establish and keep updated an EMS Division Contact person or persons for the purposes of MIH efforts.

Mobile Integrated Healthcare | Reimbursement Guidelines

The following expenses are eligible for reimbursement under the EMS Levy as they relate to the EMS system and activities:

Expense Categories	Eligible Expenses	Supporting Documentation (to retain for your records)*
Personnel Costs	<ul style="list-style-type: none"> - Wages, benefits, associated costs for personnel providing direct services for the MIH program, either as agency employees, partner-agency personnel, or contracted personnel 	<ul style="list-style-type: none"> - Reports from Telestaff for internal employees, invoice for partnering agencies or other contracted personnel
Program Support	<ul style="list-style-type: none"> - Books or materials, printing, etc. - Reasonable costs for planning - Reasonable costs for training - Uniforms 	<ul style="list-style-type: none"> - Invoice and packing slips - If including travel costs, King County will only reimburse at per diem rates, and tolls/parking should have receipt - If including travel costs, King County will only reimburse at per diem rates, and tolls/parking should have receipt - Receipts
Vehicle/Vehicle Support	<ul style="list-style-type: none"> - Vehicle purchase and/or long-term rental (e.g., light-duty SUV or sedan) - Fuel/electric car charging port - Replacement vehicle plan (internal financial system must support this ability to invoice for future vehicle purchase) 	<ul style="list-style-type: none"> - Invoice or other relevant purchasing documents - Invoice or Fleet management report - Invoice outlining invoiced amount as well as cumulative total collected
Technology/Reporting	<ul style="list-style-type: none"> - Software purchase for MIH documentation (e.g., Julota) - Laptops or other computer systems for documentation - Software, maintenance agreements, or IT solutions for purposes of developing reporting tools to the EMS Division or for program-specific, internal reporting - Evaluation support 	<ul style="list-style-type: none"> - Invoice or other appropriate documentation - Invoice and packing slips - Scope of work, invoices, other relevant documentation of work completed
Professional Services	<ul style="list-style-type: none"> - Dispatch costs directly related to MIH program - Interpretation (e.g., in person or over the phone) 	<ul style="list-style-type: none"> - Scope of work, invoices, other relevant documentation of work completed - Invoice - Invoice

Expenses ineligible for reimbursement:

Expenses that are otherwise included and covered by non-MIH contracts and budgets should also not be requested for reimbursement via the MIH invoice.

Documenting in-kind costs:

Agencies may list costs incurred but not included in request for reimbursement (in-kind); these may include costs associated with the line items noted above or other costs not listed above but related to the MIH program or efforts. No supporting documentation is required for the in-kind costs.

Questions? Please contact Chris Drucker, cdrucker@kingcounty.gov, 206-477-7263.



Memorandum

Date: 5/19/2026
Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-328
Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services
FROM: Mayor Angela Birney
DEPARTMENT DIRECTOR CONTACT(S):

Fire	Adrian Sheppard, Fire Chief	425-556-2200
------	-----------------------------	--------------

DEPARTMENT STAFF:

Fire	Jim Whitney	Deputy Fire Chief
Fire	Amy Moorhead	Medical Services Administrator

TITLE:

Approval of the King County Emergency Medical Services (EMS) Advanced Life Support Services Contract (PHSKC Agreement #14835 EMS) for the 2026-2031 King County EMS Levy

OVERVIEW STATEMENT:

The Fire Department is seeking approval of the King County EMS Contract for Advanced Life Support Services (ALS) for the January 1, 2026 through December 31, 2031 King County EMS Levy period and to authorize the Mayor to sign the contract.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information Provide Direction Approve

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
 - Redmond's Fire Department Strategic Plan for 2022-2027
 - Redmond Fire Department's Community Risk Assessment & Standards of Cover for 2022-2027

• **Required:**
RCW 84.52.069

• **Council Request:**
N/A

• **Other Key Facts:**
On May 20, 2025, City Council approved resolution No. 1603: Placement of a Countywide Ballot Measure Before Voters in 2025 for a Funding Levy to Support Medic One/Emergency Medical Services (EMS) for the Period from January 1, 2026, through December 31, 2031. The levy was then approved by voters in November 2025 to set a

countywide rate of 25 cents per \$1,000 of assessed property value for the 2026-2031 period. The City Council previously approved a resolution supporting the 2020-2025 King County Medic One/Emergency Medical Services levy on June 4, 2019. The levy was later approved by voters in the November 2019 election at a rate of 26.5 cents per \$1,000 of assessed property value.

OUTCOMES:

The contract for the period of January 1, 2026 through December 31, 2031 will provide stable and predictable revenue to the City of Redmond, consistent with the King County EMS Levy financial policy and the voter-approved November 2025 levy. This funding supports the full cost of advanced life support (ALS) services and is critical to maintaining the City's overall fiscal stability.

King County manages training, education, and quality assurance to ensure consistent standards across jurisdictions, supporting high-quality patient care and regional interoperability.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
N/A
- **Outreach Methods and Results:**
N/A
- **Feedback Summary:**
N/A

BUDGET IMPACT:

Total Cost:

A rate of 25-cents per \$1,000 of assessed value for 2026-2031.

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

277

Budget Priority:

Safe & Resilient

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

N/A

Budget/Funding Constraints:

N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
N/A	Item has not been presented to Council	N/A

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/2/2026	Business Meeting	Approve

Time Constraints:


The current EMS levy expired at the end of 2025. In order to receive funding starting in 2026, the contract must be executed by the City.

ANTICIPATED RESULT IF NOT APPROVED:

Limited or discontinued funding for several essential services that the City of Redmond provides to its community and the broader region.

ATTACHMENTS:

Attachment A: King County Contract for Advanced Life Support Services 2026-2031 (PHSKC Agreement #14835 EMS)

		COMMUNITY SERVICES AGREEMENT – OTHER GOVERNMENT		PHSKC Agreement # 14835 EMS	
This Agreement is between King County and the Recipient identified below. The County department overseeing the work to be performed in this Agreement is the Department of Public Health (PHSKC).					
RECIPIENT NAME City of Redmond			RECIPIENT FEDERAL TAX ID # 91-6001492		
RECIPIENT ADDRESS 8450 161st Ave NE, Redmond, WA 98052			RECIPIENT CONTACT & EMAIL ADDRESS Adrian Sheppard; asheppard@redmond.gov		
PHSKC DIVISION EMS		PROJECT TITLE Advanced Life Support			
AGREEMENT START DATE January 01, 2026		AGREEMENT END DATE December 31, 2031		AGREEMENT MAXIMUM AMOUNT \$16,285,711.00	
FUNDING DETAILS					
<u>Funding Source</u> EMS Levy		<u>PHSKC Contract #</u>		<u>Amount</u> \$16,285,711.00	
<u>Effective Dates</u> Jan 01 2026 TO Dec 31 2031					
FUNDING SUMMARY FEDERAL:		COUNTY: \$16,285,711.00		STATE:	
OTHER:					
IS THE RECIPIENT A SUBRECIPIENT FOR PURPOSES OF THIS AGREEMENT? No					
EXHIBITS. The following Exhibits are attached and are incorporated into this Agreement by reference: Appendix 1 – Insurance Requirements Exhibit A – ALS Scope of Work Exhibit A1 – ALS UW Training Exhibit B - Budget Exhibit C – 2026 ALS Allocations and Contract Authority Exhibit C1 – ALS Support of Harborview Paramedic Training Invoice Exhibit C2 – ALS Support of BLS Activities Invoice Exhibit C3 – ALS Support of Emergency Medical Dispatch Invoice Exhibit C4 – ALS Support of EMS Training Section Invoice					
In consideration of payments, covenants, and agreements hereinafter mentioned, to be made and performed by the parties hereto, the parties mutually agree that the Recipient shall provide services and comply with the requirements set forth in this Agreement. The parties signing below represent that they have read and understand this Agreement, and have the authority to execute this Agreement. Furthermore, in addition to agreeing to the terms and conditions provided herein, by signing this Agreement, the Recipient certifies that it has read and understands the Agreement requirements on the PHSKC website (https://kingcounty.gov/en/dept/dph/about-king-county/about-public-health/working-with-public-health/contracts), and agrees to comply with all of the Agreement terms and conditions detailed on that site, including EEO, Nondiscrimination, Payment of a Living Wage, Civil Immigration Enforcement, and, as applicable, HIPAA, and Credentialing.					
RECIPIENT SIGNATURE		PRINTED NAME AND TITLE Adrian Sheppard Fire Chief		DATE SIGNED	
PHSKC SIGNATURE		PRINTED NAME AND TITLE		DATE SIGNED	

Approved as to Form: OFFICE OF THE KING COUNTY PROSECUTING ATTORNEY
 (This form is available in alternate formats for people with disabilities upon request.)

KING COUNTY TERMS AND CONDITIONS

1. Agreement Term and Termination

- A. This Agreement shall commence on the Agreement Start Date and shall terminate on the Agreement End Date as specified on page 1 of this Agreement, unless extended or terminated earlier, pursuant to the terms and conditions of the Agreement.
- B. This Agreement may be terminated by the County without cause, in whole or in part, prior to the Agreement End Date, by providing the other party thirty (30) days advance written notice of the termination. The Agreement may be suspended by the County without cause, in whole or in part, prior to the date specified in Subsection 1.A. above, by providing the Recipient thirty (30) days advance written notice of the suspension.
- C. This Agreement may be terminated by the Recipient without cause, in whole or in part, prior to the date specified on page 1, by providing King County six (6) months advanced written notice of termination.
- D. The County may terminate or suspend this Agreement, in whole or in part, upon seven (7) days advance written notice in the event: (1) the Recipient materially breaches any duty, obligation, or service required pursuant to this Agreement, or (2) the duties, obligations, or services required herein become impossible, illegal, or not feasible. If the Agreement is terminated by the County pursuant to this Subsection 1.C. (1), the Recipient shall be liable for damages, including any additional costs of procurement of similar services from another source.

If the termination results from acts or omissions of the Recipient, including but not limited to misappropriation, nonperformance of required services, or fiscal mismanagement, the Recipient shall return to the County immediately any funds, misappropriated or unexpended, which have been paid to the Recipient by the County.

- E. If County or other expected or actual funding is withdrawn, reduced, or limited in any way prior to the termination date set forth above in Subsection 1.A., the County may, upon written notification to the Recipient, terminate or suspend this Agreement in whole or in part.

If the Agreement is terminated or suspended as provided in this Section: (1) the County will be liable only for payment in accordance with the terms of this Agreement for services rendered prior to the effective date of termination or suspension; and (2) in the case of termination the Recipient shall be released from any obligation to provide such further services pursuant to the Agreement ; and (3) in the case of suspension the Recipient shall be released from any obligation to provide services during the period of suspension and until such time as the County provides written authorization to resume services..

Funding or obligation under this Agreement beyond the current appropriation year is conditional upon appropriation by the County Council of sufficient funds to support the activities described in the Agreement. Should such appropriation not be approved, this Agreement will terminate at the close of the current appropriation year.

- F. County funds must supplement, not replace (supplant) non-county funds. Recipient must ensure that County funds do not supplant funds that have been budgeted for the same purpose through non-County sources. Recipient may be required to demonstrate and document that a reduction in non-County resources occurred for reasons other than the receipt of expected receipt of County funds.
- G. Nothing herein shall limit, waive, or extinguish any right or remedy provided by this Agreement or law that either party may have in the event that the obligations, terms, and conditions set forth in this Agreement are breached by the other party.

2. Compensation and Method of Payment

- A. The total Agreement compensation shall be determined annually by King County. The amount allocated for the first year shall be **\$16,285,711.00**. Subsequent allocations shall be determined by the County consistent with the following allocation method in the form of a letter signed by the Public Health Director or designee.
1. As identified in the Medic One/Emergency Medical Services 2026-2031 Strategic Plan, each paramedic contractor's annual ALS Medic Unit, System, and Equipment allocations are determined by multiplying the number of operating medic units by the unit; the Program/Supervisory allocation is multiplied by allocation partially based on units and partially based on agency. While the system allocation budget is calculated on an allocation basis, expenses related to this category are invoiced at actual costs. These combined amounts equate to the standard unit allocation and is inflated yearly per formulas in the Medic One/Emergency Medical Services 2026-2031 Strategic Plan. Funds from the medic unit and program/supervisory allocations can be set aside for future use in the agency's provider/program balance. In addition, the County may add to the ALS provider's annual contract an amount not to exceed the ALS agency's provider's program/fund balance from the prior year.
 2. The County shall reimburse the Recipient for satisfactory completion of the services and requirements specified in this Agreement, payable upon receipt and approval by the County of a signed invoice in substantially the form of the attached Invoices, Exhibits C-1, C-2, C-3, and C-4, which comply with the attached Budget, Exhibit B. Equipment allocation can be invoiced after updated multi-year equipment plan, including all expenses from the previous year is received.
- B. The Recipient shall submit an invoice and all accompanying reports as specified in the attached exhibits or agreed upon alternatives not more than 60 working days after the close of each indicated reporting period. The County shall make payment to the Recipient not more than 30 days after a complete and accurate invoice is received.
- C. The Recipient shall submit its final invoice and all outstanding reports within 60 days of the date this Agreement terminates. If the Recipient's final invoice and reports are not submitted by the day specified in this subsection, the County will be relieved of all liability for payment to the Recipient of the amounts set forth in said invoice or any subsequent invoice.
- D. When a budget is attached hereto as an exhibit, the Recipient shall apply the funds received from the County under this Agreement in accordance with said budget. The Agreement may contain separate budgets for separate program components and allocations. The Recipient shall request prior approval from the County for an amendment to this Agreement when the cumulative amount of transfers among the budget categories within an allocation is expected to exceed 10% of the Agreement allocation amount in any Agreement budget. Supporting documents necessary to explain fully the nature and purpose of the amendment must accompany each request for an amendment. Transfers between unit and program/supervisory allocation budgets of 10% or less may be proposed and reviewed in a regional process and pre-approved separately by EMS Division Director and need not be incorporated by written amendment.
- E. If travel costs are contained in the attached budget, reimbursement of Recipient travel, lodging, and meal expenses are limited to the eligible costs based on the following rates and criteria.
1. The mileage rate allowed by King County shall not exceed the current Internal Revenue Service (IRS) rates per mile as allowed for business-related travel. The IRS mileage rate shall be paid for the operation, maintenance and depreciation of individually owned vehicles for that time which the vehicle is used during work hours. Parking shall be the actual cost. When rental vehicles are authorized, government rates shall be requested. If the Recipient does not request government rates, the Recipient shall be personally responsible for the difference. Please reference the federal web site for current rates: <http://www.gsa.gov>.

2. Reimbursement for meals shall be limited to the per diem rates established by federal travel requisitions for the host city in the Code of Federal Regulations, 41 CFR § 301, App.A. Please reference <http://www.gsa.gov> for the current host city per diem rates.
3. Accommodation rates shall not exceed the federal lodging limit plus host city taxes. The Recipient shall always request government rates.
4. Air travel shall be by coach class at the lowest possible price available at the time the County requests a particular trip. In general, a trip is associated with a particular work activity of limited duration and only one round-trip ticket, per person, shall be billed per trip. Any air travel occurring as part of a federal grant must be in accordance with the Fly America Act.

3. Internal Control and Accounting System

The Recipient shall establish and maintain a system of accounting and internal controls which complies with applicable generally accepted government accounting standards (GAGAS).

4. Debarment and Suspension Certification

Entities that are debarred, suspended, or proposed for debarment by the U.S. Government are excluded from receiving federal funds and contracting with the County. The Recipient, by signature to this Agreement, certifies that the Recipient is not presently debarred, suspended, or proposed for debarment by any Federal department or agency. The Recipient also agrees that it will not enter into a sub-agreement with a Recipient that is debarred, suspended, or proposed for debarment. The Recipient agrees to notify King County in the event it, or a sub-awardee, is debarred, suspended, or proposed for debarment by any Federal department or agency.

5. Maintenance of Records/Evaluations and Inspections

- A. The Recipient shall maintain accounts and records, including personnel, property, financial, and programmatic records and other such records as may be deemed necessary by the County to ensure proper accounting for all Agreement funds and compliance with this Agreement.
- B. In accordance with the nondiscrimination and equal employment opportunity requirements set forth in Section 13. below, the Recipient shall maintain the following:
 1. Records of employment, employment advertisements, application forms, and other pertinent data, records and information related to employment, applications for employment or the administration or delivery of services or any other benefits under this Agreement; and
 2. Records, including written quotes, bids, estimates or proposals submitted to the Recipient by all businesses seeking to participate on this Agreement, and any other information necessary to document the actual use of and payments to sub-awardees and suppliers in this Agreement, including employment records.

The County may visit the site of the work and the Recipient's office to review the foregoing records. The Recipient shall provide every assistance requested by the County during such visits. In all other respects, the Recipient shall make the foregoing records available to the County for inspection and copying upon request. If this Agreement involves federal funds, the Recipient shall comply with all record keeping requirements set forth in any federal rules, regulations or statutes included or referenced in the Agreement documents.

- C. Except as provided in Section 6 of this Agreement, the records listed in A and B above shall be maintained for a period of six (6) years after termination hereof unless permission to destroy them is granted by the Office of the Archivist in accordance with Revised Code of Washington (RCW) Chapter 40.14.
- D. Medical records shall be maintained and preserved by the Recipient in accordance with state and federal medical records statutes, including but not limited to RCW 70.41.190, 70.02.160, and standard medical records practice. If the Recipient ceases operations under this Agreement, the Recipient shall be responsible for the disposition and maintenance of such medical records.

- E. The Recipient agrees to cooperate with the County or its agent in the evaluation of the Recipient's performance under this Agreement and to make available all information reasonably required by any such evaluation process. The results and records of said evaluations shall be maintained and disclosed in accordance with RCW Chapter 42.56.
- F. The Recipient agrees that all information, records, and data collected in connection with this Agreement shall be protected from unauthorized disclosure in accordance with applicable state and federal law.

6. Compliance with the Health Insurance Portability and Accountability Act of 1996 (HIPAA)

The Recipient shall not use protected health information created or shared under this Agreement in any manner that would constitute a violation of HIPAA and any regulations enacted pursuant to its provisions. Recipient shall read and certify compliance with all HIPAA requirements at <https://kingcounty.gov/en/dept/dph/about-king-county/about-public-health/working-with-public-health/contracts/hipaa-compliance>.

7. Audits

- A. If the Recipient is a municipal entity or other government institution or jurisdiction, it shall notify the County in writing within 30 days of when its annual report of examination/audit, conducted by the Washington State Auditor, has been completed.
- B. Additional audit or review requirements which may be imposed on the County will be passed on to the Recipient and the Recipient will be required to comply with any such requirements.

8. Corrective Action

If the County determines that a breach of Agreement has occurred, that is, the Recipient has failed to comply with any terms or conditions of this Agreement or the Recipient has failed to provide in any manner the work or services agreed to herein, and if the County deems said breach to warrant corrective action, the following sequential procedure will apply:

- A. The County will notify the Recipient in writing of the nature of the breach;
The Recipient shall respond in writing within three (3) working days of its receipt of such notification, which response shall indicate the steps being taken to correct the specified deficiencies. The corrective action plan shall specify the proposed completion date for bringing the Agreement into compliance, which date shall not be more than ten (10) days from the date of the Recipient's response, unless the County, at its sole discretion, specifies in writing an extension in the number of days to complete the corrective actions;
- B. The County will notify the Recipient in writing of the County's determination as to the sufficiency of the Recipient's corrective action plan. The determination of sufficiency of the Recipient's corrective action plan shall be at the sole discretion of the County;
- C. In the event that the Recipient does not respond within the appropriate time with a corrective action plan, or the Recipient's corrective action plan is determined by the County to be insufficient, the County may commence termination or suspension of this Agreement in whole or in part pursuant to Section 1.C.;
- D. In addition, the County may withhold any payment owed the Recipient or prohibit the Recipient from incurring additional obligations of funds until the County is satisfied that corrective action has been taken or completed; and
- E. Nothing herein shall be deemed to affect or waive any rights the parties may have pursuant to Section 1., Subsections B, C, D, and E.

9. Dispute Resolution

The parties shall use their best, good-faith efforts to cooperatively resolve disputes and problems that arise in connection with this Agreement. Both parties will make a good faith effort to continue without delay to carry

out their respective responsibilities under this Agreement while attempting to resolve the dispute under this section.

10. Hold Harmless and Indemnification

- A. In providing services under this Agreement, the Recipient is an independent contractor, and neither it nor its officers, agents, employees, or subcontractors are employees of the County for any purpose. The Recipient shall be responsible for all federal and/or state tax, industrial insurance, and Social Security liability that may result from the performance of and compensation for these services and shall make no claim of career service or civil service rights which may accrue to a County employee under state or local law.

The County assumes no responsibility for the payment of any compensation, wages, benefits, or taxes, by, or on behalf of the Recipient, its employees, subcontractors and/or others by reason of this Agreement. The Recipient shall protect, indemnify, and save harmless the County, its officers, agents, and employees from and against any and all claims, costs, and/or losses whatsoever occurring or resulting from (1) the Recipient's failure to pay any such compensation, wages, benefits, or taxes, and/or (2) the supplying to the Recipient of work, services, materials, or supplies by Recipient employees or other suppliers in connection with or support of the performance of this Agreement.

- B. The Recipient further agrees that it is financially responsible for and will repay the County all indicated amounts following an audit exception which occurs due to the negligence, intentional act, and/or failure, for any reason, to comply with the terms of this Agreement by the Recipient, its officers, employees, agents, or subcontractors. This duty to repay the County shall not be diminished or extinguished by the prior termination of the Agreement pursuant to the Term and Termination section.
- C. The Recipient shall defend, indemnify, and hold harmless the County, its officers, employees, and agents from any and all costs, claims, judgments, and/or awards of damages, arising out of, or in any way resulting from, the negligent acts or omissions of the Recipient, its officers, employees, sub-awardees and/or agents in its performance or non-performance of its obligations under this Agreement. In the event the County incurs any judgment, award, and/or cost arising therefrom including attorneys' fees to enforce the provisions of this article, all such fees, expenses, and costs shall be recoverable from the Recipient.
- D. The County shall defend, indemnify, and hold harmless the Recipient, its officers, employees, and agents from any and all costs, claims, judgments, and/or awards of damages, arising out of, or in any way resulting from, the negligent acts or omissions of the County, its officers, employees, or agents in its performance or non-performance of its obligations under this Agreement. In the event the Recipient incurs any judgment, award, and/or cost arising therefrom including attorneys' fees to enforce the provisions of this article, all such fees, expenses, and costs shall be recoverable from the County.
- E. Claims shall include, but not be limited to, assertions that use or transfer of software, book, document, report, film, tape, or sound reproduction or material of any kind, delivered hereunder, constitutes an infringement of any copyright, patent, trademark, trade name, and/or otherwise results in unfair trade practice.
- F. Nothing contained within this provision shall affect and/or alter the application of any other provision contained within this Agreement.
- G. The indemnification, protection, defense and save harmless obligations contained herein shall survive the expiration, abandonment or termination of this Agreement.

11. Insurance Requirements

The Recipient, unless expressly waived in Appendix 1, shall procure and maintain for the term of this Agreement, insurance covering King County as an additional insured, against claims for injuries to persons or damages to property which may arise from, or in connection with, the performance of work hereunder by the Recipient, its

agents, representatives, employees, and/or sub-awardees. The costs of such insurance shall be paid by the Recipient or sub-awardee. The Recipient may furnish separate certificates of insurance and policy endorsements for each sub-awardee as evidence of compliance with the insurance requirements of this Agreement. The Recipient is responsible for ensuring compliance with all of the insurance requirements stated herein. Failure by the Recipient, its agents, employees, officers, sub-awardee, providers, and/or provider sub-awardees to comply with the insurance requirements stated herein shall constitute a material breach of this Agreement. Specific coverages required by this contract are contained in Appendix 1.

A. Municipal or state agency provisions

If the Contractor is a Municipal Corporation or an agency of the State of Washington or any other Public Agency and is self-insured for any of the above insurance requirements, a certification of self-insurance shall be attached and be incorporated by reference and shall constitute compliance with this section.

B. Deductibles and self-insured retentions

Any deductibles or self-insured retentions shall not apply to the Contractor's liability to the County and shall be the sole responsibility of the Contractor or its Subcontractor.

C. Other insurance provisions: The insurance coverage(s) required in this Contract are to contain, or be endorsed to contain, the following provisions

1. All Liability Policies (except Employers Liability, Workers Compensation and Professional Liability (Errors and Omissions):

- a. King County, its officers, officials, employees and agents are to be covered as additional insureds, for full coverage and policy limits, as respects liability arising out of activities performed by or on behalf of the Contractor in connection with this Contract. Additional Insured Endorsement(s) shall be included with the certificate of insurance, "CG 2010 11/85" or its substantive equivalent is required. The County requires these Endorsement(s) to complete the Contract.
- b. Such coverage shall be primary and non-contributory insurance as respects the County, its officers, officials, employees and agents.
- c. The Contractor's insurance coverage shall apply separately to each insured against whom a claim is made and/or lawsuit is brought, except with respect to the limits of the insurer's liability.

2. All policies

- a. Coverage shall not be suspended, voided, canceled, reduced in coverage or in limits until after thirty (30) days prior written notice has been given to the County.
- b. Each insurance policy shall be written on an "occurrence" basis/form; except that insurance on a "claims made" basis/form may be acceptable with prior County approval.

If coverage is approved and purchased on a "claims made" basis/form, the Contractor warrants continuation of coverage, either through policy renewals or the purchase of an extended discovery period, if such extended coverage is available, for not less than three (3) years from the date of Contract termination and/or conversion from a "claims made" form to an "occurrence" coverage form.

D. Acceptability of Insurers

1. Insurance coverage is to be placed with insurers with an AM Best's rating of no less than A: VIII, or, if not rated with an AM Best's, with minimum surpluses the equivalent of an AM Best's surplus size VIII.
2. Professional Liability, Errors and Omissions insurance coverage may be placed with insurers with an AM Best's rating of B+:VII. Any exception must be approved by the County.

3. If at any time any of the foregoing policies fail to meet minimum requirements, the Contractor shall, upon notice to that effect from the County, promptly obtain a new policy, and shall submit the same to the County, with the appropriate certificates and endorsements, for approval.

E. Verification of coverage

1. The Contractor shall furnish the County certificates of insurance and endorsements required by this Contract. Such certificates and endorsements, and renewals thereof, shall be attached as exhibits to the Contract. The certificates and endorsements for each insurance policy are to be on forms approved by the County prior to the commencement of activities associated with the Contract. In the event of a claim, the County reserves the right to require complete, certified copies of all required insurance policies at any time, which may be redacted of confidential and proprietary information.
2. If the Agency/Contracting Party is a Municipal Corporation or an agency of the State of Washington and is a member of the Washington Cities Insurance Authority (WCIA) or any other self-insurance risk pool, a written acknowledgement/certification of current membership will be attached to the Agreement as Exhibit I and satisfies the insurance requirements specified above.
3. County's receipt or acceptance of Contractor's evidence of insurance without comment or objection, or County's failure to request certified copies of such insurance does not waive, alter, modify or invalidate any of the insurance requirements set forth above or, consequently, constitute County's acceptance of the adequacy of Contractor's insurance or preclude or prevent any action by County against Contractor for breach of the insurance requirements.

F. Insurance for subcontractors

1. If the Contractor subcontracts any portion of this Contract pursuant to Section XIII, the Contractor shall include all subcontractors as insureds under its policies or shall require reasonable and appropriate insurance coverage and insurance limits to cover each of the subcontractors liabilities given the subcontractor's scope of work and the services being provided herein. To the extent reasonably commercially available, insurance maintained by any subcontractor must comply with the specified insurance requirements, including the requirements under "Other insurance provisions".
2. Contractor is obligated to require and verify that each subcontractor maintains the required insurance and ensure that King County is included as additional insured. Upon request by King County, and within five (5) business days, Contractor must provide evidence of each subcontractor's insurance coverage, including endorsements.

G. All coverages and requirements

Nothing contained within these insurance requirements shall be deemed to limit the scope, application and/or limits of the coverage afforded by said policies, which coverage will apply to each insured to the full extent provided by the terms and conditions of the policy(s). Nothing contained within this provision shall affect and/or alter the application of any other provision contained within this Contract.

12. Assignment/Sub-agreements

- A. The Recipient shall not assign or sub-award any portion of this Agreement or transfer or assign any claim arising pursuant to this Agreement without the written consent of the County. Said consent must be sought in writing by the Recipient not less than fifteen (15) days prior to the date of any proposed assignment.
- B. "Sub-agreement" shall mean any agreement between the Recipient and a sub-awardee or between sub-awardees that is based on this Agreement, provided that the term "sub-awardee" does not include the purchase of (1) support services not related to the subject matter of this Agreement, or (2) supplies.

- C. The Recipient shall include Sections 2.D., 2.E., 3, 4, 5, 6, 10.A., 10.B., 10.G., 12, 13, 14, 15, 16, 17, 23, 24, 26, and the Funder's Special Terms and Conditions, if attached, in every sub-agreement that relates to the subject matter of this Agreement.
- D. The Recipient agrees to include the following language verbatim in every sub-agreement for services which relate to the subject matter of this Agreement:

"Sub-awardee shall protect, defend, indemnify, and hold harmless King County, its officers, employees and agents from any and all costs, claims, judgments, and/or awards of damages arising out of, or in any way resulting from the negligent act or omissions of sub-awardee, its officers, employees, and/or agents in connection with or in support of this Agreement. Sub-awardee expressly agrees and understands that King County is a third party beneficiary to this Agreement and shall have the right to bring an action against sub-awardee to enforce the provisions of this paragraph."

13. Nondiscrimination and Equal Employment Opportunity

The Recipient shall comply with all requirements found at <https://kingcounty.gov/en/dept/dph/about-king-county/about-public-health/working-with-public-health/contracts..>

14. Conflict of Interest

- A. The Recipient agrees to comply with applicable provisions of K.C.C. 3.04. Failure to comply with such requirements shall be a material breach of this Agreement, and may result in termination of this Agreement pursuant to Section II and subject the Recipient to the remedies stated therein, or otherwise available to the County at law or in equity.
- B. The Recipient agrees, pursuant to KCC 3.04.060, that it will not willfully attempt to secure preferential treatment in its dealings with the County by offering any valuable consideration, thing of value or gift, whether in the form of services, loan, thing or promise, in any form to any county official or employee. The Recipient acknowledges that if it is found to have violated the prohibition found in this paragraph, its current Agreements with the county will be cancelled and it shall not be able to bid on any county Agreement for a period of two years.
- C. The Recipient acknowledges that for one year after leaving County employment, a former County employee may not have a financial or beneficial interest in an agreement or grant that was planned, authorized, or funded by a County action in which the former County employee participated during County employment. Recipient shall identify at the time of offer current or former County employees involved in the preparation of proposals or the anticipated performance of Work if awarded the Agreement. Failure to identify current or former County employees involved in this transaction may result in the County's denying or terminating this Agreement. After Agreement award, the Recipient is responsible for notifying the County's Project Manager of current or former County employees who may become involved in the Agreement any time during the term of the Agreement.

15. Equipment Purchase, Maintenance, and Ownership

- A. The Recipient agrees that any equipment purchased, in whole or in part, with Contract funds at a cost of \$5,000 per item or more, when the purchase of such equipment is reimbursable as a Contract budget item, shall be treated as a capital asset, including tagging. The Recipient shall be responsible for all such property, including the proper care and maintenance of the equipment.
- B. The Recipient will develop an equipment asset plan showing the use of the equipment allocation and submit the plan to the EMS Division with the Year-end Report. The plan will provide an accounting for all equipment allocation funds, all equipment related reserve funds and any other funds provided by King County related to the equipment plan, include balance information on each agency's internal reserve fund, accounting for annual contributions and expenses, surplus value and revenue received from surplus equipment, and asset liability information. Funds from the sale of equipment must be used to provide services or purchase equipment under this Contract or returned to the King County EMS Fund. Any unused funds from the equipment allocation must be reported and returned to the

King County EMS Fund. The equipment allocation can be used for all equipment costs, including those classified as operating by an agency, that have a lifespan of more than one year.

- C. In the event Recipient no longer provides services under a contract with the County, equipment and the equipment allocation funds/reserves are to be returned to the King County EMS Fund or transferred to a new, Recipient as determined by the County.

16. Proprietary Rights

The parties to this Agreement hereby mutually agree that if any patentable or copyrightable material or article should result from the work described herein, all rights accruing from such material or article shall be the sole property of the party that produces such material or article. If any patentable or copyrightable material or article should result from the work described herein and is jointly produced by both parties, all rights accruing from such material or article shall be owned in accordance with US Patent Law. Each party agrees to and does hereby grant to the other party, irrevocable, nonexclusive, and royalty-free license to use, according to law, any material or article and use any method that may be developed as part of the work under this Agreement.

The foregoing products license shall not apply to existing training materials, consulting aids, checklists, and other materials and documents of the Recipient which are modified for use in the performance of this Agreement.

The foregoing provisions of this section shall not apply to existing training materials, consulting aids, checklists, and other materials and documents of the Recipient that are not modified for use in the performance of this Agreement.

17. Political Activity Prohibited

None of the funds, materials, property, or services provided directly or indirectly under this Agreement shall be used for any partisan political activity or to further the election or defeat of any candidate for public office.

18. King County Recycled Product Procurement Policy

In accordance with King County Code 18.20, the Recipient shall use recycled paper, and both sides of sheets of paper whenever practicable, when submitting proposals, reports, and invoices, if paper copies are required.

19. Future Support

The County makes no commitment to support the services awarded for herein and assumes no obligation for future support of the activity awarded herein except as expressly set forth in this Agreement.

20. Entire Agreement/Waiver of Default

The parties agree that this Agreement is the complete expression of the terms hereto and any oral or written representations or understandings not incorporated herein are excluded. Both parties recognize that time is of the essence in the performance of the provisions of this Agreement. Waiver of any default shall not be deemed to be a waiver of any subsequent default. Waiver or breach of any provision of the Agreement shall not be deemed to be a waiver of any other or subsequent breach and shall not be construed to be a modification of the terms of the Agreement unless stated to be such through written approval by the County, which shall be attached to the original Agreement.

21. Amendments

Either party may request changes to this Agreement. Proposed changes which are mutually agreed upon shall be incorporated by written amendments to this Agreement. Changes to the County's Agreement numbering system or fund source may be made unilaterally by the County and without the need for amendment of this Agreement. The Recipient shall be notified in writing of any changes in the Agreement number or fund source assigned by the County; provided, however, that the total compensation allocated by the County through this Agreement does not change.

22. Notices

Whenever this Agreement provides for notice to be provided by one party to another, such notice shall be in writing and directed to the chief executive office of the Recipient and the project representative of the County department specified on page one of this Agreement. Any time within which a party must take some action shall be computed from the date that the notice is received by said party.

23. Services Provided in Accordance with Law and Rule and Regulation

The Recipient and any sub-awardee agree to abide by the laws of the state of Washington, rules and regulations promulgated thereunder, and regulations of the state and federal governments, as applicable, which control disposition of funds granted under this Agreement, all of which are incorporated herein by reference.

In the event that there is a conflict between any of the language contained in any exhibit or attachment to this Agreement, the language in the Agreement shall have control over the language contained in the exhibit or the attachment, unless the parties affirmatively agree in writing to the contrary.

24. Applicable Law

This Agreement shall be construed and interpreted in accordance with the laws of the State of Washington. The venue for any action hereunder shall be in the Superior Court for King County, Washington.

25. Electronic Processing and Signatures

The parties agree that this Agreement may be processed and signed electronically, which if done so, will be subject to additional terms and conditions found at <https://www.docusign.com/company/terms-of-use>.

The parties acknowledge that they have consulted with their respective attorneys and have had the opportunity to review this Agreement. Therefore, the parties expressly agree that this Agreement shall be given full force and effect according to each and all of its express terms and provisions and the rule of construction that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this Agreement.

The parties executing this Agreement electronically have authority to sign and bind its represented party to this Agreement.

26. No Third Party Beneficiaries

Except for the parties to whom this Agreement is assigned in compliance with the terms of this Agreement, there are no third party beneficiaries to this Agreement, and this Agreement shall not impart any rights enforceable by any person or entity that is not a party hereto.

END OF COUNTY TERMS AND CONDITIONS

APPENDIX 1 – INSURANCE REQUIREMENTS

PHSKC Agreement # 14835 EMS

Unless waived under section A below, the following insurance requirements are hereby incorporated into the referenced Agreement’s terms and conditions.

Section A.

The requirement that Contractor maintains insurance coverage as specified for this Agreement is not waived.

Section B. Specific Requirements

General Liability Insurance:

\$3,000,000 per occurrence and \$3,000,000 in the aggregate for bodily injury, personal and advertising injury, and property damage. Coverage shall be at least as broad as that afforded under ISO form number CG 00 01 current edition, or its substantive equivalent. Such insurance shall include coverage for, but not limited to premises liability, ongoing operations, and contractual liability. Limits may be satisfied by a single primary policy or by a combination of separate primary and umbrella or excess liability policies, provided that coverage under the latter shall be at least as broad as that afforded under the primary policy and satisfy all other requirements applicable to liability insurance including but not limited to additional insured status for the County.

Products and Completed Liability Insurance:

The General Liability policy shall include coverage for products and completed operations.

Sexual Abuse and Misconduct Liability Insurance:

1. Reserved.
2. Reserved.

Automobile Liability Insurance:

If a vehicle will be used in the performance of the Scope of Work, the Contractor shall maintain Automobile Liability coverage for \$3,000,000 combined single limit per accident for bodily injury and property damage. Coverage shall be at least as broad as that afforded under ISO form number CA 00 01 covering BUSINESS AUTO COVERAGE, symbol 1 ‘any auto’; or the appropriate coverage provided by symbols 2, 7, 8, or 9. Limits may be satisfied by a single primary limit or by a combination of separate primary and umbrella or excess liability policies, provided that coverage under the latter shall be at least as broad as that afforded under the primary policy.

Professional Liability Insurance (Errors and Omissions):

1. In the event that services delivered pursuant to this Contract either directly or indirectly involve or require professional services, \$3,000,000 per claim and in the aggregate. ‘Professional Services’

for the purpose of this Contract Section, shall mean any services provided by a licensed professional or those services that require professional standards of care.

2. Reserved.

Cyber Liability/Technology Insurance:

1. If Scope of Work involves access to, handling, and/or storage of sensitive data, to include but not limited to payment card information, personally identifiable information (PII), and personal health information (PHI) of 1,000 or more records, Cyber Liability coverage shall be maintained. Coverage shall include loss resulting from data security/privacy breach, or other unauthorized access or related violations including identity fraud and privacy law violations, denial of service attacks, introduction of virus and malicious code, extortion, dissemination or destruction of electronic data, business interruption, privacy law violations, disclosure of non-public, personal or confidential information, identity fraud, loss of income due to system crashes, breach of contract, and acts by rogue employees. Coverage shall include notification and other expenses incurred in remedying a privacy breach as well as costs to investigate and restore data.

\$3,000,000 per claim and in the aggregate.

Workers' Compensation Insurance and Employer's Liability ("Stop Gap") Insurance:

1. Workers' Compensation coverage, as required by the Industrial Insurance Act of the State of Washington, as well as any similar coverage required for this Work by applicable Federal or 'Other States' State Law. When statutorily required to have Workers' Compensation coverage, Contractor shall maintain Employers Liability or Stop Gap coverage with a limit no less than \$1,000,000 each occurrence and shall be at least as broad as the protection provided by the Workers' Compensation policy Part 2 (Employers Liability), or, in monopolistic states, including but not limited to Washington, the protection provided by the 'Stop Gap' endorsement to the Commercial General Liability policy.

*PUBLIC HEALTH – SEATTLE & KING COUNTY
EMERGENCY MEDICAL SERVICES (EMS) DIVISION*

**Exhibit A: Scope of Work
Advanced Life Support (ALS) Service**

- A. The Recipient shall provide Advanced Life Support (ALS) Services within their geographic boundaries consistent with the following requirements, and in other geographic areas consistent with any mutual aid agreement.
- B. ALS services shall comply with the requirements adopted by King County pursuant to Chapter [2.35A.030](#) of the King County Code or by the King County Medical Program Director (MPD) pursuant to Chapter [18.73](#) RCW and shall be consistent with scope of Work, EMS Strategic Plan, and EMS Policies.
- C. Service Requirements: The Recipient shall ensure that ALS services provided under this Contract are consistent with the following:
- I. Personnel:
- a. All emergency medical services personnel providing advanced life support (paramedic) services supported by King County funds must be trained and certified by the University of Washington/Harborview Medical Center (UW/HMC) Paramedic Training Program as authorized by RCW [18.71.200](#). All emergency medical services personnel providing pre-hospital care in King County must be authorized to provide such care by the King County MPD. Standard staffing configuration is two Harborview trained paramedics.
- b. The Recipient will develop and maintain a background check policy for the hiring of paramedic personnel. The Recipient will participate in the reporting requirements of the Uniform Disciplinary Act ([RCW 18.130](#)).
- c. The specific content for certification and recertification, including maintenance of invasive skills consistent with King County requirements, is contained in the attached Requirements for UW/HMC Paramedic certification and Recertification (Exhibit 1A), as approved by the King County MPD. Updates to these requirements will be discussed with ALS agencies and provided to each

agency/recipient. Recipient shall comply with these requirements as updated during the contract period. The EMS Division shall provide the Recipient with written notice of revised requirements.

- II. Continuing Medical Education: Paramedic personnel will participate in a program of continuing medical education as established by the UW/HMC Paramedic Training Program and approved by the King County MPD, or his/her designee, and in partnership with the EMS Division.

- III. Medical Standards: The Recipient shall adhere to standards of medical care for the triage, treatment and transport of patient as authorized by the King County MPD pursuant to RCW [18.73](#) and [18.71](#), and function under the authority of the King County MPD or a delegate physician.
 - a. Medical Program Director: The Recipient must have a physician - designated in writing by the King County MPD and the EMS Division Director - to provide medical control. Oversight will include but is not limited to:
 - 1. Providing in-service education to paramedics based on run reviews and other appropriate material;
 - 2. Ensuring compliance with King County advanced life support medical standards for the triage, treatment and transport of patients;
 - 3. Providing the King County MPD and Paramedic Training with the appropriate information necessary for paramedic recertification, as per Exhibit A1 ALS UW Training document.
 - 4. Maintaining an effective liaison with emergency room physicians, hospitals and other EMS partners to assure an effective working relationship with the paramedic program;

5. Attending meetings called by the King County MPD to review and make recommendations regarding medical triage, treatment and transport protocols and procedures;
 6. Participating in an ongoing system of regional quality improvement coordinated by UW/HMC Paramedic Training Program, the King County MPD and the EMS Division; and
 7. Creating a staffing plan for paramedics and supervisors at the beginning of the levy period and update when significant changes are made or updates are requested by EMS Division.
- b. Scope of Practice: Paramedic practices within the King County system are described by the basic training achieved through the UW/HMC Center Paramedic Training Program and by subsequent modifications directed by the King County MPD or designee.
- c. Patient Confidentiality: Information concerning the evaluation and treatment of a patient by ALS personnel in the performance of their duties is to be handled as confidential material, including patient name, medical history, incident location, or any other confidential information. Confidential medical information may not be released unless the patient or his/her court-appointed representative completes and signs an Authorization for Release of Information form in accordance with Washington RCW 70.02 and the federal Health Insurance Protection and Portability Act.
- d. Equipment:
1. The Recipient will maintain an ongoing inventory of four to six-month supply of infectious disease personal protective equipment (PPE).
 2. All vehicles used to deliver emergency medical services and supported by King County funds must meet vehicle standards as established by the Washington State Department of Health pursuant to RCW [18.73](#), unless waived by the State Department of Health Office of EMS Trauma Prevention Licensing.
 3. Medical equipment used by personnel supported by King County funds must meet appropriate

federal or state standards or county protocols.

- e. Transportation Policy: The Recipient will be responsible for developing a policy for the transport of patients from the incident scene to the treatment scene. Such policy should provide for transportation based upon determinants of transport need, including medical necessity and mitigating circumstances. The decision for ALS transport or not, and the mode of transport, may be made with online direct medical control and made with respect to the trauma designation of the receiving facility. Transport destinations should be consistent with the Washington state Trauma System Activation Guidelines.

 - f. Record Keeping and Record Submission: An Electronic Health Record (EHR) must be created to document a response to an emergency medical incident, including cancelled calls. An EHR record must be completed as accurately and thoroughly as possible. Completed patient care reports must be submitted to the EMS Division. In the case of cardiac arrest events (or other events, such as research protocols, or as defined by the King County MPD), notification must be provided to the EMS Division within 24 hours and completed records within the time specified (i.e., 2 days of the event in 2026) by the King County MPD. Agencies are responsible for retention of the patient care record per Washington state records retention requirements.

 - g. Service Modifications: Review and modifications of ALS requirements may be conducted on a regular basis. ALS services shall be consistent with any modifications to protocols or procedures as adopted by the King County MPD.
- IV. Mutual Aid Agreements: A specific plan for mutual aid with adjacent BLS and ALS agencies shall be established and available for review by the EMS Division by December 31, 2026. The Recipient is responsible for coordinating with the EMS Division regarding compliance to response outside of King County.
- V. Sub-agreements: Section 12A of the contract prohibits Recipients from subcontracting for ALS services with other agencies unless the County has given prior written consent. A Recipient that is considering subcontracting or merging with other agencies to provide services covered by the Scope of

Work should notify the EMS Division Director and provide periodic updates regarding the deliberations.

- VI. Joint EMS Agency Activities: The Recipient may conduct joint non-response related activities, such as trainings or drills with regional EMS partners.

- VII. Quality Improvement Program: The Recipient agrees to actively participate in an ongoing program of Quality Improvement consistent with the regional standards established by the UW/HMC Paramedic Training Program, the King County MPD, and the EMS Division. Elements of the program should include:
 - 1) paramedic assessment and oversight,
 - 2) sentinel event and inquiry,
 - 3) ALS patient care record review; and
 - 4) paramedic certification and recertification maintenance and oversight.

The Recipient must have a written Quality Improvement Plan that specifies the Recipient's internal quality review activities and should be available for review by the EMS Division by December 31, 2026.

- VIII. Performance Measurement and Review: The Recipient agrees to participate in an ongoing program of regional performance measurement and review. Performance indicators will be reported by the EMS Division on an annual basis and updated as needed. Standards for the Recipient will be monitored in the following major areas: total call volume, average unit response time, percent of response times greater than or equal to 8, 10, 12, and 14 minutes, and critical skills. Mitigation activities, including assessment of medic unit placement, will be initiated with the Recipient if needed.

- IX. Proposed Research and Evaluation Activities: Any proposed clinical research or evaluation activities involving personnel, equipment or data supported directly or indirectly by King County funds must receive prior review and written approval by the King County MPD and the EMS Division Director and must be in compliance with State, County and local regulations and laws.

- X. Support of Regional Activities
 - 1. UW/HMC-Paramedic Training Annual funding is provided to reimburse ALS agencies that use existing paramedics to conduct activities related to the training

of new paramedics in the UW/HMC Paramedic Training Program ALS agencies will work directly with the UW/HMC Paramedic Training Program to coordinate and schedule paramedic participation within the agreed-upon budgetary guidelines.

2. Regional Paramedic Continuing Medical Education (CME): The UW/HMC Paramedic Training Program, which maintains oversight of defining and directing core CME training for all county providers, will meet and confer regularly with provider groups and the EMS Division to review, plan and support regional CME offerings.
3. ALS Support for BLS Activities: Annual funding is provided for the ALS support of BLS activities, including BLS QI, enhanced BLS training, training focused on improving interaction between the ALS and BLS tiers in the EMS system and furthering improvements in patient outcomes, and the management, oversight and coordination of the program. Expenses related to required EMT State OTEP recertification requirements are considered BLS agency costs and are not eligible costs for reimbursement.

Paramedics are responsible for conducting the clinical review of cases and providing subsequent follow-up and training. Compensation is dependent upon submitting a standardized run review report form for each BLS agency on a quarterly basis to the EMS Division Administrative Section, conveying:

1. Number of cases reviewed;
 2. Date of trainings conducted and topics taught in class; and
 3. A descriptive account of issues identified while conducting run review, including areas of achievement, deficiency and trends.
4. Training & Education Section: Funding is available for recipients to be reimbursed for providing training and subject matter expert support to EMS Division Training programs per the written agreement of the responsible EMS Division program manager.
 5. Emergency Medical Dispatch (EMD) program: Funding is available for recipients to be reimbursed for providing training and subject matter expert support to the Emergency Medical Dispatch program per the

written agreement of the responsible EMS Division program manager.

XI. Financial Management and Oversight:

1. **ALS Services:** The Recipient agrees to participate in a standard way of categorizing costs for reporting ALS expenditures by allocation. The Recipient also agrees to ensure the provision of ALS services within the allocations, to be monitored via:

- a. Tracking of unit costs providing direct paramedic services, including salaries and benefits, medical supplies, pharmaceuticals, vehicle and facility costs and other costs associated with direct paramedic services not included in the system allocation.
- b. Tracking of program/supervisory allocation including costs related to the management and supervision of direct paramedic services such as the management, administration, supervision, and analysis (including quality improvement) of direct paramedic services.
- c. Developing, reporting, and tracking System costs that include expenses that vary significantly between agencies including dispatch, medical direction, and costs associated with paramedic students per the Medic One/Emergency Medical Services 2026-2031 Strategic Plan.
- d. Development and management of an annual equipment plan that tracks expenditures and projects costs of replacing equipment covered by the equipment allocation.

2. The Recipient will provide the following deliverables to the EMS Division as appropriate:

- a. Year End Report: Final invoice will generally serve as year-end report. If invoice includes expenses related to others years (such as retro related to labor contracts or pre-pays for agencies not on an accrual basis), agency will submit report showing final invoice, amounts related to other years (indicating which year) with final column showing adjusted year-end totals. The Recipient will submit its Year End Report no later than February 28 of each year.
- b. Year End Accrual Estimate: The Recipient shall submit a Year End Accrual Estimate to meet Public

Health - Seattle & King County year-end deadlines.

- c. Equipment Asset Plan: The Recipient will work with the EMS Division to develop an Equipment Plan per the Medic One/EMS Strategic Plan. The Recipient shall develop and submit an annual EMS Division - approved Equipment Asset Plan including documentation of the previous year's actual expenses prior to invoicing the current year's Equipment Allocation. Invoiced equipment allocation will be used for current expenditures or placed into an internal reserve account/fund set up for ALS equipment. Each year the plan will be updated to match the balance in Recipient's fund or balance sheet account. Significant changes in planned expenditures not included in the Recipient's submitted Equipment Asset Plan shall be approved by the EMS Division prior to purchase of equipment. The Recipient will participate in discussions and analysis related to equipment and assumed lifespans included in the Equipment Allocation.
- d. Program Balance Report: Each year, the EMS Division will provide the Recipient with a report showing their current program balances. The Recipient will provide the EMS Division with a plan for the use of their program balances within 90 days of receiving the report.
- e. Invoice Methodologies: The Recipient will have procedures in place to ensure that BLS costs are not included on ALS invoices. Agencies will provide updates related to significant changes in methodology or as requested.

3. Use of reserves and contingencies. Reserves and contingencies exist to help ALS agencies cover unanticipated eligible expenses. Contingencies are also available to cover regional needs. Accessing reserve and contingency funding includes a formal request by agencies outlining the need, funding level, and review of unencumbered program balances. Reserve usage requires the review and recommendation by the EMS Advisory Committee (EMSAC) Financial Subcommittee and EMSAC.

4. Support of BLS and regional programs. Contract authority is provided to support BLS providers and existing

regional programs. Expenses can be invoiced using approved invoice reporting forms.

- a. UW/HMC Paramedic Training. ALS programs will document requests from the UW/HMC Paramedic Training Program and can invoice the EMS Division within contract amount in Exhibit B and in a yearly letter for reimbursement of activities supporting the UW/HMC Paramedic Training Program that are consistent with EMS Division and Paramedic Training documentation related to the management of this program. Reimbursement will be by activity and include hours spent and reimbursable expenses. Eligible expenses are ALS agency staff time supporting courses or drills, and associated expenses. Classroom costs will be covered by the UW/HMC Paramedic Training Program. Invoice Exhibit C-1.
- b. Regional Paramedic Continuing Medical Education (CME): ALS agencies may invoice the ALS System Allocation for hours spent on teaching regional paramedic CME courses that maintain and mutually support recertification and licensure requirements of their and all King County paramedics in a regional manner.
- c. ALS Support for BLS Activities. Recipient agrees to ensure the provisions of ALS Support for BLS Activities within the allocation, to be monitored by tracking of eligible costs including BLS run review and QI, enhanced BLS training, and management, oversight and coordination of the program. Invoice Exhibit C-2.

Expenses related to required EMT State OTEP recertification are considered BLS agency costs and are not eligible for reimbursement

- d. Regional Programs Support. Contract authority is provided to allow ALS agencies to support Regional Programs, specifically Emergency Medical Dispatch and Training and Education based on written agreement with the responsible EMS Division program manager. Invoices for approved work will include hours spent and expenses for requested work. Invoice Exhibit C-3 for EMD, C-4 for Training.

PUBLIC HEALTH - SEATTLE & KING COUNTY
EMERGENCY MEDICAL SERVICES DIVISION

**Exhibit A1: Advanced Life Support (ALS) Service
2026 – 2031 Requirements for University of
Washington Paramedic Certification and
Recertification**

This document outlines the requirements for certification and the requirements to maintain that certification. In all respects, these requirements will meet or exceed Washington State requirements as outlined in Chapter [246-976](#) WAC and must adhere to the Michael K. Copass, MD, Paramedic Training program (hereafter referred to as Paramedic Training).

- I. Certification as a physician’s trained emergency medical service paramedic (hereafter referred to as paramedic).

Initial certification as a paramedic will be recommended by Paramedic Training to the state for certification to persons who successfully complete the program.

1. An application for certification submitted by a sponsoring provider agency to include:
 - a) Proof of a valid driver's license
 - b) Proof of current immunizations
 - c) Proof of current EMT certification
 - d) Proof of affiliation with sponsoring provider agency
 - e) Proof of current Washington State Patrol Background check
2. Completion of the nationally accredited coursework and testing from the University of Washington/Harborview Medical Center Paramedic Training Program.
3. National Registry Paramedic Certification
4. Recommendation from the University of Washington/Harborview Medical Center Paramedic Training Program to the State of Washington for certification.
5. Application to the State of Washington by the candidate and aligning

with the Michael K. Copass MD, Harborview Medical Center Emergency Services Supervisor Organization (hereafter referred to as Paramedic Training) as their primary agency using the Washington State Secure Access Washington (SAW) account.

II. Recertification as a paramedic with Paramedic Training.

Recertification is required every three years for Seattle/King County state certified Paramedics (recertification "year" shall be 1 July through 30 June). Paramedics must successfully complete the following King County Medical Program Director (MPD) approved curriculum and requirements:

1. An application for recertification submitted by a sponsoring provider agency to include the following training:
 - a. Satisfactory documentation of Continuing Medical Education (CME) requirements
 - b. Satisfactory documentation of skills requirements
 - c. Recommendation of the provider agency MPD
 - d. Current approved Advanced Cardiac Life Support (ACLS) or MPD approved equivalent training
 - e. Current approved Pediatric Advanced Life Support (PALS) or MPD approved equivalent training
2. Successful completion of the annual examination tendered by Paramedic Training

III. COMPONENTS OF RECERTIFICATION

1. Application for Recertification: The employer of each expiring paramedic will submit a completed application form on his/her behalf. Forms will be provided by Paramedic Training and must be submitted no later than the first Thursday of June, in order to be processed before the expiration (30 June) of their current certification.
2. Continuing Medical Education (CME): A minimum of 50 hours each year of approved CME, as outlined below, is required for recertification. An additional 2 hours each year must be training in infectious disease prevention to meet chapter [70.24 RCW](#) and will be provided by the employer (as per WAC [246-976](#)).

CME Required by MPD

- A minimum of 50 hours of approved CME each year
- 12 hours of Tuesday Series successful attendance, 6 or more of those hours must be in person at Harborview Medical Center. The remaining 6 hours should be from the current recertification year.
- Formal MPD approved ACLS & PALS courses every other year
- Public Health – Seattle & King County EMS Division Bloodborne Pathogens every year
- 2 hours per year must be devoted to pediatric medical education, of which PALS covers one year.

Additional CME hours currently approved by MPD

- Tuesday Series lectures may be viewed for credit (a maximum of 18 hours). This includes completing the cognitive exam hosted by EMS Online with a passing score.
- Current CME offered by the Public Health – Seattle & King County EMS Division.
- Physical attendance at scheduled Paramedic Training Core Curriculum classes at HMC
- Formal lectures or instruction related to health care and classes taught by hospital physicians and documented with notes and approved by MPD or their delegate
- PHTLS, ATLS, PEPP, EMSC Instructors/Training Courses every other year
- National or Regional EMS seminars, with certification of attendance.
- Teaching of emergency care subjects to EMS personnel, if it serves to maintain or improve paramedic skills (with a maximum of 20 hours/year).
- Medical Director run reviews and approved training sessions.
- EMS continuing medical education and ongoing training programs approved by national accreditation organizations (e.g., CAPCE) are recognized by the department
- National Association of EMS Educators
- West Region EMS and Trauma Care Council Conference
- JEMS Annual Conference

Skills Maintenance: The following skills procedures must be performed annually:

1. Vascular access proficiency will be demonstrated annually to the satisfaction of the MPD or MPD delegate. This training includes the mandated annual training of advanced-level vascular access, infusion, and monitoring as well as other relevant skills identified in DOH 530-173.
2. Airway Management Course: Annual demonstration of psychomotor skills in compliance with Paramedic Training requirements.

An intense lecture and lab utilizing a Medical Program Director (MPD) or MPD delegate approved high-fidelity simulator (currently the AJAMS) will cover all aspects of the surgical airway, with courses offered year-round by provider groups using materials approved by the MPD or delegate.

3. Recertification Examination: This examination will be developed, conducted, and scored by Paramedic Training.
4. MPD Recommendation: Upon completion of all recertification criteria, the MPD shall authorize submission of the application for recertification by signature. Applications will be reviewed and validated or returned for corrections by Paramedic Training.
5. Paramedics will align with Paramedic Training as their primary agency by creating and using the State of Washington's SAW account. The recertifying paramedic will complete the recertification process in their SAW account using the Ongoing Training Evaluation Program (OTEP) option, at a minimum, 6 weeks before the expiration date. Using the Continuing Medical Education option requires approval from the MPD or their delegate, as well as Paramedic Training.
6. Record Keeping
Each employer is required to maintain files on members' CME hours and other recertification requirements for a period of 7 years. Files shall be maintained in yearly blocks that coincide with the recertification cycle and will be made available for review by a representative of Paramedic Training. However, it is the paramedic's responsibility to submit this information in a timely manner so that the files are up to date. The paramedic is

responsible for accomplishing the recertification requirements before the deadline in June. All classes, lectures, and seminars outside the University system must be pre-approved by the MPD or delegate to validate their use for their CME hours.

2026 ALS Allocation Contract Redmond Fire Department

Exhibit B

ALS Funding

<i>Units</i>	3
ALS Unit Cost	\$8,404,536
ALS Program/Supv	\$2,526,581
ALS System Allocation	\$1,119,093
ALS Equipment	\$455,463
SUBTOTAL	\$12,505,673

Other ALS Funding

ALS Support for BLS Activities	\$196,268
Initial Paramedic Training NTE	\$83,000
EMD Program Support	\$40,000
Training Program Support	\$25,000
Program Balances	\$3,435,770
SUBTOTAL	\$3,780,038

TOTAL	\$16,285,711
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EXHIBIT C

**EMERGENCY MEDICAL SERVICES FUND
2020-2025 ADVANCED LIFE SUPPORT SERVICES INVOICE**

Agency Name: **Redmond/NEKC Medic One** _____

% of year remaining _____

Start _____

For Period: _____

Finish _____

	Budget	This Invoice	Previous Totals	Expenses To Date	Budget Remaining	% Remaining
UNIT ALLOCATION						
Salaries & Benefits:						
Paramedic Salaries				\$ -	\$ -	
Paramedic Overtime						
Paramedic Employee Benefits				\$ -	\$ -	
Subtotal Employee Salaries & Benefits:	\$ -	\$ -	\$ -	\$ -	\$ -	
Other Costs:						
Pharmaceuticals, Medical Supplies & Minor Equipment				\$ -	\$ -	
Information Technology/Communications				\$ -	\$ -	
Uniforms, Fire & Safety Supplies & Services				\$ -	\$ -	
Vehicle Costs				\$ -	\$ -	
Facility Costs				\$ -	\$ -	
Training				\$ -	\$ -	
Administrative and Other Costs				\$ -	\$ -	
Misc.				\$ -	\$ -	
Subtotal Other Costs:	\$ -	\$ -	\$ -	\$ -	\$ -	
Indirect/Overhead Costs:(1)				\$ -	\$ -	
Subtotal Indirect/Overhead Costs:	\$ -	\$ -	\$ -	\$ -	\$ -	
SUBTOTAL OPERATIONAL ALLOCATION:	\$ -	\$ -	\$ -	\$ -	\$ -	

PROGRAM/SUPERVISORY ALLOCATION

Salaries & Benefits:						
Field MSO Salaries (including Acting MSOs)				\$ -	\$ -	
Overtime				\$ -	\$ -	
Office/Support MSO Salaries				\$ -	\$ -	
MSA/Chief & Admin Support staff				\$ -	\$ -	
Other non-uniformed Support Services				\$ -	\$ -	
Subtotal Salaries:	\$ -	\$ -	\$ -	\$ -	\$ -	
Subtotal Employee Benefits:				\$ -	\$ -	
Subtotal Employee Salaries & Benefits:	\$ -	\$ -	\$ -	\$ -	\$ -	

	<u>Budget</u>	<u>This Invoice</u>	<u>Previous Totals</u>	<u>Expenses To Date</u>	<u>Budget Remaining</u>	<u>% Remaining</u>
Other Costs:						
Administrative Expenses				\$ -	\$ -	
Information Technology/Computers				\$ -	\$ -	
Uniforms, Fire & Safety Supplies & Services				\$ -	\$ -	
Vehicle Costs (as appropriate)				\$ -	\$ -	
Facility Costs (headquarters)				\$ -	\$ -	
Training				\$ -	\$ -	
Misc.				\$ -	\$ -	
Subtotal Other Costs:	\$ -	\$ -	\$ -	\$ -	\$ -	-
Indirect/Overhead Costs:(1)						
Subtotal Indirect/Overhead Costs:	\$ -	\$ -	\$ -	\$ -	\$ -	-
SUBTOTAL PROGRAM/SUPERVISORY ALLOCATION:	\$ -	\$ -	\$ -	\$ -	\$ -	-
SYSTEM ALLOCATION						
Paramedic Students (salary, OT, Benefits)				\$ -	\$ -	
Paramedic Student Recruitment				\$ -	\$ -	
Medical Direction (salary or contract)				\$ -	\$ -	
Dispatch				\$ -	\$ -	
Regional Paramedic CE trainer				\$ -	\$ -	
Field Blood Transfusions				\$ -	\$ -	
Indirect/Overhead (1)				\$ -	\$ -	
Other (as approved)				\$ -	\$ -	
SUBTOTAL SYSTEM ALLOCATION:	\$ -	\$ -	\$ -	\$ -	\$ -	-
Use of approved contingency, reserves or program balances:						
Program Balances				\$ -	\$ -	
Approved Contingency/Reserves*				\$ -	\$ -	
SUBTOTAL CONTINGENCY/ RESERVES:	\$ -	\$ -	\$ -	\$ -	\$ -	-
TOTAL OPERATIONAL:	\$ -	\$ -	\$ -	\$ -	\$ -	-
Equipment ALLOCATION**						
TOTAL Equipment ALLOCATION:	\$ -	\$ -	\$ -	\$ -	\$ -	-
TOTAL ALS:	\$ -	\$ -	\$ -	\$ -	\$ -	-

Comments: (please comment on issues and address labor lines that are at a 10% variance and other items at a 20% variance with % of year completed):

*Describe approved use of contingency or reserves:

**Agencies will submit asset management plan showing use of funds and reserve levels sufficient for replacements prior to invoicing equipment allocation.



INVOICE

Contract Number:
 Exhibit: C1 ALS Support Initial Paramedic Training
 Contract Period of Performance:

[ALS Agency Name]

[contact name]
 [address 1]
 [address 2]

[\[email\]](#)

Submit signed invoice to:

Becky Ellis
 Emergency Medical Services
 401 5th Ave., Suite 1200
 Seattle, WA 98104
becky.ellis@kingcounty.gov

ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type (Circle One)	CHECK or ACH
Print on Remittance	_____
PH Program name & phone	_____

Invoice for services rendered under this contract for the period of:

Start Date	End Date

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	CFDA	Amount
1145222	830313	53180		101752			N/A	

Attach sheet for multiple POETAs

Direct Costs	Budget	Previously Billed	Current	Cumulative	Balance
Training Support	\$ -	\$ -	\$ -	\$ -	\$ -
Drills	\$ -	\$ -	\$ -	\$ -	\$ -
Other requests	\$ -	\$ -	\$ -	\$ -	\$ -
Total Direct Costs	\$ -	\$ -	\$ -	\$ -	\$ -
Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -
			Amount Due		

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy Rcvd
Date					
Initial					

EXHIBIT C-2

EMERGENCY MEDICAL SERVICES FUND 2026-2031 - ALS SUPPORT OF BLS ACTIVITIES INVOICE REPORT

Purchase Order #	PH Program Name
Supplier Name	PH Program #
Supplier #	Oracle CPA
Supplier Pay Site	Description to print
Invoice Date	on remittance:
Invoice #	Note:
Amount to be Paid	

ALS Agency Name: _____

Invoice Period: _____ % of year remaining _____

	Budget	This Invoice	Previous Totals	Expenses To Date	Budget Remaining	% Remaining
Run Review						
Admin Run Review & Follow-up				\$ -	\$ -	
Clinical Run Review & Follow-up				\$ -	\$ -	
Subtotal Run Review:	\$ -	\$ -	\$ -	\$ -	\$ -	
Training						
BLS/ALS Interaction Drills				\$ -	\$ -	
Enhanced BLS Training				\$ -	\$ -	
Subtotal Training:	\$ -	\$ -	\$ -	\$ -	\$ -	
ALS Agency Management, Coordination/Oversight						
Subtotal Management Costs:	\$ -		\$ -	\$ -	\$ -	
TOTAL ALS Support for BLS Activities:	\$ -	\$ -	\$ -	\$ -	\$ -	

Comments: *Significant findings and training for current invoice*

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Provider Signature

Title

Date

Eligible costs include expenses related to run review & QI, follow-up from reviews, and enhanced BLS Training. Costs associated with State minimum OTEP CE are responsibility of BLS agencies.

Updated: 9/25/2025



INVOICE

Contract Number:
Exhibit: C3 ALS Support of EMD
 Contract Period of Performance:

[ALS Agency Name]
 [contact name]
 [address 1]
 [address 2]
 [email]

Submit signed invoice to:
 Chris Drucker
 Emergency Medical Services
 401 5th Ave., Suite 1200
 Seattle, WA 98104
CDRUCKER@kingcounty.gov

ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type	(Circle One) CHECK or ACH
PH Program name & phone	_____

Invoice for services rendered under this contract for the period of:

Start Date	End Date

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	Program	Amount
1048253	830404	53180	150	101752			Training	\$ -
1048264	830404	53180	110	101752			SME	\$ -
		53180		101752			Other	\$ -

Attach sheet for multiple POETAs

Direct Costs	Budget	Previously Billed	Current	Cumulative	Balance
Training Support	\$ -	\$ -	\$ -	\$ -	\$ -
Subject Matter Experts (\$ -	\$ -	\$ -	\$ -	\$ -
Other requests	\$ -	\$ -	\$ -	\$ -	\$ -
Total Direct Costs	\$ -	\$ -	\$ -	\$ -	\$ -
	\$ -	\$ -	\$ -	\$ -	\$ -
Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -
			Amount Due		

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy Rcvd
Date					
Initial					



INVOICE

Contract Number:
Exhibit: C4 ALS Support of Training
 Contract Period of Performance:

[ALS Agency Name]
 [contact name]
 [address 1]
 [address 2]
 [email]

Submit signed invoice to:
 Jason Hammond
 Emergency Medical Services
 401 5th Ave., Suite 1200
 Seattle, WA 98104
jhammond@kingcounty.gov

ALL FIELDS MUST BE COMPLETED FOR PROMPT PAYMENT PROCESSING

King County Accounts Payable Information	
Purchase Order #	_____
Supplier Name	_____
Supplier #	_____
Supplier Pay Site	_____
Remit to Address	_____
Invoice Date	_____
Invoice #	_____
Amount to be Paid	_____
Note to AP	_____
Payment Type	(Circle One) CHECK or ACH
PH Program name & phone	_____

Invoice for services rendered under this contract for the period of:

Start Date	End Date

Project	Organization	Expend Acct	Task	Award	DPH Acct	CPA	Program	Amount
	830311	53180		101752			Training	\$ -
	830311	53180		101752			SME	\$ -
	830311	53180		101752			Other	\$ -

Attach sheet for multiple POETAs

Direct Costs	Budget	Previously Billed	Current	Cumulative	Balance
Training Support	\$ -	\$ -	\$ -	\$ -	\$ -
Subject Matter Experts (:	\$ -	\$ -	\$ -	\$ -	\$ -
Other requests	\$ -	\$ -	\$ -	\$ -	\$ -
Total Direct Costs	\$ -	\$ -	\$ -	\$ -	\$ -
	\$ -	\$ -	\$ -	\$ -	\$ -
Grand Total	\$ -	\$ -	\$ -	\$ -	\$ -
			Amount Due		

I, the undersigned, do hereby certify under the laws of the State of Washington penalty of perjury, that this is a true and correct claim for reimbursement services rendered. I understand that any false claims, statements, documents, or concealment of material fact may be prosecuted under applicable Federal and State laws. This certification includes any attachments which serve as supporting documentation to this reimbursement request.

Signed _____ Date _____

PH Program Manager Approval _____ Date _____

Print Name _____

For Public Health Use Only					
	Received	Entered	CM/PM Review	FM Review	Official Copy Rcvd
Date					
Initial					



Memorandum

Date: 5/19/2026

Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-327

Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services

FROM: Mayor Angela Birney

DEPARTMENT DIRECTOR CONTACT(S):

Fire	Adrian Sheppard, Fire Chief	425-556-2200
------	-----------------------------	--------------

DEPARTMENT STAFF:

Fire	Jim Whitney	Deputy Fire Chief
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TITLE:

Authorization to Execute Fire Mobilization Interagency Agreement with the Washington State Patrol (WSP)

OVERVIEW STATEMENT:

The Redmond Fire Department requests Council authorization for the Mayor to execute a Fire Mobilization Interagency Agreement with the Washington State Patrol to allow participation in the Washington State Fire Services Resource Mobilization Plan. Participation under this agreement is voluntary and deployments occur only when operational conditions permit the department to maintain appropriate service levels within the City of Redmond.

This agreement establishes the process for reimbursement of eligible costs incurred when Redmond Fire Department personnel and equipment are mobilized in support of statewide emergency incidents where local and mutual aid resources have been exhausted. The agreement term extends through January 1, 2029.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information Provide Direction Approve

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
This agreement supports the City’s Community Strategic Plan priorities related to public safety, preparedness, emergency response, and regional resilience, as well as the City’s Comprehensive Emergency Management Plan framework for coordinated interagency emergency response activities.
- **Required:**
N/A
- **Council Request:**
N/A
- **Other Key Facts:**

N/A

OUTCOMES:

Execution of this agreement allows Redmond Fire Department to participate in mobilization activities coordinated through the Washington State Patrol and establishes reimbursement procedures for eligible personnel, apparatus, equipment, and associated response costs incurred during mobilizations.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
N/A
- **Outreach Methods and Results:**
N/A
- **Feedback Summary:**
N/A

BUDGET IMPACT:

Total Cost:

Costs associated with approved mobilization responses are reimbursable through the Washington State Fire Services Resource Mobilization Plan in accordance with state mobilization procedures and requirements.

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

N/A

Budget Priority:

Safe and Resilient; Strategic and Responsive

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

N/A

Budget/Funding Constraints:

N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
N/A	Item has not been presented to Council	N/A

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/2/2026	Business Meeting	Approve

Time Constraints:

N/A

ANTICIPATED RESULT IF NOT APPROVED:

If not approved, Redmond Fire Department would be unable to participate in state fire mobilization responses under the Washington State Fire Services Resource Mobilization Plan and would not be eligible for reimbursement of mobilization-related costs through the State mobilization system. This would limit the department’s ability to support statewide emergency incidents and regional mutual aid efforts during large-scale emergencies and disasters.

ATTACHMENTS:

Attachment A: Fire Mobilization Interagency Agreement with Washington State Patrol

FIRE MOBILIZATION INTERAGENCY AGREEMENT
BETWEEN
STATE OF WASHINGTON
WASHINGTON STATE PATROL
AND
REDMOND FIRE DEPARTMENT

This Interagency Agreement (Agreement), pursuant to RCW 43.43.960 through RCW 43.43.964 (State Fire Service Mobilization) and Chapter 39.34 RCW (Interlocal Cooperation Act), is made and entered into by and between the Washington State Patrol, hereinafter referred to as "WSP," and **Redmond Fire Department**, a statutorily authorized fire agency within the State of Washington, hereinafter referred to as "Fire Agency."

The purpose of this Agreement is to provide for the reimbursement of allowable Fire Agency costs incurred while its assets are mobilized in accordance with RCW 43.43.960 through RCW 43.43.964 and the Washington State Fire Services Resource Mobilization Plan (Mobilization Plan). The Mobilization Plan and any subsequent versions adopted pursuant to RCW 43.43.962 are incorporated herein by this reference and can be found at: <https://www.wsp.wa.gov/all-risk-mobilization/>

Therefore, it is mutually agreed that:

- 1. Mobilization Plan.** The Mobilization Plan provides a process to quickly notify, assemble and deploy fire service personnel and equipment to any local fire jurisdiction in Washington State that has expended all local and mutual aid resources in attempting to manage, mitigate and control an emergency incident or situation for the protection of life and property. If the Fire Agency responds with its available assets to an incident mobilization, both parties shall comply with the procedures detailed in the Mobilization Plan.
- 2. Period of Performance.** The period of performance of this Agreement begins on **1/01/2026** and ends on **1/01/2029** unless terminated sooner as provided herein. The parties agree that this Agreement begins on **1/01/2026** regardless of the date of execution.
- 3. Billing Procedures.** WSP shall reimburse the Fire Agency upon the receipt of properly executed claim forms submitted by the Fire Agency according to the Mobilization Plan. Claims for payment submitted by the Fire Agency to WSP for costs due and payable under this Agreement shall be paid by WSP if received by WSP within 45 days from the end of each respective fire mobilization. The Fire Agency is required to be registered as a Statewide Payee prior to submitting a request for payment under this Contract. The Washington State Office of Financial Management (OFM) maintains the Statewide Payee Registration System; to obtain registration materials go to <https://ofm.wa.gov/it-systems/statewide-vendorpayee-services>
- 4. Compliance with Civil Rights Laws.** During the period of performance for this Agreement, both parties shall comply with all federal and state nondiscrimination laws.
- 5. Records Maintenance.** Both parties shall maintain books, records, documents and other evidence which sufficiently and properly reflect all direct and indirect costs expended by either party in the performance of the services described herein. These records shall be subject to inspection, review or audit by personnel of both parties, other personnel duly authorized by either party, the Office of the State Auditor, and federal officials so authorized by law. Both parties shall retain all books, records, documents, and other material relevant to this Agreement for six (6) years after expiration, and the Office of the State Auditor, federal auditors, and any persons duly authorized by the parties shall have full access and the right to examine any of these materials during this period.
- 6. Agreement Management.** The work described herein shall be performed under the coordination of the parties' Contract Managers listed below, or their successors. They shall provide assistance and guidance to the other party necessary for the performance of this Agreement. The parties shall notify each other within ten (10) business days of a change in Contract Manager.

Contract Manager for REDMOND FIRE DEPARTMENT	Contract Manager for the WASHINGTON STATE PATROL:
Adrian Sheppard Chief 8450 161 st Ave NE Redmond WA 98052 425-556-2288 asheppard@redmond.gov	Brian Briscoe State Deputy Fire Marshal PO Box 42642 Olympia WA 98504-2642 360-596-3925 Brian.Briscoe@wsp.wa.gov

- 7. Hold Harmless.** Each party shall defend, protect and hold harmless the other party from and against all claims, suits and/or actions arising from any negligent or intentional act or omission of that party's employees, agents, and/or authorized subcontractor(s) while performing under this Agreement.
- 8. Agreement Alterations and Amendments.** This Agreement may be amended by mutual agreement of the parties. Such amendments shall not be binding unless they are in writing and signed by personnel authorized to bind each of the parties.
- 9. Termination.** Either party may terminate this Agreement upon thirty (30) calendar days' written notification to the other party. If this Agreement is so terminated, the terminating party shall be liable only for performance in accordance with the terms of this Agreement for performance prior to the effective date of termination.
- 10. Appeals of Denied Claims.** In the event that WSP denies payment of claim(s) submitted by the Fire Agency under this Agreement, the Fire Agency may appeal the denial according to the Mobilization Plan. The process contained in the Mobilization Plan is the sole administrative recourse available to the Fire Agency for the appeal of denied claims.
- 11. Order of Precedence.** In the event of any inconsistency in the terms of this Agreement, the inconsistency shall be resolved by giving precedence in the following order:
 1. Applicable federal and state statutes and regulations;
 2. Terms and Conditions contained in this Agreement
 3. Any other provisions of the Agreement, whether incorporated by reference or otherwise.
- 12. All Writings Contained Herein.** This Agreement contains all the terms and conditions agreed upon by the parties. No other understandings, oral or otherwise, regarding the subject matter of this Agreement shall be deemed to exist or to bind any of the parties hereto.
- 13. Electronic Signatures.** A signed copy of this contract or any other ancillary document transmitted by facsimile, email, or other means of electronic transmission shall be deemed to have the same legal effect as delivery of an original executed document for all purposes. Electronic signatures must be certified to be considered valid signatures.
- 14. Authority.** The parties signing below warrant that they have read, understand, and have the authority to enter into this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement.

Redmond Fire Department

WASHINGTON STATE PATROL

Signature	Date	Signature	Date
Print Name and Title		For: John R. Batiste, Chief Name and Title	

APPROVED AS TO FORM BY THE OFFICE OF THE ATTORNEY GENERAL 2/5/2008



Memorandum

Date: 5/19/2026
Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-326
Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services
FROM: Mayor Angela Birney
DEPARTMENT DIRECTOR CONTACT(S):

Fire	Adrian Sheppard, Fire Chief	425-556-2200
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DEPARTMENT STAFF:

Fire	Jim Whitney	Deputy Fire Chief
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TITLE:

Authorization to Execute Interagency Agreement with Washington State Department of Natural Resources (DNR) for Wildfire and Emergency Response Support

OVERVIEW STATEMENT:

The Redmond Fire Department requests Council authorization for the Mayor to execute an Interagency Agreement with the Washington State Department of Natural Resources (DNR) to allow Redmond Fire personnel and resources to support wildfire and other emergency response incidents throughout Washington State when requested. Participation under this agreement is voluntary and only occurs when staffing and operational conditions allow Redmond Fire to maintain appropriate service levels within the City.

This agreement establishes reimbursement procedures, operational expectations, and deployment parameters for personnel, equipment, and Incident Management Team (IMT) resources provided by Redmond Fire in support of statewide emergency incidents. The agreement extends through July 13, 2031.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

- Receive Information
- Provide Direction
- Approve

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
This agreement supports the City’s Community Strategic Plan priorities related to public safety, preparedness, emergency response, and regional resilience, as well as the City’s Comprehensive Emergency Management Plan framework for coordinated interagency emergency response activities.
- **Required:**
N/A
- **Council Request:**

N/A

- **Other Key Facts:**

N/A

OUTCOMES:

This agreement formalizes Redmond Fire Department participation in those response efforts and establishes the framework for:

- Deployment of qualified personnel and equipment;
- Reimbursement for personnel, travel, equipment, and approved incident-related costs;
- Incident qualification and resource tracking requirements;
- Operational and insurance requirements associated with emergency mobilizations.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**

N/A

- **Outreach Methods and Results:**

N/A

- **Feedback Summary:**

N/A

BUDGET IMPACT:

Total Cost:

If Redmond Fire personnel or resources are mobilized under the agreement, costs incurred by the City are reimbursable by DNR in accordance with the agreement terms.

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

N/A

Budget Priority:

Safe and Resilient; Strategic and Responsive

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

N/A

Budget/Funding Constraints:

N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
N/A	Item has not been presented to Council	N/A

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/2/2026	Business Meeting	Approve

Time Constraints:

N/A

ANTICIPATED RESULT IF NOT APPROVED:

If not approved, Redmond Fire Department personnel and resources would be unable to participate in or support Washington State Department of Natural Resources wildfire and emergency mobilization requests under this agreement framework. This would limit the department's ability to assist with statewide emergency response efforts, participate in Incident Management Team deployments, and receive reimbursement for eligible personnel and equipment costs associated with such mobilizations.

ATTACHMENTS:

Attachment A: Interagency Agreement with DNR



**INTERAGENCY AGREEMENT
WASHINGTON STATE
DEPARTMENT OF NATURAL RESOURCES
CONTRACT NO. 93-110894**

PI: 221, 222, 223, 224

Funding Source: State

Grant Funded: N/A

DES Supplier Diversity: Not Applicable

Procurement Method: Exempt per DES Policy

Exemption Type: [RCW 39.26.125\(10\)](#) Intergovernmental agreements awarded to any governmental entity, whether federal, state, or local and any department, division, or subdivision thereof

This contract is made and entered into by and between the Washington State Department of Natural Resources, hereinafter referred to as "DNR", and the below named firm, hereinafter referred to as "CONTRACTOR".

City of Redmond

P.O. Box 97010

Redmond, WA, 98073

Phone: 425-556-2200

Email: RedmondFire@redmond.gov

Statewide Vendor # (SWV): SWV0003729-01

1. PURPOSE

The purpose of this contract is for the CONTRACTOR to provide employees, referred to as single resources, equipment, material and/or services in support of wildfire or other emergency response and to establish DNR's payment and reimbursement procedures to the CONTRACTOR for providing such single resources, equipment material and/or services. Dispatches under this agreement are limited to the State of Washington, unless the single resource is rostered on a Pacific Northwest Incident Management Team (IMT) type 1, 2 or 3.

2. SCOPE OF WORK

A. CONTRACTOR will provide services and staff, and otherwise do all things necessary for or incidental to the performance of work, as set forth in Exhibit A – Scope of Work.

All written reports and deliverables under this contract must be delivered to Jim Whitney, the DNR Project Manager, in accordance with the schedule above.

3. SUBCONTRACTORS

Prior authorization is required by DNR if any subcontractor(s) will be used to perform any part of the work under this contract.

4. PERIOD OF PERFORMANCE

The period of performance under this contract will be from date of execution through July 13, 2031, unless terminated sooner as provided herein.

5. COMPENSATION

The compensation payable to the CONTRACTOR shall be based on the rates and terms described in Exhibit B - Budget. Compensation shall not be rendered to the CONTRACTOR unless they are called upon to provide the services outlined herein.

6. BILLING PROCEDURES AND PAYMENT

DNR will pay CONTRACTOR upon acceptance of services provided and receipt of properly completed invoices, which shall be submitted to the DNR Project Manager within sixty (60) days of the last date of demobilization.

The invoices shall describe and document, to DNR's satisfaction, a description of the work performed, the progress of the project, and fees. The invoice shall include the contract reference number 93-110894. If expenses are invoiced, a detailed breakdown of each type shall be provided. Supporting documentation must accompany any expense (unless noted otherwise above) in order to receive reimbursement.

Payment shall be considered timely if made by DNR within thirty (30) calendar days after receipt of properly completed invoices.

CONTRACTOR shall only submit invoices for completed activities, tasks, and/or deliverables clearly identified in Exhibit A – Scope of Work. Invoices containing partially completed work will be rejected.

DNR may, in its sole discretion, terminate the contract or withhold payments claimed by CONTRACTOR for services rendered if CONTRACTOR fails to satisfactorily comply with any term or condition of this contract.

No payments in advance or in anticipation of services or goods to be provided under this contract shall be made by DNR.

Fiscal/Biennial Closures: Under fiscal/biennial closing procedures, CONTRACTOR must submit all invoices and/or billings for services or material supplied under this contract through June 30 to DNR no later than July 10 of the same year. If DNR does not receive invoices and bills by July 10, a considerable delay in payment may result.

7. SUBCONTRACTOR PAYMENTS REPORTING REQUIREMENTS

If subcontractors are used, this contract is subject to compliance tracking using the State’s business diversity management system, Access Equity (B2Gnow). Access Equity is web-based and can be accessed at the Office of Minority and Women’s Business Enterprises at <https://omwbe.diversitycompliance.com/>.

CONTRACTOR and all subcontractors shall report and confirm receipt of payments made to CONTRACTOR and each subcontractor through Access Equity. CONTRACTOR may contact the Contract Manager listed in this contract or reach out to DNR’s Procurement of Goods and Services Office servicescontracts@dnr.wa.gov for technical assistance in using the Access Equity system. User guides and documentation related to CONTRACTOR and subcontractor access to and use of Access Equity are available online at <https://omwbe.wa.gov/access-equity-help-center>. DNR reserves the right to withhold payments from CONTRACTOR for non-compliance with this section. For purposes of this section, subcontractor means any subcontractor working on the contract, at any tier and regardless of status as a certified WMBE or Non-WMBE.

CONTRACTOR shall:

1. Register and enter all required subcontractor information into Access Equity no later than fifteen (15) days after DNR creates the Contract Record.
2. Complete the required user training (two (2) one-hour online sessions) no later than twenty (20) days after DNR creates the Contract Record.
3. Report the amount and date of all payments (i) received from DNR and (ii) paid to subcontractors, no later than a date mutually agreed to by the parties, issuance of each payment made by DNR to CONTRACTOR, unless otherwise specified in writing by DNR, except that CONTRACTOR shall mark as “Final” and report the final subcontractor payments into Access Equity no later than thirty (30) days after the final payment is due

the subcontractor(s) under the contract, with all payment information entered no later than sixty (60) days after end of fiscal year.

4. Monitor contract payments and respond promptly to any requests or instructions from DNR or system-generated messages to check or provide information in Access Equity.
5. Coordinate with subcontractors, or DNR when necessary, to resolve promptly any discrepancies between reported and received payments.
6. Require each subcontractor to: (i) register in Access Equity and complete the required user training; (ii) verify the amount and date of receipt of each payment from CONTRACTOR or a higher tier subcontractor, if applicable, through Access Equity; (iii) report payments made to any lower tier subcontractors, if any, in the same manner as specified herein; (iv) respond promptly to any requests or instructions from CONTRACTOR or system-generated messages to check or provide information in Access Equity; and (v) coordinate with CONTRACTOR, or DNR when necessary, to resolve promptly any discrepancies between reported and received payments.

CONTRACTOR (also called Prime Contractor) is obligated to complete the vendor registration in Access Equity. Access Equity is a secure online vendor management system (B2GNow). Confidential information (Tax ID, etc.) will not be published. Contractors that have previously registered with B2Gnow for any public entity, must verify the system has updated information. Contractors can access the system at <https://omwbe.diversitycompliance.com/> or through a direct link on the Office of Minority and Women's Business Enterprises (OMWBE) website at: <https://omwbe.wa.gov/>.

Each month during the contract, CONTRACTOR will report payments to ALL subcontractors through the Access Equity system. This monthly reporting information includes total payment in dollars made to the subcontractor, payment dates, and any additional information required to verify payment to subcontractors. CONTRACTOR will enter this payment information into the Access Equity system, and the subcontractors will verify this payment information in the system. Online training is available through the Access Equity/B2Gnow system. This requirement applies to both contractors and subcontractors.

8. RECORDS MAINTENANCE

CONTRACTOR shall maintain books, records, documents, data, and other evidence relating to this contract and performance of services rendered and/or delivery of goods as described herein, including, but not limited to, accounting procedures and practices that sufficiently and properly reflect all direct and indirect costs of any nature expended in the performance of this contract.

CONTRACTOR shall retain such records for a period of six (6) years following the date of contract expiration. At no additional cost, these records, including materials generated under the contract, shall be subject at all reasonable times to inspection, review, or audit by DNR, personnel duly

authorized by DNR, the Office of the State Auditor, and federal and state officials so authorized by law, regulation, or agreement.

If any litigation, claim, or audit is started before the expiration of the six (6) year period, the records shall be retained until all litigation, claims, or audit findings involving the records have been resolved.

All contracts issued by DNR are subject to the provisions of the Washington State Public Records Act, [RCW 42.56](#). Any contracts issued with federal dollars are also subject to the US Freedom of Information Act, [Office of Information Policy | The Freedom of Information Act, 5 U.S.C. § 552](#).

9. RIGHTS TO DATA

Unless otherwise agreed, data originating from this agreement shall be ‘works for hire’ as defined by as defined by Title 17 U.S.C., Section 101 and shall be owned by the DNR. Data shall include, but not be limited to, reports, documents, pamphlets, advertisements, books, magazines, surveys, studies, computer programs, films, tapes, and/or sound reproductions. Ownership includes the right to use, copyright, patent, register, and the ability to transfer these rights.

10. INDEPENDENT CAPACITY

The employees or agents of each party who are engaged in performing this agreement shall continue to be employees or agents of that party and shall not be considered for any purpose to be employees or agents of the other party.

11. AMENDMENTS

This agreement may be amended by mutual agreement of the parties. Amendments shall be in writing and signed by personnel authorized to bind each of the parties.

12. TERMINATION FOR CONVENIENCE

Either party may terminate this agreement upon thirty (30) calendar days’ prior written (including email) notice to the other party. If this agreement is terminated, the parties shall be liable only for performance rendered or costs incurred in accordance with the terms of this agreement prior to the effective date of termination.

13. TERMINATION FOR CAUSE

If for any cause either party does not fulfill in a timely and proper manner its obligations under this agreement, or if either party violates any of the terms and conditions, the aggrieved party will give the other party written notice of the failure or violation. The aggrieved party will give the other party fifteen (15) working days to correct the violation or failure. If the failure or violation is not corrected within fifteen (15) days, the aggrieved party may immediately terminate this agreement by notifying the other party in writing (including email).

14. DISPUTES

If a dispute arises, each party will make a good faith effort to resolve issues at the lowest possible level in their respective agencies. If they cannot resolve an issue, they will elevate the issue within their respective chains of command to resolve it.

In the event that a dispute arises that cannot be resolved as described in the preceding paragraph, it shall be determined by a Dispute Board in the following manner: Each party to this agreement shall appoint one member to the Dispute Board. The members so appointed shall jointly appoint an additional member to the Dispute Board. The Dispute Board shall evaluate the facts, agreement terms, applicable statutes and rules, and make a determination of the dispute. The determination of the Dispute Board shall be final and binding on both parties. The cost of resolution will be borne as allocated by the Dispute Board. Alternatively, the parties may pursue a third party dispute resolution as the parties mutually agree to in writing.

15. GOVERNANCE

This contract is entered into by the authority granted by the laws of the State of Washington and any applicable federal laws. The provisions of this agreement shall be construed to conform to those laws.

If there is an inconsistency in the terms of this agreement, or between its terms and any applicable statute or rule, the inconsistency shall be resolved by giving precedence in the following order:

1. Applicable federal statutes and regulations.
2. State of Washington statutes and regulations.
3. Special terms and conditions as contained in this basic contract instrument.
4. Any other provision, term, or material incorporated herein by reference or otherwise incorporated.

16. ASSIGNMENT

The work to be provided under this agreement and any claim arising from this agreement cannot be assigned or delegated in whole or in part by either party, without the express prior written consent of the other party.

17. WAIVER

A party that fails to exercise its rights under this agreement is not precluded from subsequently exercising its rights. A party's rights may only be waived through a written amendment to this agreement.

18. HARASSMENT

CONTRACTOR hereby has access to the following DNR's policies:

Per [RCW 43.01.135](#), DNR Policy PO01-052, Sexual Harassment, linked below, outlines DNR's commitment and expectations for contractors:

https://www.dnr.wa.gov/publications/em_harassment_prevention_policy.pdf

DNR Policy PO01-051, Safe and Respectful Workplace, linked below, outlines DNR's commitment and the expectations for contractors:

www.dnr.wa.gov/publications/em_safe_respectful_workplace_policy.pdf

DNR Policy PO01-037, Harassment Prevention, linked below, outlines DNR's commitment and expectations for contractors:

www.dnr.wa.gov/publications/em_harassment_prevention_policy_037.pdf

19. NONDISCRIMINATION

During the performance of this contract, CONTRACTOR shall comply with all federal and state nondiscrimination laws, regulations, and policies.

1. Nondiscrimination Requirement. During the term of this contract, CONTRACTOR, including any subcontractor, shall not discriminate on the bases enumerated at [RCW 49.60.530\(3\)](#). In addition, CONTRACTOR, including any subcontractor, shall give written notice of this nondiscrimination requirement to any labor organizations with which CONTRACTOR, or subcontractor, has a collective bargaining or other agreement.
2. Obligation to Cooperate. CONTRACTOR, including any subcontractor, shall cooperate and comply with any Washington state agency investigation regarding any allegation that CONTRACTOR, including any subcontractor, has engaged in discrimination prohibited by this contract pursuant to [RCW 49.60.530\(3\)](#).
3. Default. Notwithstanding any provision to the contrary, DNR may suspend CONTRACTOR, including any subcontractor, upon notice of a failure to participate and cooperate with any state agency investigation into alleged discrimination prohibited by this contract, pursuant to [RCW 49.60.530\(3\)](#). Any such suspension will remain in place until DNR receives notification that CONTRACTOR, including any subcontractor, is cooperating with the investigating state agency. In the event CONTRACTOR, or subcontractor, is determined to have engaged in discrimination identified at [RCW 49.60.530\(3\)](#), DNR may terminate this contract in whole or in part, and CONTRACTOR, subcontractor, or both, may be referred for debarment as provided in [RCW 39.26.200](#). CONTRACTOR or subcontractor may be given a reasonable time in which to cure this noncompliance, including implementing conditions consistent with any court-ordered injunctive relief or settlement agreement.
4. Remedies for Breach. Notwithstanding any provision to the contrary, in the event of contract termination or suspension for engaging in discrimination, CONTRACTOR, subcontractor, or both, shall be liable for contract damages as authorized by law including, but not limited to, any cost difference between the original contract and the replacement or cover contract and all administrative costs directly related to the replacement contract, which damages are distinct from any penalties imposed under [Chapter 49.60, RCW](#). DNR shall have the right to deduct from any monies due to CONTRACTOR or subcontractor, or that thereafter become due, an amount for damages CONTRACTOR or subcontractor will owe DNR for default under this provision.

20. SEVERABILITY

The provisions of this agreement are severable. If any provision of this agreement or any provision of any document incorporated by reference should be held invalid for any reason whatsoever by court of competent jurisdiction or other legally binding authority, such illegality or invalidity shall not affect the validity of the remainder of the contract.

21. RESPONSIBILITIES OF THE PARTIES/INDEMNIFICATION

To the fullest extent permitted by law, CONTRACTOR shall indemnify, defend (with counsel acceptable to DNR), and hold harmless DNR, its officials, agents, and employees, from and against all claims arising out of or resulting from the performance of the agreement. "Claim" as used in this agreement means any financial loss, claim, suit, action, damage, or expense, including, but not limited to, attorneys' fees, attributable for bodily injury, sickness, disease or death, or injury to or destruction of tangible property including loss of use resulting therefrom. CONTRACTOR's obligation to indemnify, defend, and hold harmless includes any claim by CONTRACTOR's employees, representatives, any subcontractor or its employees, or any third party.

However, CONTRACTOR shall not indemnify, defend, or hold harmless DNR, its officials, agents, and employees for claims caused by or resulting from the sole negligence of DNR, its officials, agents, and employees and in the event of concurrent negligence by (1) CONTRACTOR, its agents, employees, representatives, any subcontractor or its employees, or any third party and (2) DNR, its officials, agents, and employees, then CONTRACTOR's obligation to indemnify, defend, and hold harmless DNR, its officials, agents, and employees shall be valid and enforceable only to the extent of CONTRACTOR, its agents, employees, representatives, any subcontractor or its employees, or any third party's share of any concurrent negligence.

CONTRACTOR waives its immunity under Title 51 RCW to the extent it is required to indemnify, defend and hold harmless DNR and its officials, agents or employees.

22. CONTRACT MANAGEMENT

The Project Manager for each of the parties shall be the contact person for all communications and billings regarding the performance of this contract.

CONTRACTOR Contract Manager	DNR Contract Manager
Jim Whitney City of Redmond Fire Department 8450 161 st Ave NE Redmond, WA, 98052 <i>Phone:</i> 425-556-2202 <i>Email address:</i> jwhitney@redmond.gov	Enter Contract Manager Name Department of Natural Resources Enter Agency Address Enter City, State & Zip <i>Phone:</i> Enter Phone Number <i>Email address:</i> Enter Email Address

CONTRACTOR Project Manager	DNR Project Manager
Jim Whitney City of Redmond Fire Department 8450 161 st Ave NE Redmond, WA, 98052 <i>Phone:</i> 425-556-2202 <i>Email address:</i> jwhitney@redmond.gov	Enter Project Manager Name Department of Natural Resources Enter Agency Address Enter City, State & Zip <i>Phone:</i> Enter Phone Number <i>Email address:</i> Enter Email Address

23. INSURANCE

Before using any of said rights granted herein and at its own expense, CONTRACTOR shall purchase and maintain, [or require its agent(s)/subcontractor to purchase and maintain,] the insurance described below for the entire duration of this agreement. Failure to purchase and maintain the required insurance may result in the termination of the agreement at DNR's option.

All insurance provided in compliance with this agreement shall be primary as to any other insurance or self-insurance programs afforded to, or maintained by, the State of Washington, Department of Natural Resources.

CONTRACTOR shall provide DNR with certificates of insurance, executed by a duly authorized representative of each insurer, showing compliance with the insurance requirements specified in this agreement before using any of said rights granted herein. The description section of the certificate shall contain the Contract Number and the name of the DNR Project Manager. CONTRACTOR shall also provide renewal certificates as appropriate during the term of this agreement.

CONTRACTOR shall include all subcontractors and agents as insured under all required insurance policies or shall provide separate certificates of insurance for each subcontractor or agent. Failure of CONTRACTOR to have its subcontractors and agents comply with the insurance requirements contained herein does not limit CONTRACTOR's liability or responsibility.

INSURANCE TYPES & LIMITS: The limits of insurance, which may be increased by State, as deemed necessary, shall not be less than as follows:

Commercial General Liability (CGL) Insurance: CONTRACTOR shall purchase and maintain commercial general liability insurance with a limit of not less than \$1,000,000 per each occurrence. If such CGL insurance contains aggregate limits, the general aggregate limits shall be at least twice the "each occurrence" limit, and the products-completed operations aggregate limit shall be at least twice the "each occurrence" limit. All insurance must cover liability arising out of premises, operations, independent contractors, products completed operations, personal injury and advertising injury, and liability assumed under an insured contract (including the tort liability of

another party assumed in a business contract) and contain separation of insured (cross-liability) condition.

Employer's Liability ("Stop Gap") Insurance: CONTRACTOR shall purchase and maintain employer's liability insurance and if necessary, commercial umbrella liability insurance with limits not less than \$1,000,000 each accident for bodily injury by accident or \$1,000,000 each employee for bodily injury by disease.

Business Auto Policy (BAP) Insurance: CONTRACTOR shall purchase and maintain business auto insurance and if necessary, commercial umbrella liability insurance with a limit of not less than \$1,000,000 per accident, with such insurance covering liability arising out of "Any Auto". The policy shall be endorsed to provide contractual liability coverage and cover a "covered pollution cost or expense." CONTRACTOR waives all rights of subrogation against State for the recovery of damages to the extent they are covered by business auto liability or commercial umbrella liability insurance.

Industrial Insurance (Workers Compensation): CONTRACTOR shall comply with or provide Federal Workers Compensation insurance, out of state workers compensation insurance, or coverage under [Title 51 RCW](#) by maintaining workers compensation insurance for its employees. CONTRACTOR waives all rights of subrogation against State for recovery of damages to the extent they are covered by Industrial Insurance, employer's liability, general liability, excess, or umbrella insurance. CONTRACTOR waives its Title 51 RCW immunity to the extent it is required by its indemnity obligation under this agreement.

If CONTRACTOR fails to provide industrial insurance coverage or fails to pay premiums or penalties on behalf of its employees, as may be required by law, DNR may collect from CONTRACTOR the full amount payable to the Industrial Insurance accident fund. DNR may deduct the amount owed by CONTRACTOR to the accident fund from the amount payable to CONTRACTOR by DNR under this contract and transmit the deducted amount to the Washington Department of Labor & Industries (L&I), Division of Insurance Services.

Errors and Omissions (Professional Liability) Insurance: CONTRACTOR shall purchase and maintain errors and omissions insurance including coverage for professional liability with limits of not less than \$1,000,000 per claim and \$2,000,000 in the aggregate.

ADDITIONAL PROVISIONS:

Additional Insured: DNR, its officials, agents, and employees shall be named as additional insured by endorsement on all general liability, excess, and umbrella insurance policies.

Cancellation: DNR shall be provided written notice before cancellation or non-renewal of any insurance referred to therein, in accord with the following specifications.

1. Insurers subject to Chapter 48.18 RCW (Admitted and Regulated by the Insurance Commissioner): The insurer shall give the State forty-five (45) days advance notice of cancellation or nonrenewal. If cancellation is due to non-payment of premium, the State shall be given ten (10) days advance notice of cancellation.

2. Insurers subject to Chapter 48.15 RCW (Surplus Lines): The State shall be given twenty (20) days advance notice of cancellation. If cancellation is due to non-payment of premium, the State shall be given ten (10) days advance notice of cancellation.

Insurance Carrier Rating: All insurance shall be issued by companies admitted to do business in the State of Washington and have a rating of A-, Class VII, or better. Any exception must be reviewed and approved by the DNR Risk Manager or the DNR Contracts Manager, in the Risk Manager's absence. If an insurer is not admitted to do business in Washington State, all insurance policies and procedures for issuing the insurance policies must comply with Chapters 48.15 RCW and 284-15 WAC.

Self-Insurance: If CONTRACTOR is self-insured, evidence of its status as a self-insured entity shall be provided to State. The evidence should demonstrate that CONTRACTOR's self-insurance meets all of the required insurance coverage of this agreement to the satisfaction of State including the description of the funding mechanism and its financial condition. If the funding mechanism or financial condition of the self-insurance program of CONTRACTOR is inadequate, then State may require the purchase of additional commercial insurance to comply with this agreement.

Waiver: CONTRACTOR waives all rights of subrogation against State for recovery of damages to the extent these damages are covered by general liability, excess, or umbrella insurance maintained pursuant to this agreement.

24. ASSURANCES

DNR and CONTRACTOR agree that all activity pursuant to this contract will be in accordance with all the applicable current federal, state, and local laws, rules, and regulations.

25. ENTIRE AGREEMENT

This contract, including referenced exhibits, represents all the terms and conditions agreed upon by the parties. No other statements or representations, written or oral, shall be deemed a part hereof.

26. CONFORMANCE

If any provision of this contract violates any statute or rule of law of the State of Washington, it is considered modified to conform to that statute or rule of law.

27. APPROVAL

By signature below, the parties certify that the individuals listed in this document, as representatives of the parties, are authorized to act in their respective areas for matters related to this instrument. IN WITNESS WHEREOF, the parties have executed this agreement.

CITY OF REDMOND

**WASHINGTON STATE
DEPARTMENT OF NATURAL
RESOURCES**

Signature	Date	Signature	Date
Angela Birney		Russ Lane	
Name		Name	
Mayor		Wildland Fire Management Division Manager	
Title		Title	
PO Box 97010		1111 Washington Street SE	
Redmond, WA 98073		Olympia, WA, 98504	
Address		Address	
425-556-2900		360-902-1308	
Telephone		Telephone	

EXHIBIT A

SCOPE OF WORK

This agreement is to allow the CONTRACTOR to provide personnel and support to DNR for wildfire or emergency response within the State of Washington and to define DNR's procedure to pay and reimburse the CONTRACTOR. This includes IMT members and wildland resources (personnel, equipment, services and supplies available, or potentially available, for assignment to incidents) Personnel and equipment are described by kind and type, e.g., ground, water, air, etc., and may be used in tactical, support or overhead capacities at an incident. This agreement will not be an avenue for dispatches to fires outside of the State of Washington with the exception of rostered Type 1, 2 and 3 IMT members.

If the CONTRACTOR has a Forest land Response Agreement (FLRA) it will take precedence over this agreement for dispatches to wildfire incidents, and this agreement will only be used for dispatching of IMT members to non-wildfire incidents.

This agreement extends to all District/Department members as defined below:

- Washington Fire Service (WFS) personnel that are full-time and part-time paid employees, and personnel under contract/agreement with the District/Department will be paid by the District/Department. DNR will reimburse District/Department costs as outlined in this agreement. Personnel covered under this section are regularly paid by WFS for performed work and are compensated the same for work including if assigned to an incident covered by this agreement "Full and Part Time Personnel."
- Members dispatched by DNR from WFS that have contracts for the sole purpose of responding to wildfire or non-wildfire incidents outside of the WFS jurisdictional boundaries are paid by WFS and reimbursed in accordance with the Washington State Wage & Equipment Rate Guide "Temporary Personnel."
- Members of WFS who are identified as volunteers will need to be hired by DNR via the DNR casual hire process and paid directly by DNR. This may be completed pre-season, and shall be completed prior to the first dispatch. The local DNR Region office will handle the casual hire process.

EXHIBIT B

BUDGET

CONTRACTOR agrees that/to:

1. All personnel dispatched will have a valid Incident Qualification Card (red card) stating current qualifications; and will adhere to qualifications and standards described in PMS 310-1.
2. Provide a copy of the Master IQS Record for each participating employee (needed to update status in Interagency Resource Ordering Capability (IROC)).
3. Provide local DNR Dispatch with status of each employee who is listed as a rostered IMT member or other appropriate resource every Monday by 1200 hours. Dispatch will then update their status in IROC for that week (0800 Tuesday to 0800 Tuesday).
4. All personnel and equipment dispatched will be paid by the District/Department; (except volunteers will follow payment procedures outlined in their individual agreement and be paid directly by DNR).
5. All Equipment and Personnel dispatched under this agreement will arrive at each incident with a copy of their current agreement.
6. Invoice for personnel, equipment, & travel cost billed to DNR shall be submitted within sixty (60) days and will include the following:
 - a. DNR Personnel Reimbursement Request Worksheet
 - b. Original Emergency Fire Time Report (OF-288); hourly wage rate including salaries & benefit (regular and OT) for personnel hours on the OF-288.
 - c. Original Shift Ticket (OF-297) documenting mileage to/from incident as well as daily mileage incurred on the incident signed by incident supervisor.
 - d. Original Emergency Equipment Use Invoice (OF-286) signed by finance section on the incident.
 - e. Copy of district/department shift schedule.
 - f. Earning statements showing hourly wage for each employee and a copy of appropriate employment contract.
 - g. Receipts or Copy of Employee travel reimbursement for travel expenses.
 - h. Copy of Resource Order.
7. Volunteers shall submit original copies of payment documents directly to the DNR region office for payment.

8. For fire line or off-road use, only utilize District/Department owned vehicles or procured rental vehicles. If District/Department owned vehicles are available, they shall be used prior to procuring a rental vehicle.
 - a. Rental vehicles for off-road use must be procured using the National Emergency Rental Vehicle BPA.
 - b. Off-road rental vehicles procured from alternative sources other than the agreement listed above are not compensable.
 - c. Rental vehicle authorization must be documented on the resource order. Please speak with your local DNR Region for more specific information.
 - d. In order to provide appropriate tracking for all rental vehicles, rentals ordered for overhead shall be ordered using the resource's O#. They do not require their separate resource order number.
 - e. The use of the National Emergency rental vehicle BPA is specific to off-road use. Rental vehicles used for non-fire line positions must be approved on the resource order, and shall be rented through alternative sources other than the National Emergency Rental Vehicle BPA.

DNR agrees that/to:

1. Dispatch resources on preseason IMT rosters, and alternate pool list.
2. Reimburse the CONTRACTOR within 30 days of receipt of complete & accurate invoice and required documentation.
3. Reimburse the CONTRACTOR for Temporary Personnel under contract or agreement with the CONTRACTOR, as defined above, per the Interagency Wildfire Resource Wage Rates in the Washington State Wage & Equipment Rate Guide.
4. Reimburse the CONTRACTOR for Full and Part Time Personnel (as defined above) to the resource provider at the resource provider's actual total cost. This will include backfill cost for the Full-time Personnel as outlined in the State Mobilization Plan.
 - a. DNR will reimburse CONTRACTOR of all regular scheduled hours for the personnel assigned to the incident.
 - b. The DNR will not pay for muster time, wildland premium pay, portal to portal, or other unspecified pay provisions.
 - c. Sleeping Periods, Meal Breaks, Time required for vehicle/equipment maintenance, Crew Change Time, Out of Service Time are considered non-compensable.
5. Reimburse Fire Service District/Department for approved travel expenses. The following guidelines apply:

- a. Per diem is authorized for resources while traveling to an incident for meals that they are in travel status for the entire DNR designated meal period, and will be based on where the resource stops to sleep.
 - i. Breakfast: 7AM – 8AM
 - ii. Lunch: 12PM – 1PM
 - iii. Dinner: 6PM – 7PM
 - b. Upon arrival at an incident all resources shall stay and eat in camp. Resources may not seek reimbursement for meals or lodging unless services are not provided by the incident.
 - c. Approval for per diem shall be documented on the resource order card, or through written approval including justification, from the Incident Commander.
 - d. Reimbursement for approved per-diem for incidents in Washington will be paid in accordance with Washington State Office of Financial Management (OFM) rates. Receipts are not required.
 - e. Reimbursement for approved per-diem for incidents outside Washington, will be paid using the U.S. General Service Administration (GSA) daily per diem rates, applying the following breakdown: 25% for Breakfast, 30% for Lunch, 45% for Dinner, applied to daily totals including meals & incidental rates. Receipts are not required.
 - f. Local resources who return home each night, and do not remain in camp overnight will not be entitled to per diem.
 - g. Hotels will only be reimbursed at actual expenses including daily rate and applicable taxes, not to exceed the government rates established in (GSA). All hotel reimbursements require an itemized receipt, and must be approved with a resource order or written approval from the Incident Commander. Booking fees associated with online travel agents are non-compensable.
 - h. Alternate accommodations may be utilized at the expense of the user. The cost for alternative accommodations is not reimbursable.
 - i. For travel home if sack lunches are provided, per diem claims will not be reimbursed.
 - j. Travel time to and from the incident will be paid according to the DNR pay provisions in the Washington State Wage & Equipment Rate Guide.
 - k. Travel time and cost associated with picking up and dropping off rental vehicles will be paid according to the DNR pay provision in the Washington State Wage & Equipment Rate Guide.
6. Reimburse the CONTRACTOR for all approved supply expenses approved at the incident. The following guidelines apply:
- a. All supply expenses, with the exception of rental car fuel, require a resource order from the incident in order to be reimbursable.

- b. Itemized receipts must be included for all supply purchases in order to be eligible for reimbursement.
- 7. To pay all volunteers directly, unless otherwise requested in writing by the Chief. Volunteers will be paid for hours worked at the rates in the Washington State Wage & Equipment Rate Guide.
- 8. Reimburse CONTRACTOR for Equipment Cost at the rates published in the Washington State Wage & Equipment Rate Guide.
 - a. All equipment will be paid at the wet rate.
 - b. All equipment will be paid based on the resource order.
 - c. All equipment will be paid according to the DNR provisions in the Washington State Wage & Equipment Rate Guide.



Memorandum

Date: 5/19/2026
Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-322
Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services
FROM: Mayor Angela Birney
DEPARTMENT DIRECTOR CONTACT(S):

Police	Chief Darrell Lowe	425-556-2521
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DEPARTMENT STAFF:

Police	Brian Coats	Deputy Chief
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TITLE:
Redmond Police Department Q1 2026 Activity Report

OVERVIEW STATEMENT:
This presentation provides an overview of police activity for the first quarter of 2026. It highlights core public safety metrics, including Calls for Service, Arrests, Auto Thefts, Residential Burglaries, Shoplifts, Traffic Collisions, Property and Violent Crimes, as well as deployments of the Drone as a First Responder program.

This report is informational and intended for Council review.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information **Provide Direction** **Approve**

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
N/A
- **Required:**
N/A
- **Council Request:**
Quarterly reports requested by Council.
- **Other Key Facts:**
N/A

OUTCOMES:

The first quarter of 2026 police activity report provides data-driven insights that support the Redmond Police

Department’s strategic approach to crime prevention and public safety. By evaluating current and historical trends in key metrics, including Calls for Service, Arrests, Auto Thefts, Residential Burglaries, Shoplifts, Traffic Collisions, Property Crimes, Violent Crimes, and Drone as a First Responder deployments, staff can identify emerging patterns and adjust operational strategies accordingly. This ongoing analysis informs proactive policing efforts, enhances resource allocation, and supports the department’s commitment to maintaining a safe community.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
N/A
- **Outreach Methods and Results:**
N/A
- **Feedback Summary:**
N/A

BUDGET IMPACT:

Total Cost:
N/A

Approved in current biennial budget: Yes No N/A

Budget Offer Number:
228 Criminal Justice

Budget Priority:
Safe and Resilient

Other budget impacts or additional costs: Yes No N/A

If yes, explain:
N/A

Funding source(s):
N/A

Budget/Funding Constraints:
N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
------	---------	------------------

Date: 5/19/2026

Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-322

Type: Committee Memo

N/A	Item has not been presented to Council	N/A
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Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
N/A	None proposed at this time	N/A

Time Constraints:

N/A

ANTICIPATED RESULT IF NOT APPROVED:

N/A

ATTACHMENTS:

Attachment A: RPD Police activity report presentation - Q1 2026

Attachment B: RPD Police activity report - Q1 2026

Quarterly Police Activity Update

Q1 2026 Review

Police Chief Darrell Lowe





Drone as First Responder DFR Activity



Flight Year

- Select all
- 2026
- 2025
- 2024

The Redmond Police Department implemented a Drone as First Responder (DFR) program in April 2024 to respond to 911 calls. This technology improves response times and provides real-time information to patrol units on the ground.

Travel times are determined from the time the unit goes enroute to calls for service to the time the unit arrives at the scene.

[Redmond Police Department Drone Program](#)

Date last refreshed:
04/03/2026 12:03:47

Total DFR Calls

535

First Responder Calls

397 (74.2%)

Officer Support Calls

138 (25.8%)

Officer Response Cancelled

89 (16.6%)

Arrest Assist

30 (5.6%)

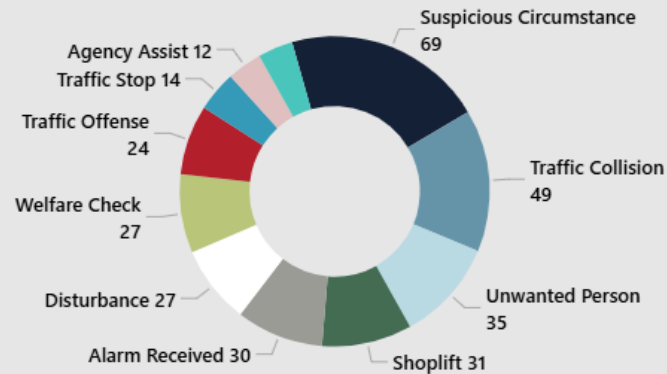
People Located

107 (20.0%)

Objects Located

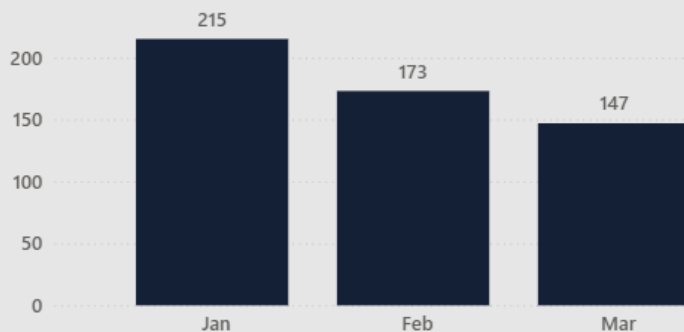
81 (15.1%)

Top 10 DFR Types of Calls for Service



DFR Calls by Month

Year ● 2026



DFR Response Times

DFR Average Travel Time

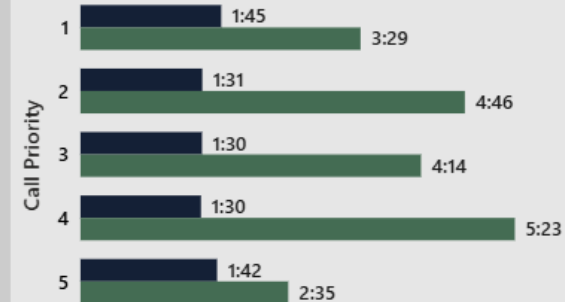
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DFR First on Scene

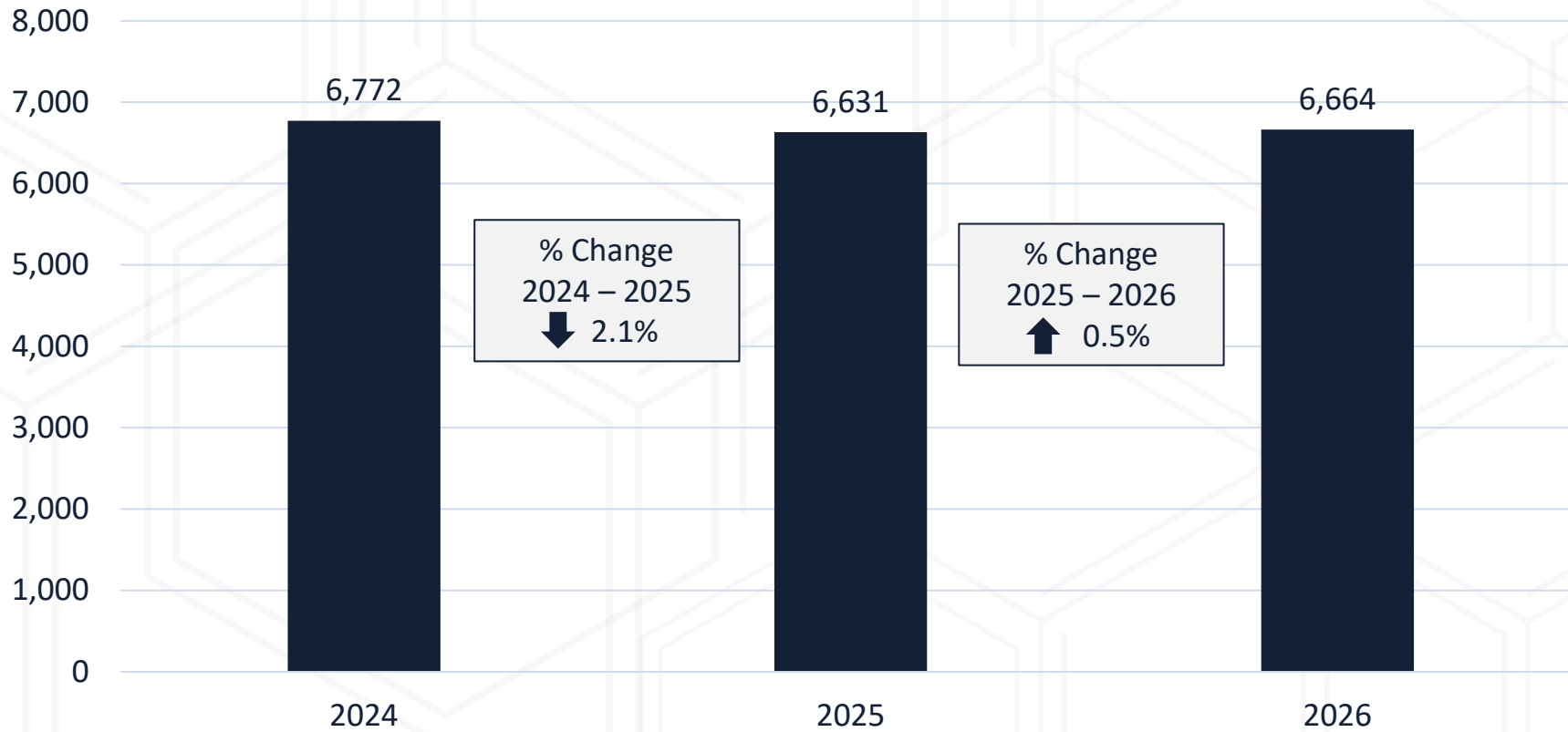
335 (84.4%)

Average Travel Times by Priority - Calls with DFR and Officers

Unit Type ● DFR ● Officer

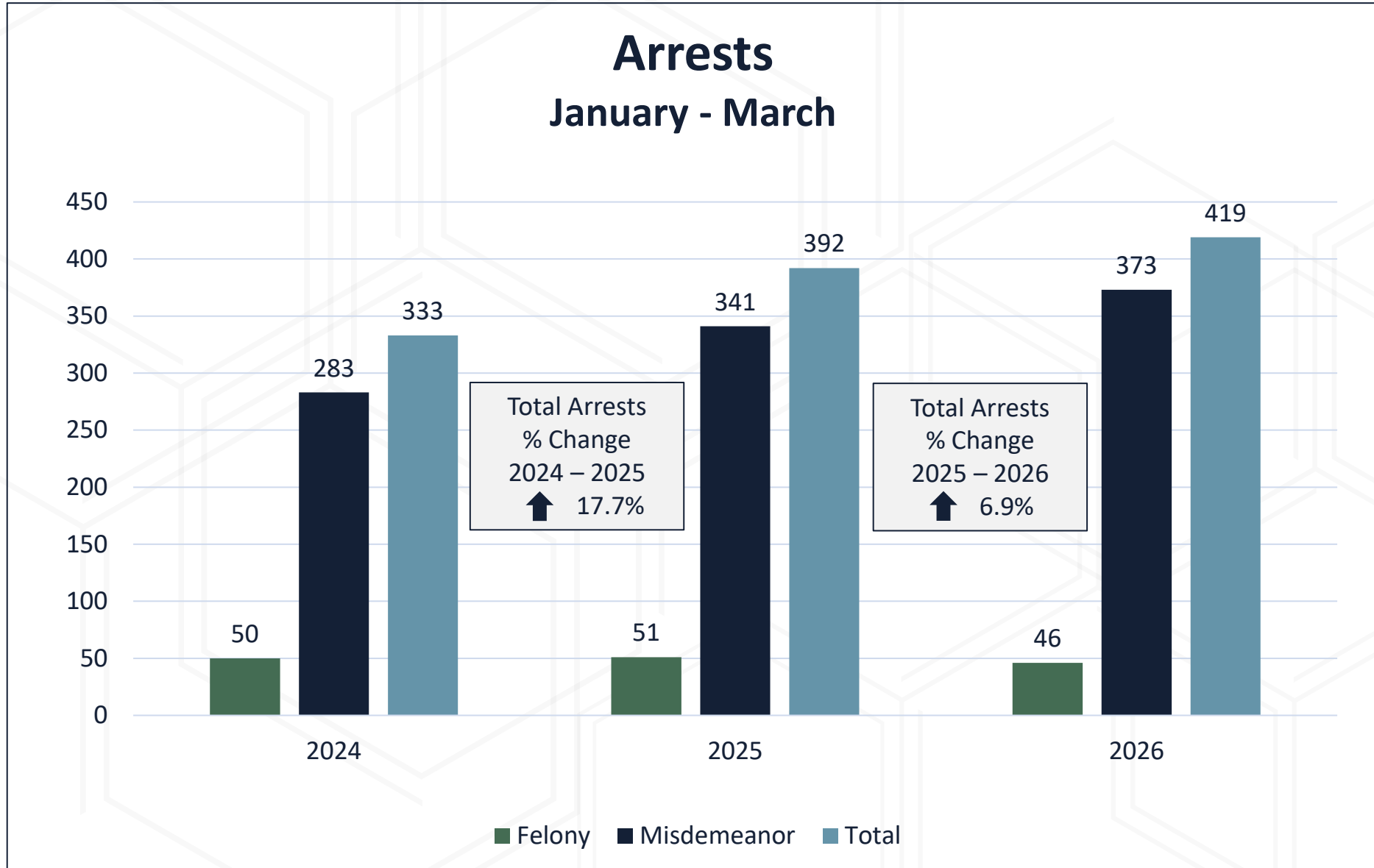


Calls for Service January - March

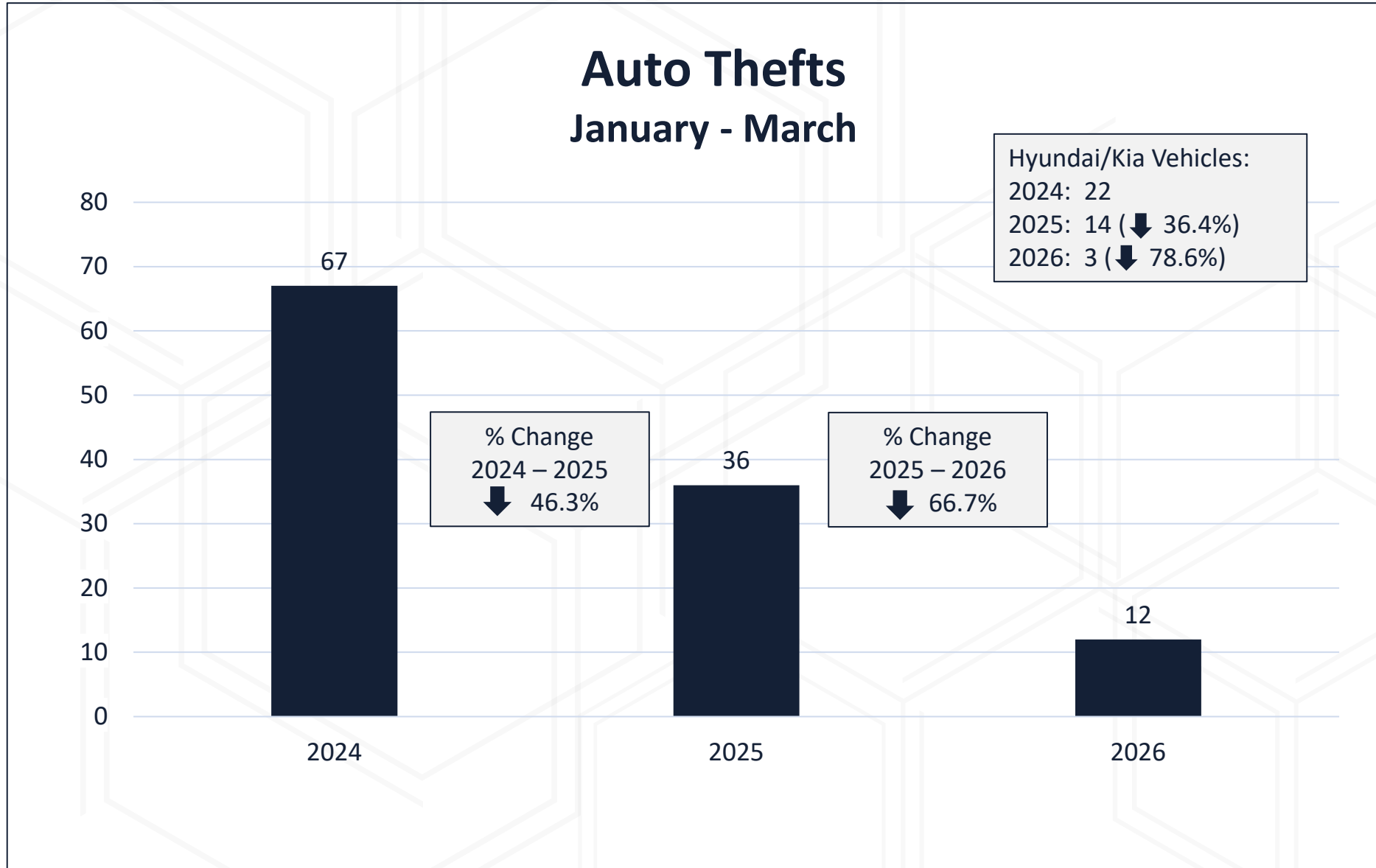


Arrests

January - March



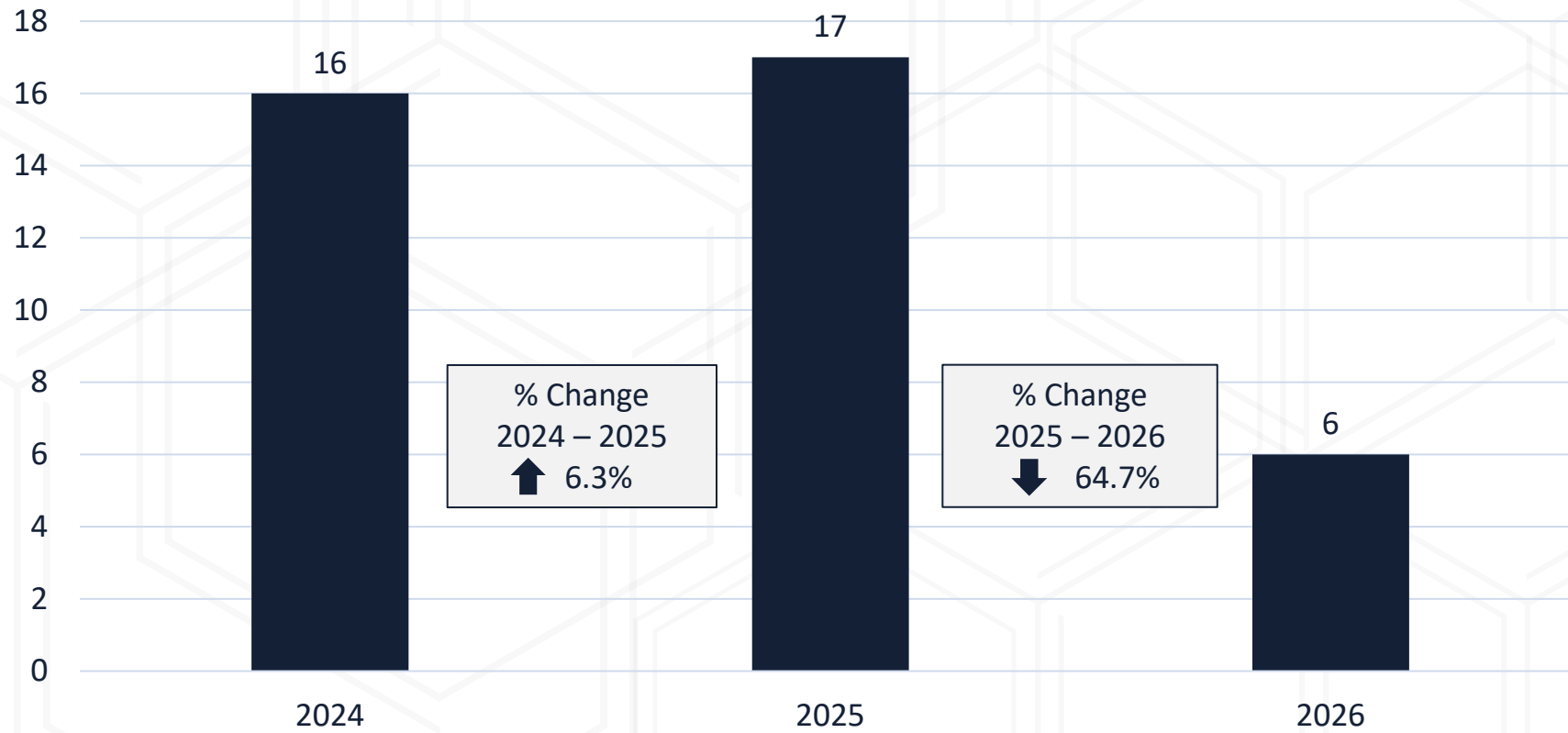
Auto Thefts January - March



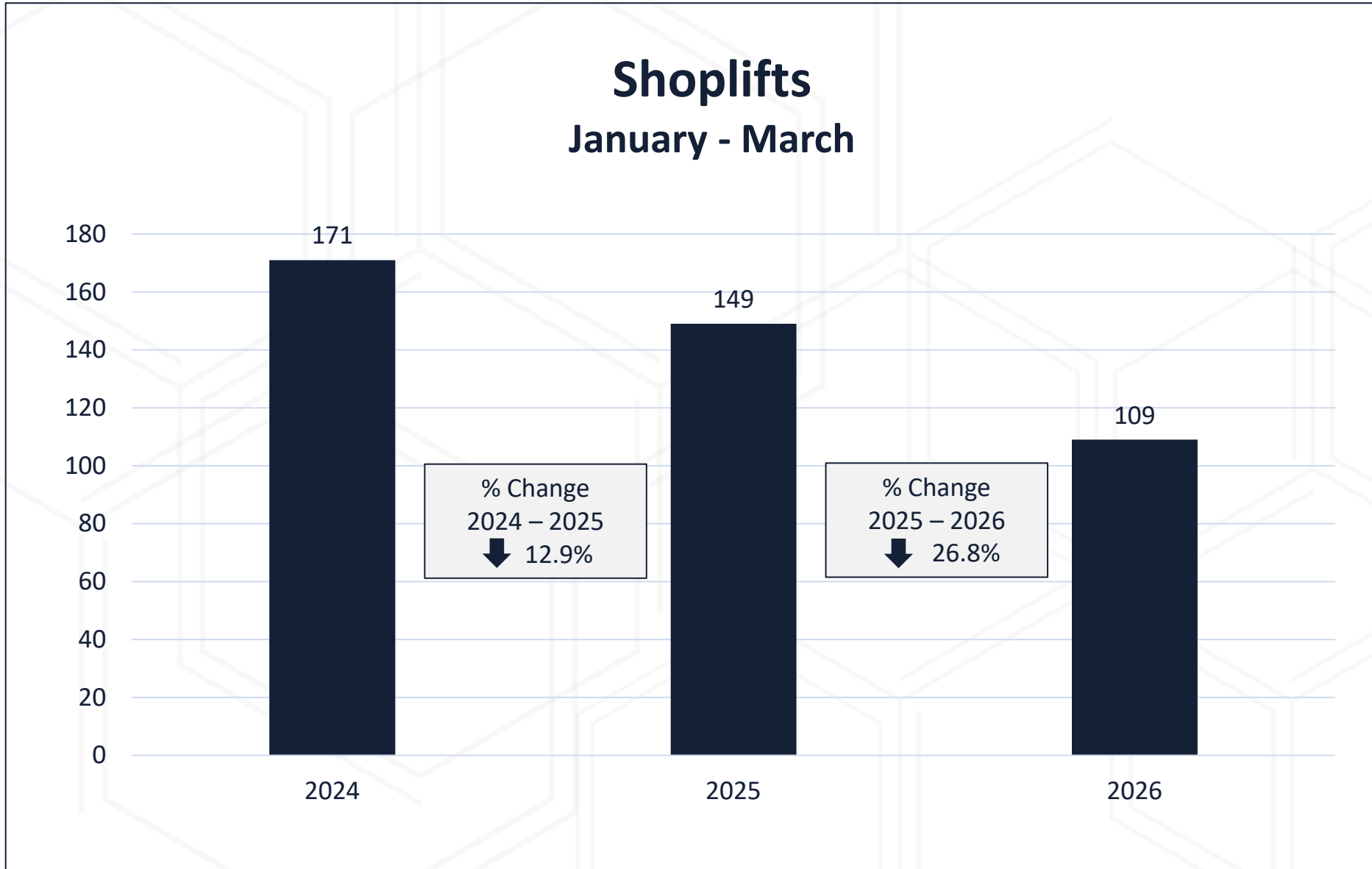
*As of 3rd quarter 2025, counts now include attempted auto thefts



Residential Burglaries January - March

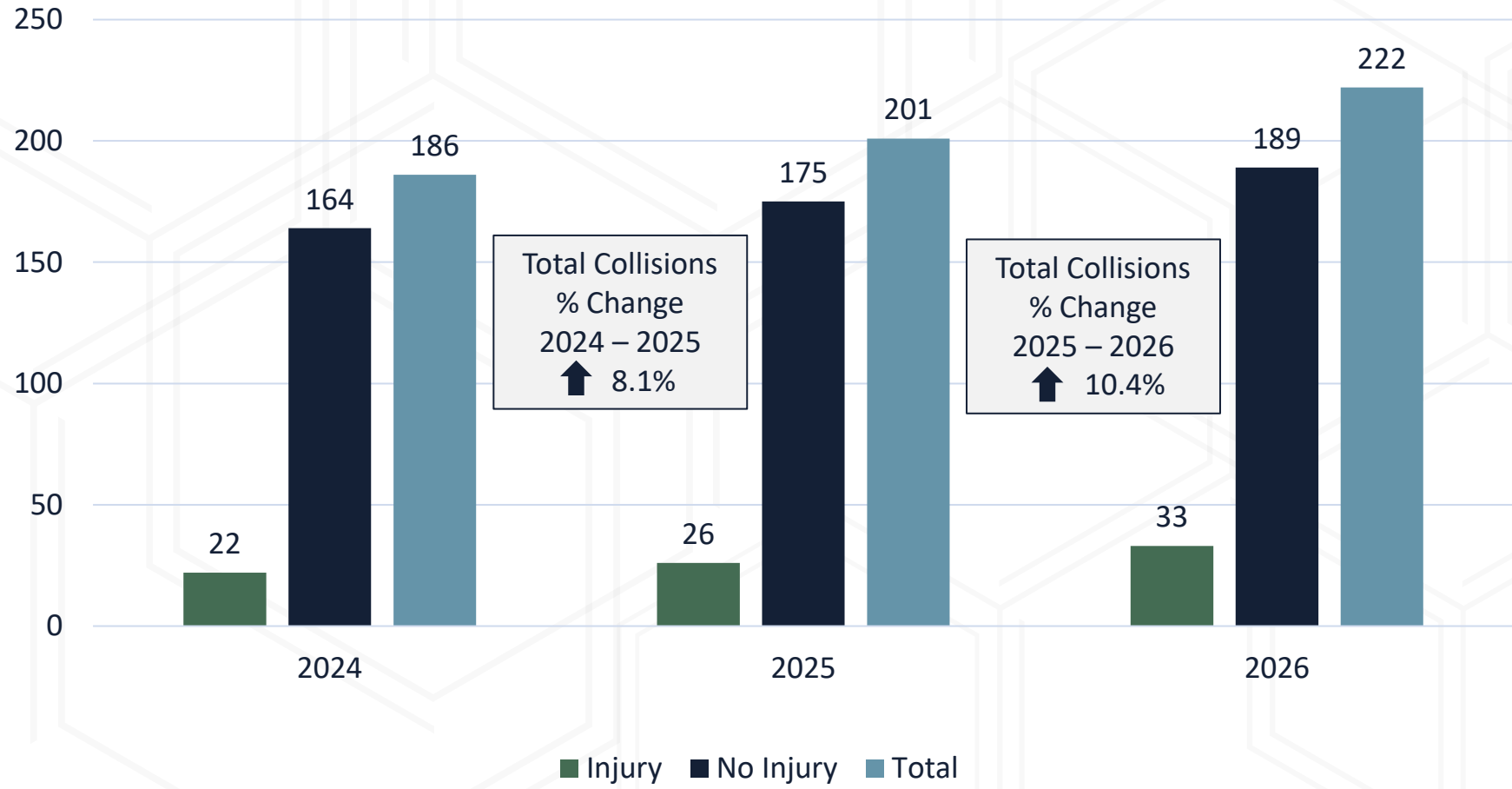


Shoplifts January - March

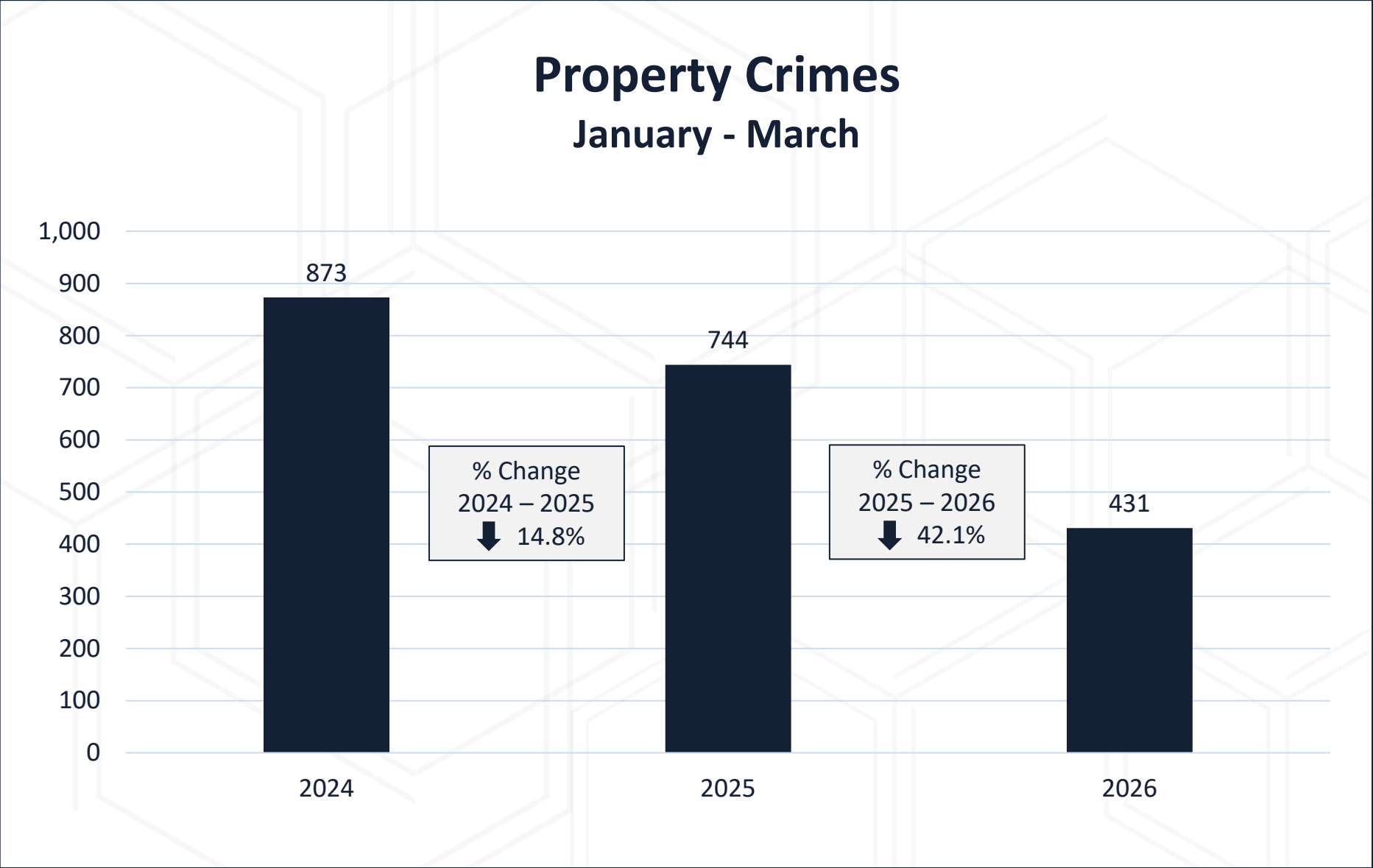


Traffic Collisions January - March

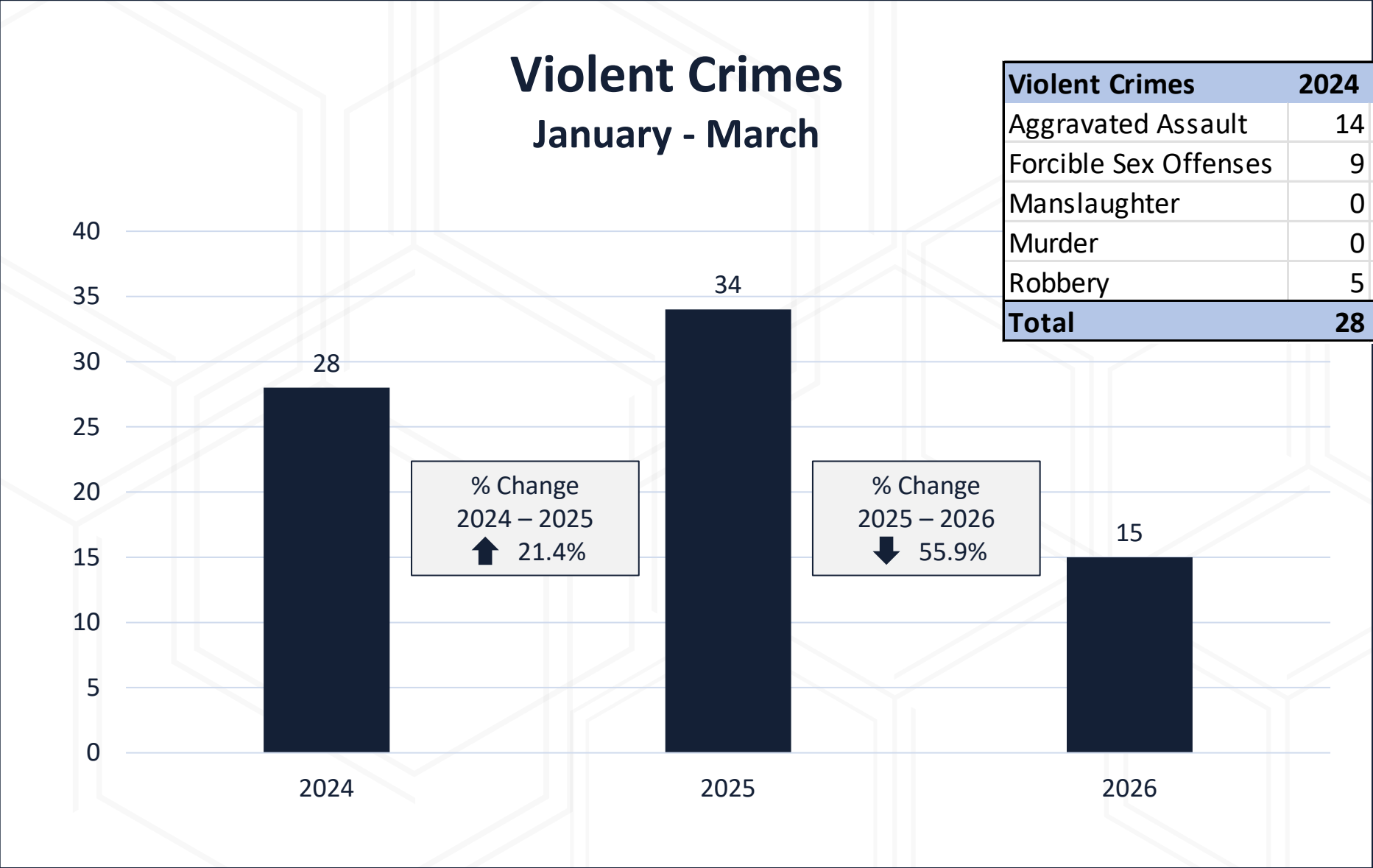
Fatal Collisions:
2024: 0
2025: 1 vehicle
2026: 1 vehicle



Property Crimes January - March



Violent Crimes January - March



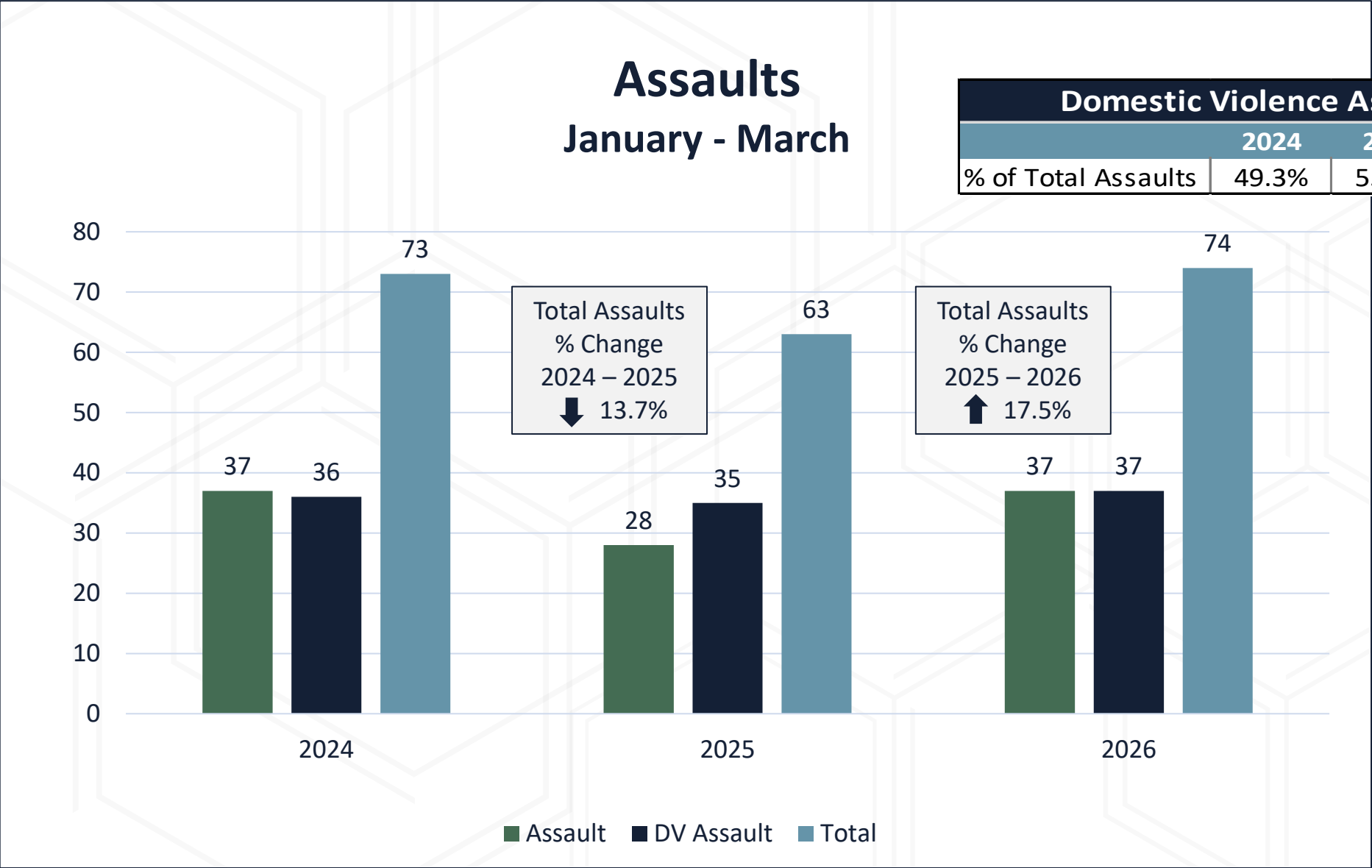
Violent Crimes	2024	2025	2026
Aggravated Assault	14	17	9
Forcible Sex Offenses	9	7	3
Manslaughter	0	0	0
Murder	0	0	0
Robbery	5	10	3
Total	28	34	15

*Violent Crimes include Murder, Nonnegligent Manslaughter, Forcible Sex Offenses, Aggravated Assault and Robbery



Assaults January - March

Domestic Violence Assaults			
	2024	2025	2026
% of Total Assaults	49.3%	55.6%	50.0%



THANK YOU

Any Questions?



Quarterly Police Activity Update

Q1 2026 Review

Police Chief Darrell Lowe





Drone as First Responder DFR Activity



Flight Year

- Select all
- 2026
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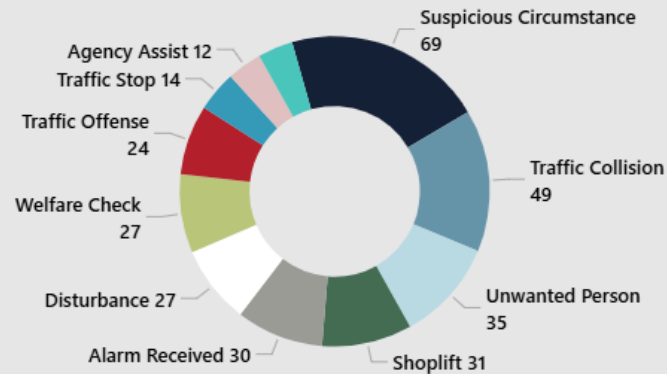
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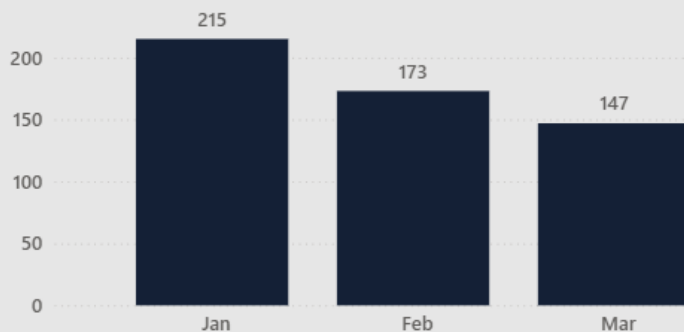
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Year ● 2026



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DFR Average Travel Time

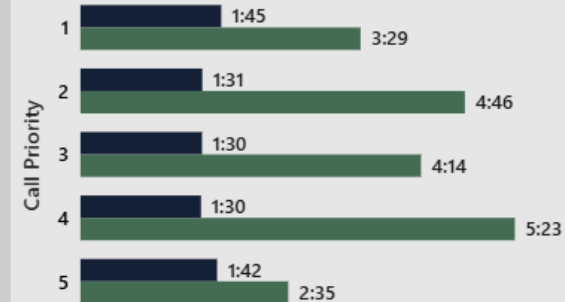
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DFR First on Scene

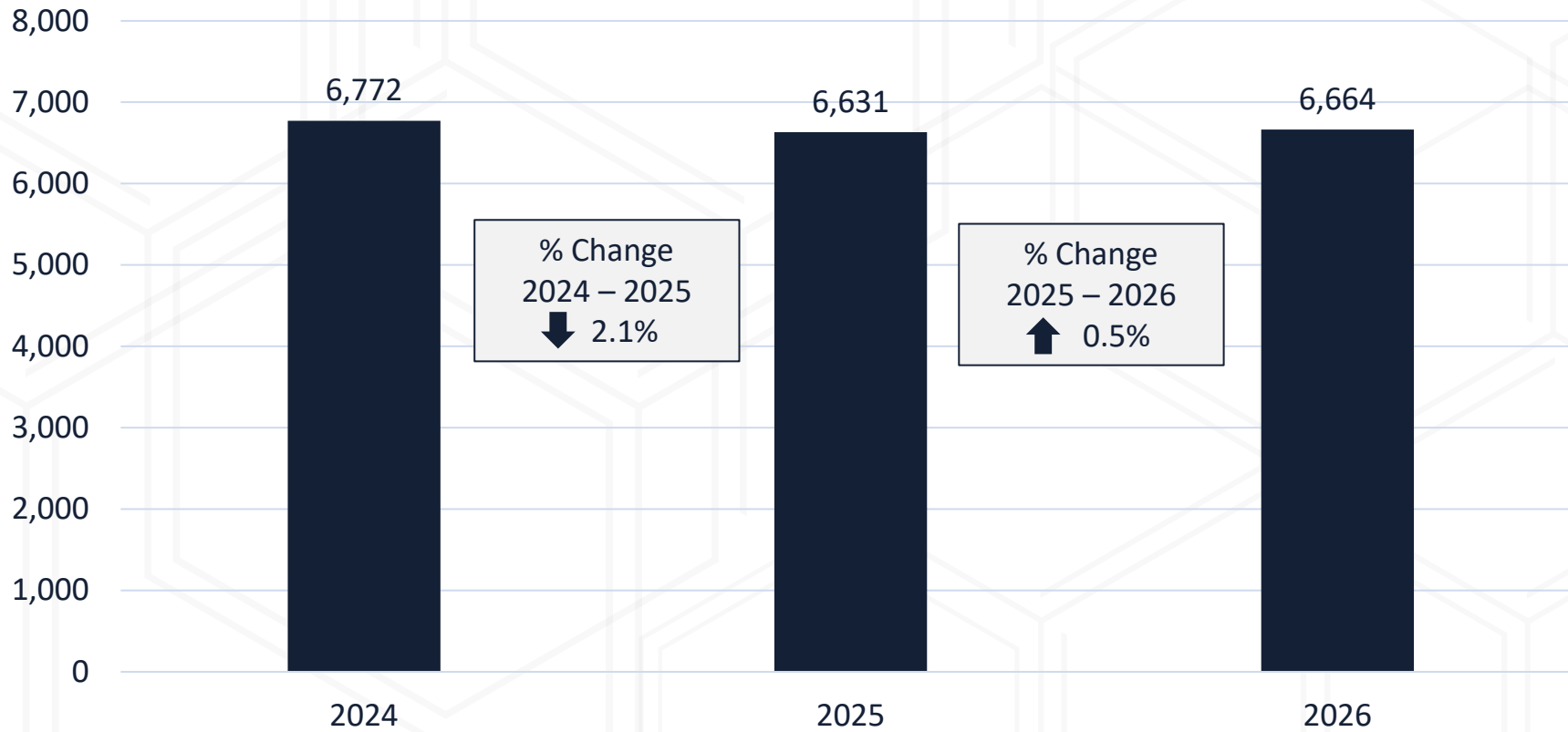
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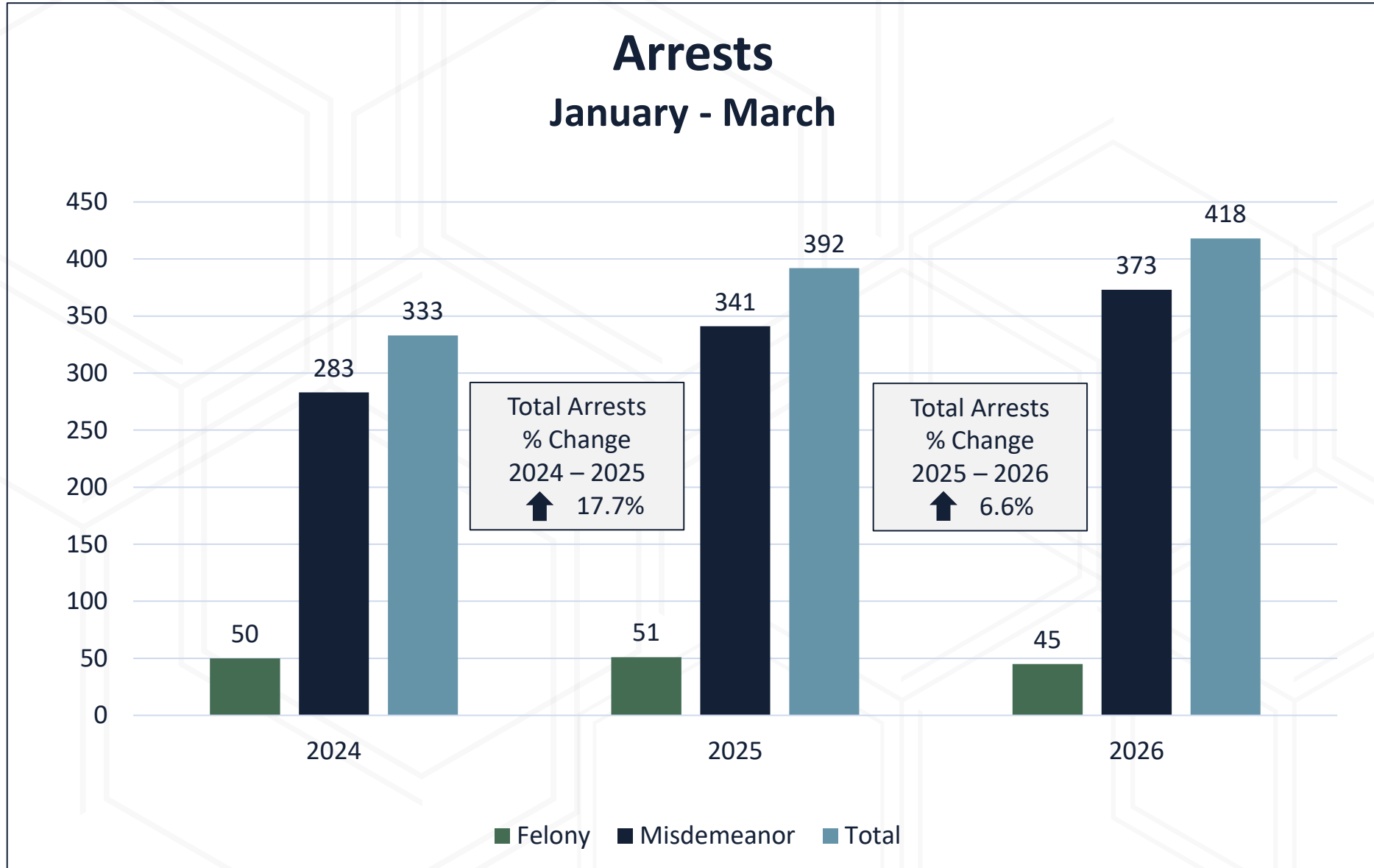


Calls for Service January - March

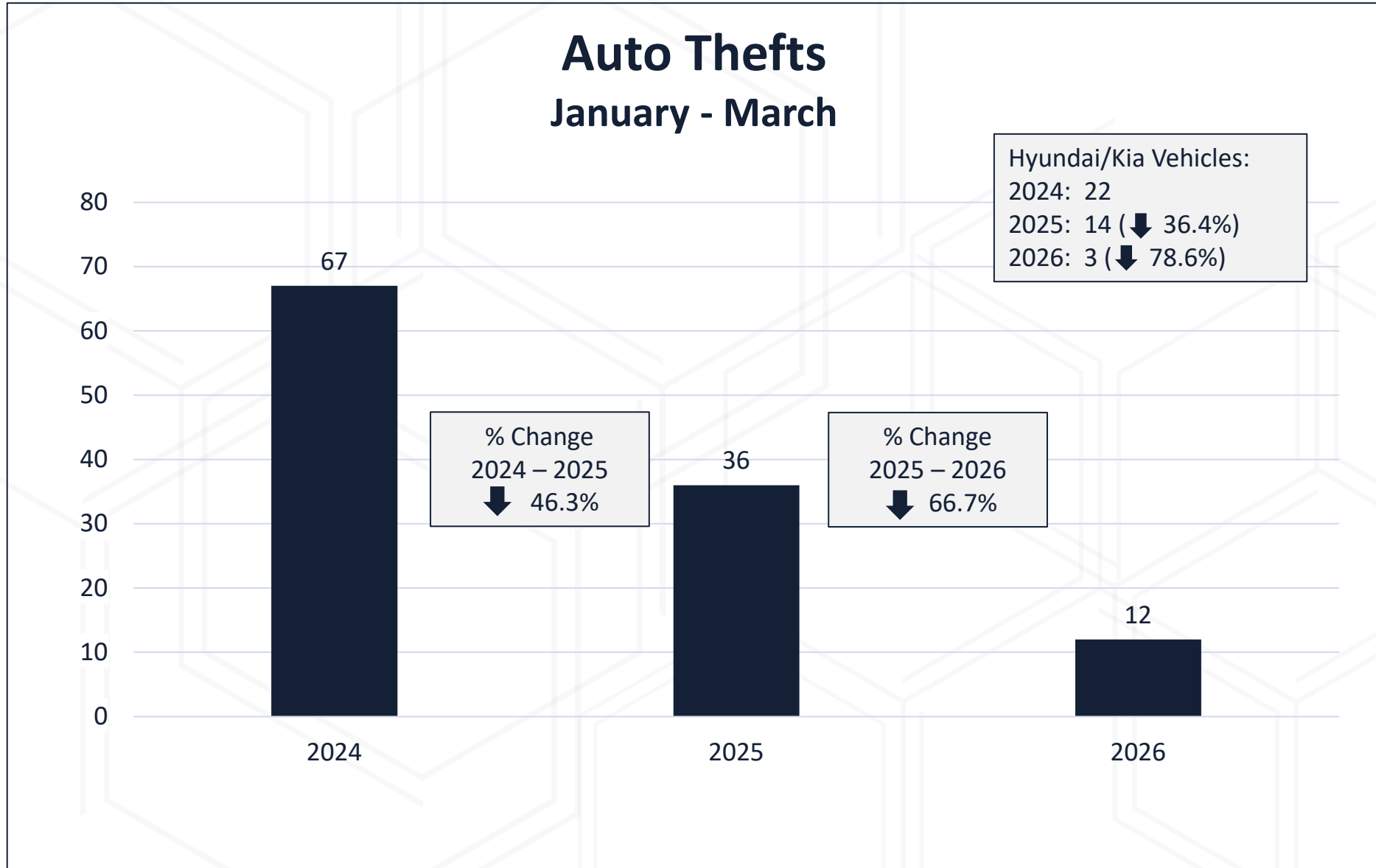


Arrests

January - March



Auto Thefts January - March

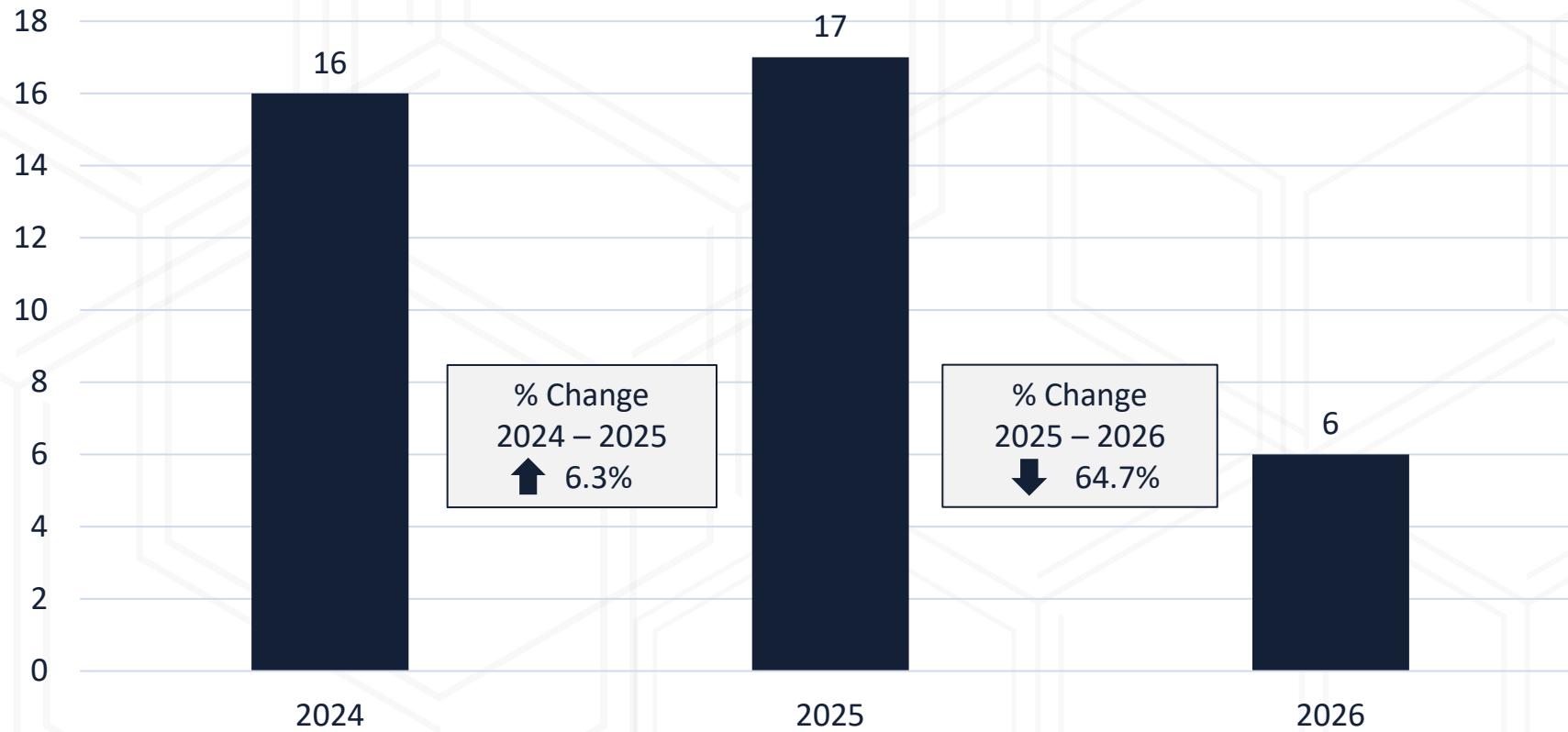


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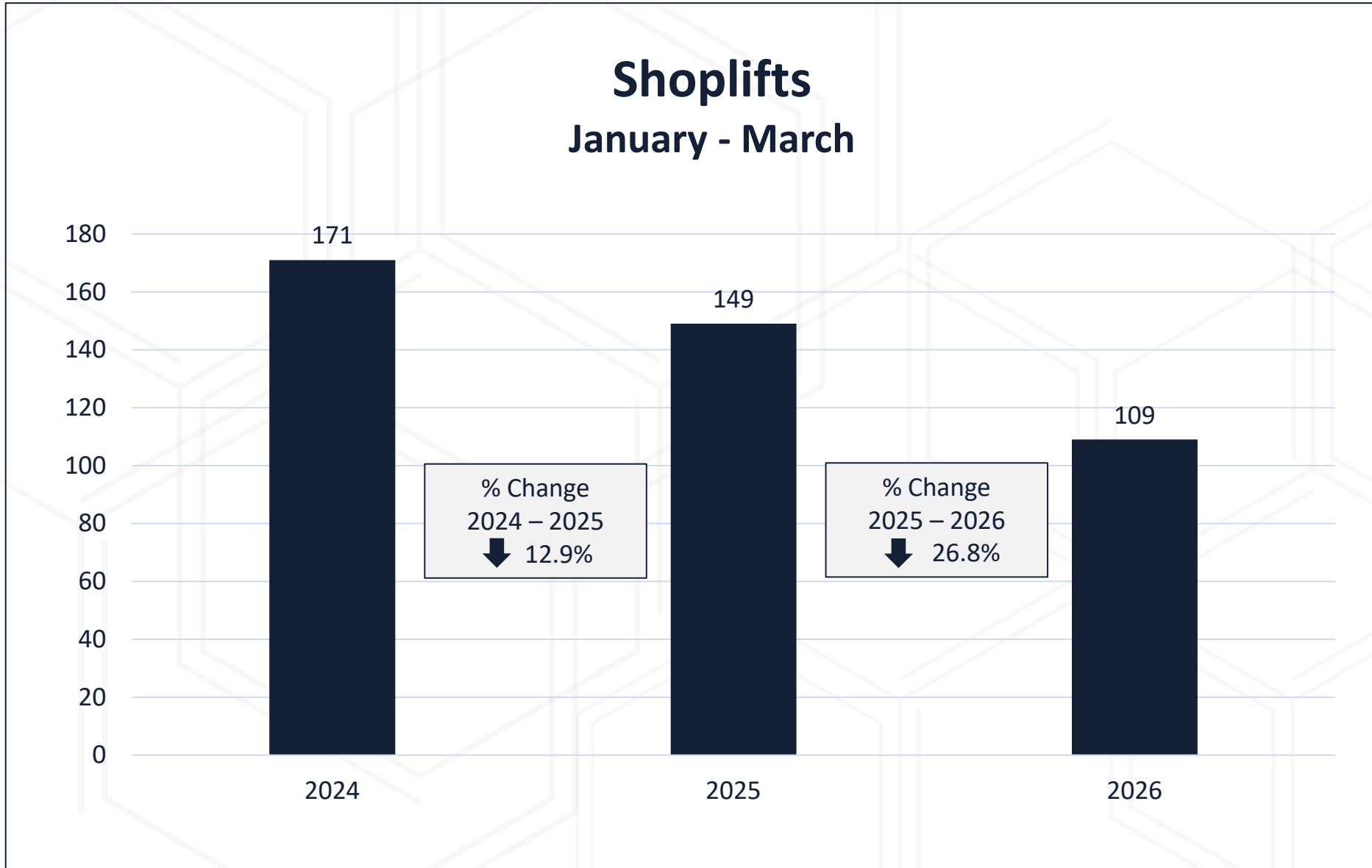


Residential Burglaries

January - March

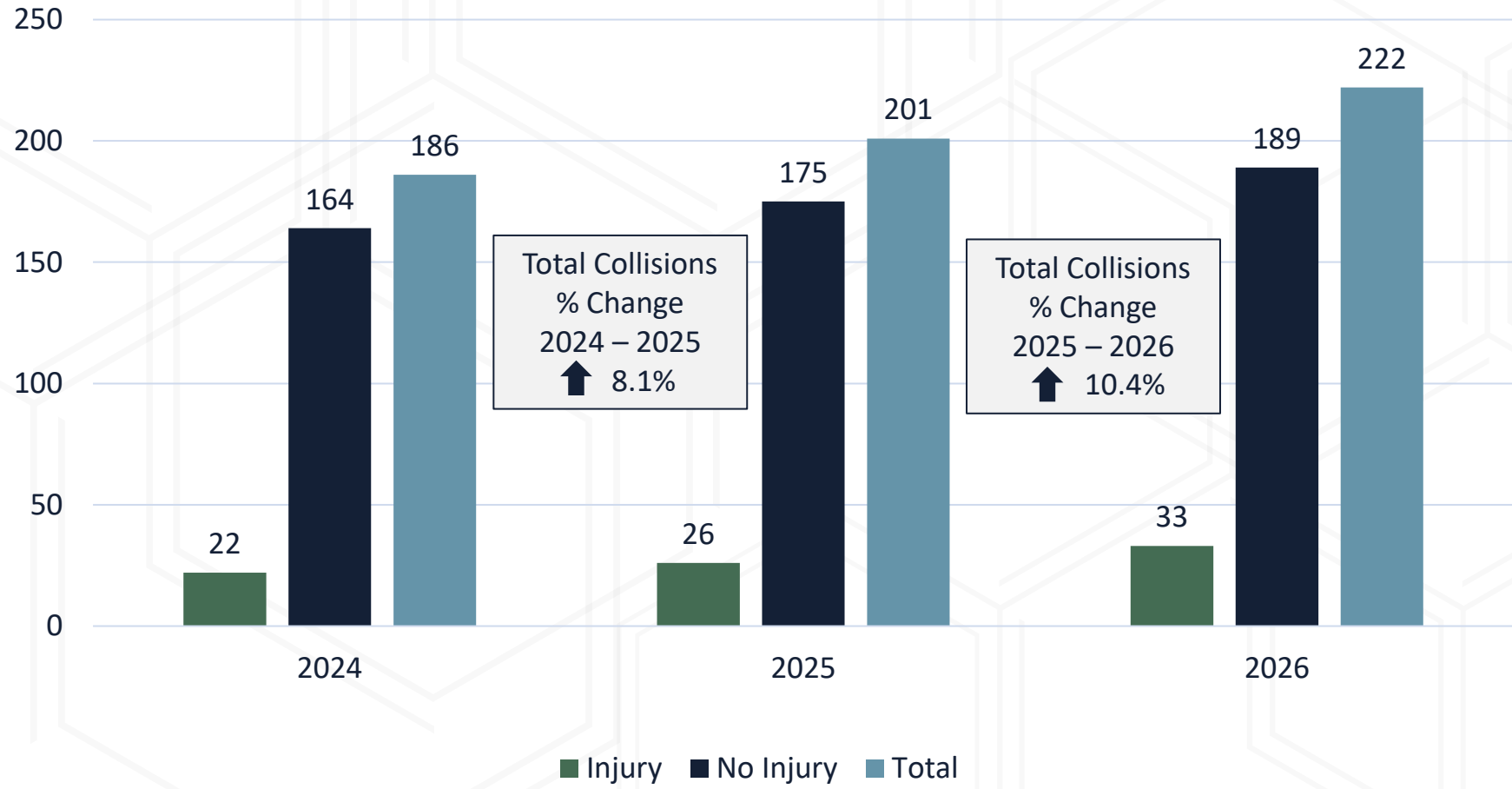


Shoplifts January - March

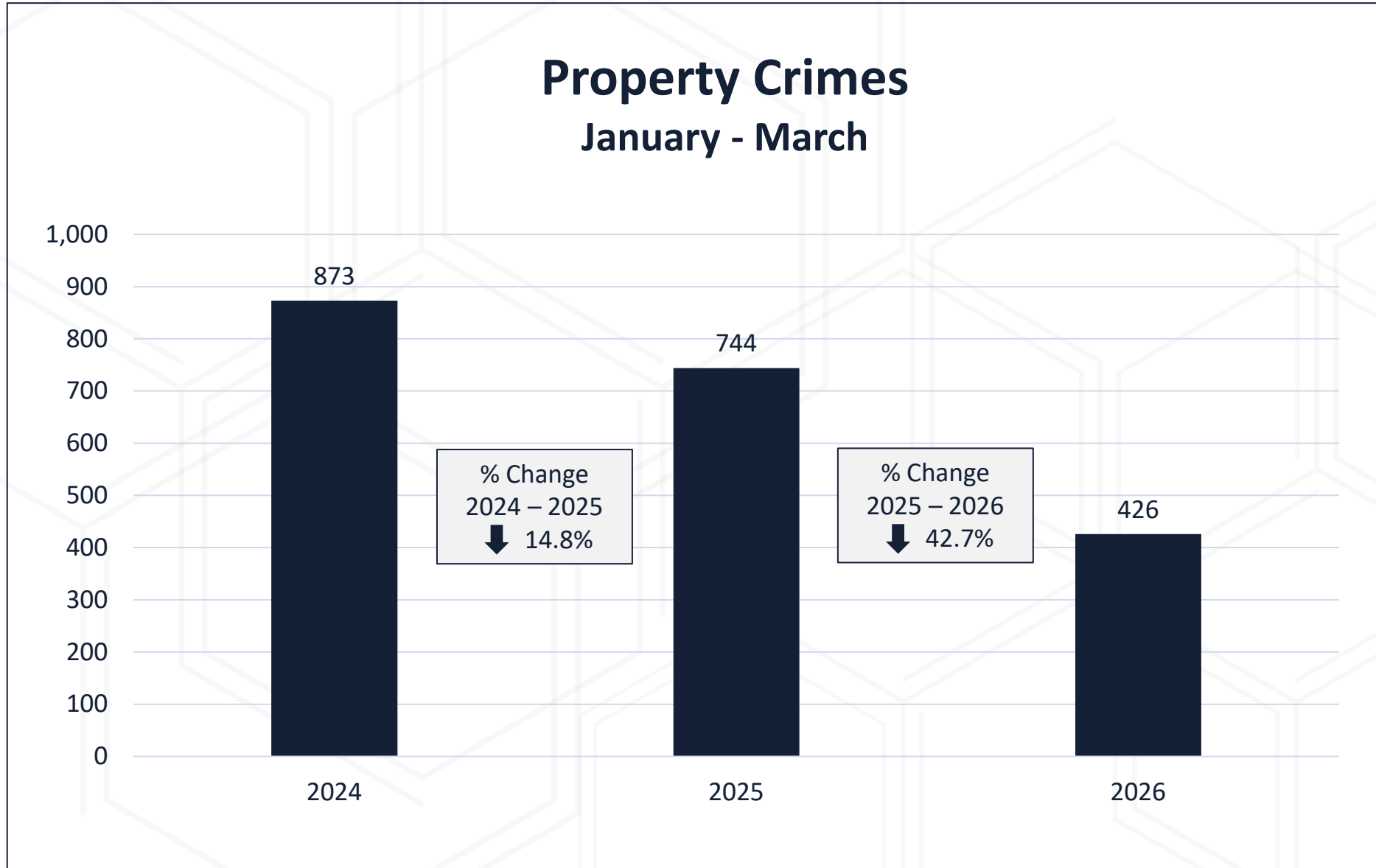


Traffic Collisions January - March

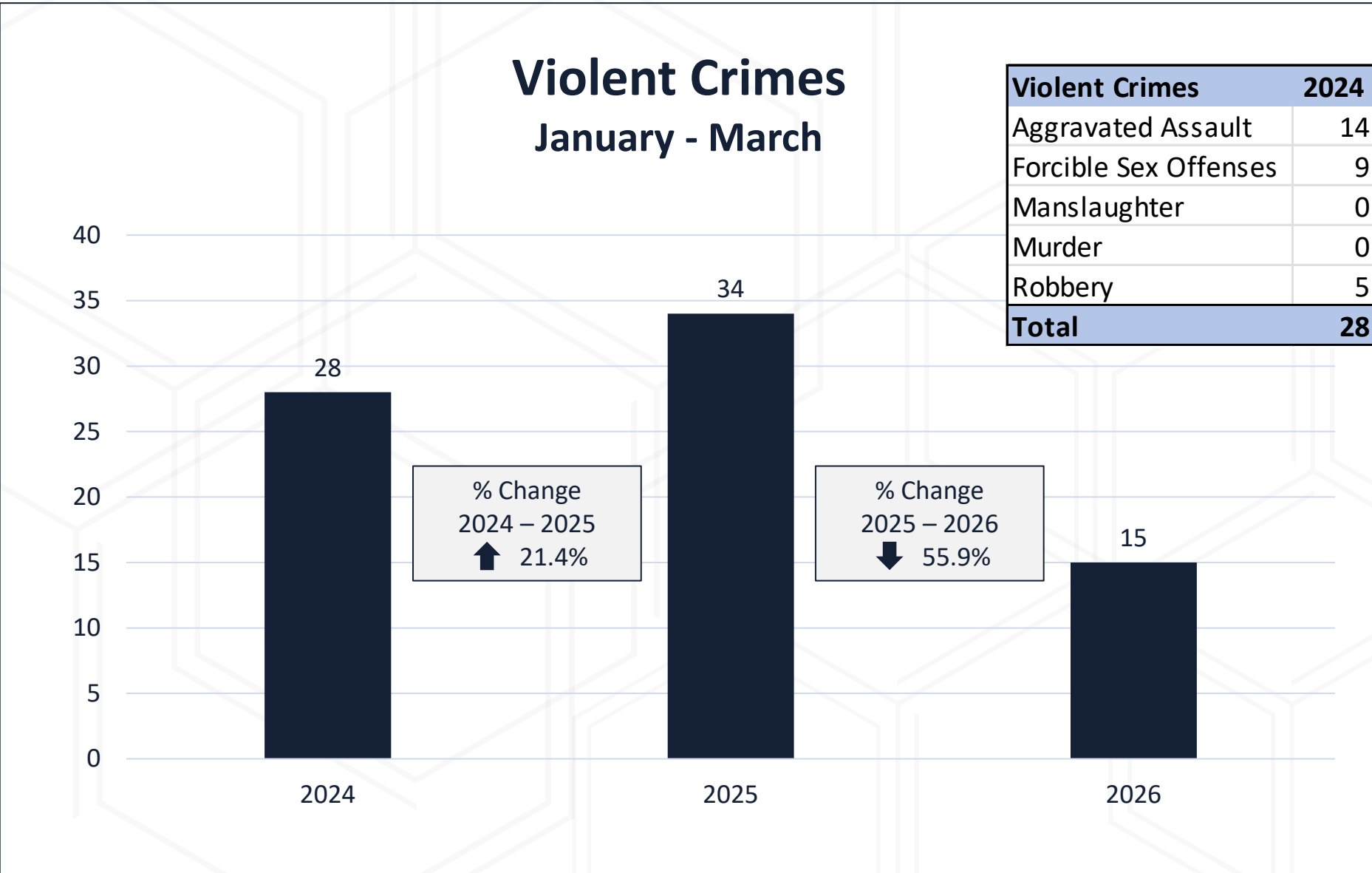
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Violent Crimes January - March



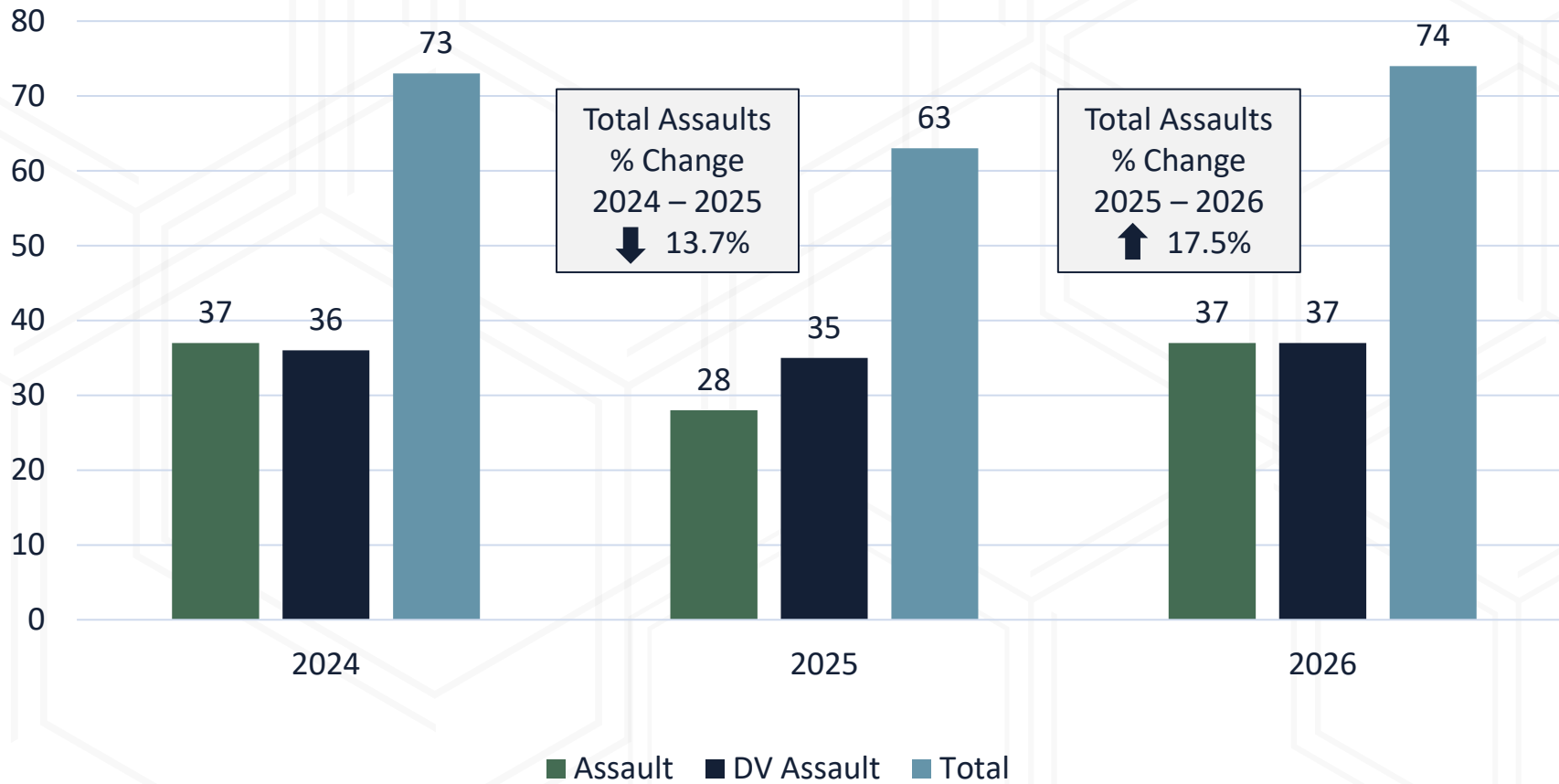
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THANK YOU

Any Questions?





Memorandum

Date: 5/19/2026

Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-317

Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services

FROM: Mayor Angela Birney

DEPARTMENT DIRECTOR CONTACT(S):

Executive	Lisa Maher, Assistant Chief Operating Officer	425-556-2427
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DEPARTMENT STAFF:

Executive	Zach Houvener	Deputy - Equity & Strategic Services
Planning and Community Development	Seraphie Allen	Deputy Director

TITLE:

Respect, Equity, Diversity, and Inclusion (REDI) Program Update

OVERVIEW STATEMENT:

Staff will provide Council with an informational REDI program update. The update will cover the hiring process and timeline for the REDI Program Administrator, REDI Rollout, and upcoming 2026 Pride events.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information **Provide Direction** **Approve**

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
Community Strategic Plan, REDI Strategic Plan, Redmond 2050
- **Required:**
N/A
- **Council Request:**
Council requested regular updates on the REDI work during previous discussions
- **Other Key Facts:**
N/A

OUTCOMES:

See Attachment A for a summary of program highlights

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
N/A
- **Outreach Methods and Results:**
N/A
- **Feedback Summary:**
N/A

BUDGET IMPACT:

Total Cost:
N/A

Approved in current biennial budget: Yes No N/A

Budget Offer Number:
00295

Budget Priority:
Strategic and Responsive

Other budget impacts or additional costs: Yes No N/A
If yes, explain:
N/A

Funding source(s):
General Fund

Budget/Funding Constraints:
N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
2/10/2026	Committee of the Whole - Finance, Administration, and Communications	Receive Information
3/10/2026	Committee of the Whole - Finance, Administration, and Communications	Receive Information

Date: 5/19/2026

Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-317

Type: Committee Memo

4/14/2026	Committee of the Whole - Finance, Administration, and Communications	Receive Information
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Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/9/2026	Committee of the Whole - Finance, Administration, and Communications	Receive Information

Time Constraints:

N/A

ANTICIPATED RESULT IF NOT APPROVED:

N/A

ATTACHMENTS:

Attachment A: REDI Program Update (May 2026)

Attachment B: REDI Program Administrator Job Announcement

Background

This document provides a high-level update of monthly implementation activities for the REDI Strategic Plan. The REDI Plan is a citywide effort to define the goals, objectives, and key results to create a culturally competent organization that celebrates individual differences. The five goals outlined in the REDI Strategic Plan include:

- Transparent and Consistent Leadership
- Respect and Belonging
- Effective Program Support
- Pro-Equity, Anti-Racism Implementation (PEAR)
- Community (Stakeholder) Engagement

Updates

Recruitment Process – REDI Program Administrator

The REDI Program Administrator position was posted on Wednesday, April 28 and will close on Sunday, May 17. Following the close, phone screens of initial candidates will be conducted May 18-20, with a staff panel interview held May 21-22 to identify candidates who will advance to the community panel.

The community panel interview is scheduled for Thursday, May 28. Building on feedback shared at FAC committee, six community-based organizations whose work directly serves Redmond residents from communities that are historically marginalized or currently vulnerable have been invited, with the goal of seating a panel of 4-5 representatives. The panel will be hybrid, with in-person attendance at City Hall preferred and a virtual option available. Panelist input will assess candidate strengths, areas of possible concern, and overall readiness to advance through the process, while final hiring authority remains with the City.

Following the community panel, finalists will present to the Directors' Team, with final interviews scheduled for early June. An offer is anticipated shortly thereafter. This timeline is dynamic and may shift to accommodate the schedules of community partners and candidates.

REDI Rollout

The City of Redmond is launching a structured, citywide rollout of its Respect, Equity, Diversity, and Inclusion (REDI) program, bringing approximately 800 city employees through an in-person, half-day training by year's end. Grounded in the City's REDI Strategic Plan and informed by an independent organizational assessment completed in 2025, this effort reflects Redmond's ongoing commitment to building an organizational culture where every employee and community member experiences belonging, access, and opportunity.

Upcoming 2026 Pride Events

- **Pride Flag Raising and Proclamation:** Monday, June 1, 9:00 - 9:30 a.m., City Hall roundabout.
- **Resiliency Together with Pride (Staff-Only Event):** Tuesday, June 2, 11:30 a.m.–1:30 p.m., Redmond Senior & Community Center. Lunch and workshop focused on preparedness and real-world safety through an LGBTQ+ perspective.
- **Rainbow Bingo:** Friday, June 5, 6:30–8:30 p.m., Redmond Senior & Community Center.
- **Pride Promenade in the Park:** Saturday, June 6, 2:00–3:30 p.m., Farrel-McWhirter Park.

Next Steps

Monthly Committee of the Whole Updates: Next month's update will include information on recruitment, staff training, and program activities.



City of Redmond

Respect, Equity, Diversity, Inclusion (REDI) Program Administrator

SALARY	\$50.09 - \$67.62 Hourly \$8,681.83 - \$11,721.10 Monthly \$104,181.98 - \$140,653.15 Annually	LOCATION	Redmond, WA
JOB TYPE	Regular, Full-time	JOB NUMBER	2600053
DEPARTMENT	Executive	DIVISION	EXECUTIVE
OPENING DATE	04/29/2026	CLOSING DATE	5/17/2026 11:59 PM Pacific

JOIN REDMOND!

The City of Redmond is a thriving, culturally diverse community and home to over 80,000 residents. Redmond is the hub of an array of commerce and industry ranging from technology, aerospace, and gaming to biomedical and innovation start-ups. In this role, you will represent the city, and our values of service, integrity, accountability, belonging and stewardship.

The REDI Program Administrator administers the City of Redmond's Respect, Equity, Diversity, and Inclusion (REDI) program in alignment with the City's REDI Strategic Plan. This position is responsible for the design, implementation, and evaluation of equity-integrated initiatives across city operations and throughout the community. Serving as a subject matter expert and operational leader, the Administrator advances and executes the City's REDI goals and objectives.

The REDI Program Administrator leads efforts to integrate equity into the daily operations of city departments, plans and facilitates inclusive community engagement, and builds strong, meaningful relationships with community stakeholders, partner organizations, and underrepresented populations. The position operates with considerable autonomy and serves as a key liaison between the City's internal REDI commitments and the communities the City serves.

This position reports to the Deputy Director of Equity & Strategic Services, within the Executive Department.

ROLE & RESPONSIBILITIES

Program Administration and Strategic Plan Implementation

- Administers the REDI program in alignment with the City's REDI Strategic Plan, including tracking progress across all goals: Transparent & Consistent Leadership, Respect & Belonging, Effective Program Support, Pro-Equity, Anti-Racism Implementation (PEAR), and Community (Stakeholder) Engagement.
- Develops, maintains, and evaluates tools and resources for staff to implement equity into everyday operations tied to the REDI Strategic Plan objectives and key results
- Monitors and reports on REDI program progress to the Mayor, City Council, and Director and Deputy Director Teams, on a regular and structured basis.
- Establishes and supports the community through engagement activities geared toward REDI goals.

- Supports implementation of the State of Washington Baseline Equity Impact Review (EIR) framework across city departments, including community identification, data collection, gap analysis, and continuous improvement cycles.
- Prepares written and oral reports, briefings, and presentations for internal leadership and public audiences, including City Council updates.
- Manages the City of Redmond's compliance with applicable civil rights statutes including Title VI of the Civil Rights Act, the ADA, and Title VII.

Equity Integration – Internal Operations

- Collaborates with department directors, deputy directors, and managers to embed REDI principles and Pro-Equity, Anti-Racism (PEAR) practices into operational policies, procedures, and service delivery.
- Develops tools, frameworks, and resources to support staff and supervisors in applying an equity lens to decision-making, budget development, capital improvement planning, and policy review.
- Supports incorporation of Equity competencies into performance management systems, onboarding processes, and employee development programs in coordination with Human Resources.
- Facilitates or co-facilitates REDI training sessions for staff at all levels; contributes to the strategic rollout of citywide REDI training aligned with the REDI Strategic Plan.
- Leads Welcoming Team priorities and agenda development, and develops and delivers resources, tools, and frameworks to advance culture-building, connection, and belonging in alignment with the REDI Strategic Plan Goals 2 and 3.
- Coordinates and tracks a prioritized inventory of policies and procedures requiring equity evaluation; coordinates review processes and tracks revisions as outlined in the REDI Strategic Plan.

Community Engagement and External Partnerships

- Designs and implements community outreach strategies to increase equitable participation from under represented and hard-to-reach populations.
- Develops, coordinates, and implements community activities, forums, listening sessions, and cultural events that promote engagement, belonging, and equity outcomes.
- Collects, synthesizes, and analyzes community demographic and feedback data to inform city policy and service decisions; maintains tracking systems for engagement and feedback from diverse populations.
- Builds and sustains partnerships with community-based organizations, equity focused nonprofits, regional jurisdictions, and other external stakeholders working on similar initiatives.
- Serves as a liaison between community members and city leadership, ensuring diverse voices are heard and reflected in program planning and policy development.
- Collaborates with the Communications division to review and manage public-facing materials, website content, and outreach for cultural competency and accessibility.

Budget Administration

- Administers financial aspects of the REDI program, including budget development, expenditures, and financial monitoring and reporting.
- Develops, negotiates, and manages contracts and agreements with external partners and vendors.
- Supports purchasing and best practices that create equitable opportunities in contracting and vendor procurement in partnership with the Finance Department.

Commissions, Committees, and Regional Forums

- Actively participates and presents information to various city commissions, and committees; integrates with the Welcoming Committee and other regional advisory bodies as needed to review and implement best practices.
- Represents the City at community meetings, intergovernmental forums, and regional equity networks.
- Supports council and mayoral outreach to key community groups and stakeholders on significant projects and programs.
- Other duties as assigned.

QUALIFICATIONS

- Four years' experience in equity, diversity, and inclusion work.
- High school diploma or equivalent; Bachelor's degree related to Public Administration, Sociology, Social Work, Public Policy, or related field.
- Any equivalent combination of education, experience and training provides the required knowledge, skills, and abilities
- Experience with organizational assessment and change management.
- Strong facilitation and training skills for diverse audiences.
- Knowledge of equity frameworks and best practices in municipal government.
- Excellent interpersonal skills and cultural competency.
- Experience with data analysis and report writing.
- Demonstrated experience managing multiple concurrent projects, including planning, timeline development, stakeholder coordination, and progress tracking in a complex organizational environment.
- Demonstrated ability to work collaboratively across organizational levels.

Preferred Qualifications

- Master's degree in a relevant field.
- Municipal government or public sector experience.
- Experience with community organizing or grassroots engagement.
- Bilingual capabilities reflecting community demographics.
- Experience with organizational development and systems change.
- Equivalent combination of education, experience, and training that provides the required knowledge, skills, and abilities.

Licenses and Certificates

- Valid WA State Driver's license required.
- Licenses and certificates specific to the assigned program may be required

Other

This class description describes the general nature of the work performed, representative duties as well as the typical qualifications needed for acceptable performance. It is not intended to be a complete list of all responsibilities, duties, and skills required of the job.

Please review the [Program Administrator](#) job description for more information about the knowledge, skills, abilities, working conditions, and physical requirements.

BENEFITS

Our employees earn competitive wages and enjoy an exceptional benefits package that includes:

- MEDICAL INSURANCE - Choice of two plans for employees and their eligible dependents: Premera or Kaiser Permanente. All employee healthcare premiums paid for by the City of Redmond.
- PRESCRIPTION DRUG INSURANCE - Included with each medical plan
- DENTAL INSURANCE - For employees and their eligible dependents
- VISION INSURANCE - For employees and their eligible dependents
- OTHER INSURANCE - Life, accidental death & dismemberment insurance, short and long-term disability, optional employee-paid voluntary life insurance
- FLEXIBLE SPENDING ACCOUNTS - For tax savings on healthcare and dependent care expenses

- PAID VACATION & HOLIDAYS – with (13) paid holidays per year
- EMPLOYEE ASSISTANCE PROGRAM (EAP)
- RETIREMENT PLANS - Department of Retirement Systems (DRS) plus additional options that include: Municipal Employees Benefit Trust (Social Security replacement plan) and MetLife 457 Plan
- Annual COLA adjustments
- Annual merit increases of up to 5%

To learn about benefits at the City of Redmond, please visit [C2MB \(ajg.com\)](http://www.redmond.gov).

Employer

City of Redmond

Address

15670 NE 85th Street
Human Resources - 3rd Floor
Redmond, Washington, 98052

Phone

425-556-2120
redjobs@redmond.gov

Website

<http://www.redmond.gov/employment>

Respect, Equity, Diversity, Inclusion (REDI) Program Administrator Supplemental Questionnaire

*QUESTION 1

Please select your highest level of education.

- High School or GED
- Associate degree
- Bachelor's degree
- Master's degree or higher

*QUESTION 2

Do you have a valid driver's license?

- Yes
- No

*QUESTION 3

Describe a time when you integrated equity into an existing program, policy, or operational process.

*QUESTION 4

Provide an example of how you have designed or led a community engagement effort, particularly with underrepresented or historically marginalized communities.

*QUESTION 5

This role requires partnering across departments and communities with different priorities and levels of readiness. Describe how you have built alignment and buy-in to advance equity or organizational initiatives across teams.

***QUESTION 6**

Describe how you have defined, tracked, and reported on program performance.

***QUESTION 7**

What do you think Redmond's unique needs may be for diversity, equity, and inclusion work? What would you prioritize working on in your first couple months to succeed in this role?

* Required Question



Memorandum

Date: 5/19/2026

Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-330

Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services

FROM: Mayor Angela Birney

DEPARTMENT DIRECTOR CONTACT(S):

Finance	Kelley Cochran	425-556-2748
Planning and Community Development	Carol Helland	425-556-2107

DEPARTMENT STAFF:

Finance	Haritha Narra	Deputy Finance Director
Planning and Community Development	Seraphie Allen	Deputy Planning and Community Development Director

TITLE:

Community Stability Funding Update

OVERVIEW STATEMENT:

Council requested additional information regarding the \$1,400,000 in community stability funding included in the 2025-2026 budget. During the committee meeting, staff will provide an overview of the funding, expenditures to date, remaining balance, and planned next steps for the use of these resources.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

Receive Information

Provide Direction

Approve

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
N/A
- **Required:**
N/A
- **Council Request:**
During the May 12, 2026, Study Session, Council requested an update regarding the Community Stability funding.
- **Other Key Facts:**
N/A

OUTCOMES:

Providing this information supports transparency and accountability in the use of city resources and helps inform Council's understanding of current and planned efforts to support community stability needs.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
N/A
- **Outreach Methods and Results:**
N/A
- **Feedback Summary:**
N/A

BUDGET IMPACT:

Total Cost:

\$1,400,000 included in 2025-2026 biennial budget

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

307

Budget Priority:

Vibrant & Connected

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

General Fund

Budget/Funding Constraints:

N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
5/12/2026	Study Session	Receive Information

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
N/A	None proposed at this time	N/A

Time Constraints:

N/A

ANTICIPATED RESULT IF NOT APPROVED:

N/A

ATTACHMENTS:

N/A



Memorandum

Date: 5/19/2026
Meeting of: Committee of the Whole - Public Safety and Human Services

File No. CM 26-331
Type: Committee Memo

TO: Committee of the Whole - Public Safety and Human Services
FROM: Mayor Angela Birney
DEPARTMENT DIRECTOR CONTACT(S):

Planning and Community Development	Carol Helland	425-556-2107
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DEPARTMENT STAFF:

Planning and Community Development	Seraphie Allen	Deputy Director
Planning and Community Development	Jeff Churchill	Long Range Planning Manager
Planning and Community Development	Lauren Alpert	Senior Planner

TITLE:
2025 Legislative Conformance, Business Improvement, and Fences Zoning Code Amendments

OVERVIEW STATEMENT:

Following Council’s April 28, 2026, study session at which the Council asked staff to put this package of RZC amendments on the June 2, 2026, consent agenda, staff is returning to Committee of the Whole to describe a recommended wording change for administrative lot splits. The recommended change is shown below.

RZC 21.74.030.D.2.h

Original language:

If the split would create a lot size that would allow further land division, the split is not eligible under this section but could be pursued through another applicable land-division processes under RZC 21.74.

Revised language:

If a lot split results in a newly created lot or lots with a lot size that would allow for further land division, any lot with sufficient lot size is not eligible to be divided through a lot split under this section but may be eligible for further division through another applicable land-division process under RZC 21.74.

This change arises from revised Department of Commerce Guidance published earlier this month and contemporaneous discussion with builders The effect of this change is to make clear that lots created through lot splitting may be eligible for further subdivision, but not through the lot splitting process. This reading is consistent with both Commerce and industry interpretation of RCW 58.17.145. See Attachment B, Exhibit 13, page 5 to view this in context.

On June 2, staff recommend that the City Council adopt an ordinance amending the Redmond Zoning Code related to 2025 Legislative Conformance, Business Improvement, and Fences.

2025 Legislative Conformance

In 2025 the state legislature enacted several new laws affecting local development regulations. This amendment package will result in updates to the Redmond Zoning Code to address new state laws. It will also address several clean-ups

related to Redmond 2050. Topics include subdivision regulations, zoning for childcare centers, parking, permitting timelines, building conversions, and miscellaneous corrections.

Business Code Improvements

The City's Economic Development team monitors business interaction with our development regulations. Annually, staff prepared a package of code amendments proposed to improve business use of these regulations. This package includes:

- Ensuring commercial floor area is provided in mixed-use developments by removing opportunity for deviation from adopted code requirements;
- Requiring placement of "Businesses Open" where pedestrian access to businesses are impacted by sidewalk closures;
- Simplifying and clarifying opportunities for Food Truck and Pop-Up Retail Courts and for Publicly Accessible Enhanced Amenity Spaces (PEAS); and
- Improving definitions of allowed business uses.

Fences and Retaining Walls

The fence updates are intended to synchronize and add clarity to fence requirements, and to evaluate the purpose and intent of regulating fence and retaining wall location, dimensions, permit requirements, and design.

Additional Background Information/Description of Proposal Attached

REQUESTED ACTION:

- Receive Information** **Provide Direction** **Approve**

REQUEST RATIONALE:

- **Relevant Plans/Policies:**
The following Redmond 2050 policies: EV-4, EV-19, EV-21, EV-22, EV-23 TR-11, TR-16, FW-LU-2, LU-2, LU-5, and LU-7.
The Economic Development Strategic Plan relevant actions include Action 6B.3, Strategy 1B, action 1B.1, and The Tourism Strategic Plan’s Goal 1, Initiative 20.
- **Required:**
Items in this code package were required by several 2025 Legislative session bills: SB 5559, HB 1096, SB 5509, SB 5611, SB 5814, HB 1183, and HB 1757.
- **Council Request:**
N/A
- **Other Key Facts:**
N/A

OUTCOMES:

This code updates local development regulations to address changes from the 2025 state legislative session, clarifies fence and retaining wall regulations, and improves business use of regulations.

COMMUNITY/STAKEHOLDER OUTREACH AND INVOLVEMENT:

- **Timeline (previous or planned):**
Community feedback was completed from November 10, 2025 - January 10, 2026
- **Outreach Methods and Results:**
Online questionnaire, hybrid office hours with staff, and Planning Commission public hearing.
- **Feedback Summary:**
A feedback summary is attached

BUDGET IMPACT:

Total Cost:

\$5,350,743 is the total cost of the Community and Economic Development budget offer, which includes the staff time for this work.

Approved in current biennial budget: Yes No N/A

Budget Offer Number:

0000304

Budget Priority:

Vibrant and Connected

Other budget impacts or additional costs: Yes No N/A

If yes, explain:

N/A

Funding source(s):

General Fund

Budget/Funding Constraints:

N/A

Additional budget details attached

COUNCIL REVIEW:

Previous Contact(s)

Date	Meeting	Requested Action
4/7/2026	Committee of the Whole - Planning and Public Works	Provide Direction
4/28/2026	Study Session	Provide Direction

Proposed Upcoming Contact(s)

Date	Meeting	Requested Action
6/2/2026	Business Meeting	Approve

Time Constraints:

2025 state legislation has varying timelines for implementation, the first of which is June 30, 2026.

ANTICIPATED RESULT IF NOT APPROVED:

If not adopted, the benefits of the recommended amendments will not be realized. In addition, local regulations that are inconsistent with state law may be pre-empted.

ATTACHMENTS:

Attachment A: Draft Ordinance

Attachment B: Exhibits 1-15

Attachment C: Planning Commission Report with Appendices

Attachment D: Community Feedback Summary

Attachment E: Issue Matrix

CODE

**CITY OF REDMOND
ORDINANCE NO. _____**

AN ORDINANCE OF THE CITY OF REDMOND, WASHINGTON, AMENDING TITLE 21 OF THE REDMOND MUNICIPAL CODE, KNOWN AS THE REDMOND ZONING CODE, ADDRESSING 2025 STATE LEGISLATION, CONDUCTING MISCELLANEOUS CLEAN-UP, IMPROVING BUSINESS USE OF REGULATIONS, CLARIFYING FENCE AND RETAINING WALL REGULATIONS, PROVIDING FOR SEVERABILITY, AND ESTABLISHING AN EFFECTIVE DATE

WHEREAS, the Growth Management Act (GMA) requires that comprehensive plans and development regulations be subject to continuing evaluation and review; and

WHEREAS, the GMA requires that development regulations be consistent with comprehensive plan policies; and

WHEREAS, development regulations must be consistent with state law; and

WHEREAS, these amendments address state legislation passed in 2025; and

WHEREAS, these amendments advance comprehensive plan policies for economic vitality, community design, and plan implementation; and

WHEREAS, these amendments address known errors and ambiguities in the code; and

WHEREAS, state agencies were sent 60-day notices of proposed RZC amendments on February 4, 2026; and

WHEREAS, from February 11, 2026, to March 11, 2026, the Planning Commission conducted study sessions and held public hearings for amendments to the RZC and subsequently transmitted recommendations to the City Council for consideration; and

WHEREAS, from April 7, 2026, to May 19, 2026, the City Council held meetings to study the Planning Commission's recommendations; and

WHEREAS, having considered the Planning Commission's recommendations and community input, the City Council desires to amend the Redmond Zoning Code.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF REDMOND, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. Classification. This is a code ordinance.

Section 2. Findings and Conclusions. The City Council hereby adopts the findings and conclusions contained in the associated Planning Commission Report, including all related attachments and exhibits to those reports, City file nos. LAND-2026-00015 and SEPA 2026-00016.

Section 3. RZC 21.04 Land Uses and General Provisions.
RZC 21.04 Land Uses and General Provisions is amended as shown in

Exhibit 1, attached hereto and incorporated herein by this reference as if set forth in full.

Section 4. RZC 21.08 Neighborhood and Mixed-Use Regulations. RZC 21.08 Neighborhood and Mixed-Use Regulations is amended as shown in Exhibit 2, attached hereto and incorporated herein by this reference as if set forth in full.

Section 5. RZC 21.10 Downtown Regulations. RZC 21.10 Downtown Regulations is amended as shown in Exhibit 3, attached hereto and incorporated herein by this reference as if set forth in full.

Section 6. RZC 21.12 Overlake Regulations. RZC 21.12 Overlake Regulations is amended as shown in Exhibit 4, attached hereto and incorporated herein by this reference as if set forth in full.

Section 7. RZC 21.13 Marymoor Village Regulations. RZC 21.13 Marymoor Village Regulations is amended as shown in Exhibit 5, attached hereto and incorporated herein by this reference as if set forth in full.

Section 8. RZC 21.20 Affordable Housing. RZC 21.20 Affordable is amended as shown in Exhibit 6, attached hereto and incorporated herein by this reference as if set forth in full.

Section 9. RZC 21.24 Fences. RZC 21.24 Fences is amended as shown in Exhibit 7, attached hereto and incorporated herein by this reference as if set forth in full.

Section 10. RZC 21.25. RZC 21.25 Retaining Walls is established as shown in Exhibit 8, attached hereto and incorporated herein by this reference as if set forth in full.

Section 11. RZC 21.36 Open Space. RZC 21.36 Open Space is amended as shown in Exhibit 9, attached hereto and incorporated herein by this reference as if set forth in full.

Section 12. RZC 21.40 Parking Standards. RZC 21.40 Parking Standards is amended as shown in Exhibit 10, attached hereto and incorporated herein by this reference as if set forth in full.

Section 13. RZC 21.48 Transfer of Development Rights Program. RZC 21.48 Transfer of Development Rights Program is amended as shown in Exhibit 11, attached hereto and incorporated herein by this reference as if set forth in full.

Section 14. RZC 21.55 Development Incentive Program. RZC 21.55 Development Incentive Program is amended as shown in Exhibit 12, attached hereto and incorporated herein by this reference as if set forth in full.

Section 15. RZC 21.74 Land Division. RZC 21.74 Land Division is amended as shown in Exhibit 13, attached hereto and incorporated herein by this reference as if set forth in full.

Section 16. RZC 21.76 Review Procedures. RZC 21.76 Review Procedures is amended as shown in Exhibit 14, attached hereto and incorporated herein by this reference as if set forth in full.

Section 17. 21.78 Definitions. RZC 21.78 Definitions is amended as shown in Exhibit 15, attached hereto and incorporated herein by this reference as if set forth in full.

Section 18. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 19. Effective date. This ordinance shall become effective five days after its publication, or publication of a summary thereof, in the city's official newspaper, or as otherwise provided by law.

ADOPTED by the Redmond City Council this _____ day of _____, 2026.

CITY OF REDMOND

ANGELA BIRNEY, MAYOR

ATTEST:

CHERYL XANTHOS, MMC, CITY CLERK

(SEAL)

APPROVED AS TO FORM:

REBECCA MUELLER, CITY ATTORNEY

FILED WITH THE CITY CLERK:
PASSED BY THE CITY COUNCIL:
SIGNED BY THE MAYOR:
PUBLISHED:
EFFECTIVE DATE:
ORDINANCE NO.

Exhibit 1: Chapter 21.04**LAND USES AND GENERAL PROVISIONS****Sections:**

21.04.0010	Land Use Zones Introduction.	21.04.2080	Day Care Centers.
21.04.0020	Zoning Map.	21.04.2090	Drive-Up Stand.
21.04.0030	Comprehensive Allowed Uses Tables.	21.04.2100	Drive-Through Facilities.
21.04.0100	Residential Use Table.	21.04.2110	Educational Facilities.
21.04.0200	Nonresidential Use Table.	21.04.2120	Essential Public Facilities.
21.04.1000	Special Regulations for Residential Uses.	21.04.2130	Faith-Based and Funerary.
21.04.1110	Accessory Dwelling Units and Tiny Homes.	21.04.2140	Food Truck and Pop-Up Retail Court.
21.04.1120	Accessory Structures.	21.04.2150	Hazardous Liquid Pipelines.
21.04.1125	Conversions of Existing Buildings to Residential Uses.	21.04.2160	Hazardous Waste Treatment and Storage.
21.04.1130	<i>Cottage Housing.</i>	21.04.2170	Manufacturing and Wholesale Trade.
21.04.1140	<i>Reserved.</i>	21.04.2180	Mining and Extraction Establishments.
21.04.1150	Home-Based Businesses.	21.04.2190	Mini-Warehouses/Self-Storage.
21.04.1160	Manufactured and Mobile Homes.	21.04.2200	Outdoor Storage and Retail Display.
21.04.1170	Pet Waste Stations.	21.04.2210	Urban Recreation Special Use Standards.
21.04.1180	<i>Reserved.</i>	21.04.2220	Vehicle Sales, Rentals, Repair, and Storage.
21.04.1190	Retirement Residences.	21.04.2230	Wireless Communication Facilities.
21.04.2000	<i>Special Regulations for Nonresidential Uses.</i>	21.04.3000	<i>Reserved.</i>
21.04.2010	Accessory Commercial.	21.04.4000	Temporary Uses.
21.04.2020	Active Retail Uses.	21.04.4010	Temporary Encampments.
21.04.2030	Adult Entertainment Facilities.	21.04.4020	Emergency Shelter.
21.04.2040	Animal Boarding, Sales, and Services – Kennels, Shelters, and Equestrian Facilities.	21.04.4030	Food Trucks and Other Mobile Vendors.
21.04.2050	Arts, Entertainment, Recreation, and Assembly.	21.04.4040	Kiosks and Vending Carts.
21.04.2060	Bed and Breakfast Inn.	21.04.5000	Legal Nonconforming Uses and Structures.
21.04.2070	Cannabis-Related Uses.		

(Ord. 3220)

[No changes to sections 0010, 0020, and 0030]

...

21.04.0100 Residential Use Table.

Residential and Lodging Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Residential																					
Dwelling unit, detached	P	P	P	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 7	P	N	See RZC 21.04.1160 for manufactured homes
Dwelling unit, attached	P	P	P	P	N	P	N	N	P	P	P	N	N	N	N	N	N	N	N	N	
Accessory dwelling unit	P	P	P	P	N	P	N	N	P	P	P	N	N	N	N	N	N	P	P	N	See RZC 21.04.1110
Tiny home	P	P	P	P	N	P	N	N	P	P	P	N	N	N	N	N	N	L 4	P	N	See RZC 21.04.1110
Dwelling unit, multifamily	N	P	P	P	L 3	P	L 3	N	P	P	P	L 3	L 3	P	N	N	N	N	N	N	
Permanent supportive housing, transitional housing	P	P	P	P	P	P	P	N	P	P	P	P	P	P	N	N	N	N	N	N	See RZC 21.57.010
Mixed-use residential structure	N	L 5	P	P	P	P	P	N	P	P	P	P	P	P	N	N	N	N	N	N	
Group Home/Congregate Housing																					
Dormitory or residential suite	L 8	P	P	L 8	P	P	P	N	P	P	P	L 3	L 3	L 3	N	N	N	N	N	N	
Adult family home	P	P	N	N	N	P	P	N	P	P	P	P	P	N	N	N	N	N	P	N	
Long-term care facility	N	C	N	N	P	P	P	N	P	P	P	P	P	N	N	N	N	N	N	N	
Residential care facility	C	C	N	N	P	P	P	N	P	P	P	P	P	N	N	N	N	N	C	N	
Retirement residence	P / C 6	P / C 6	N	N	P / C 6	P / C 6	P / C 6	N	P / C 6	P / C 6	P / C 6	P / C 6	P / C 6	N	N	N	N	N	N	N	A CUP may be required. See Note 6.
Emergency housing or emergency shelter	N	N	N	N	P	P	P	N	P	P	P	P	P	N	N	N	N	N	N	N	See RZC 21.57.010 and 21.57.020
Lodging																					
Bed and breakfast inn or boarding house	L 2	L 2	L 2	L 2	P	P	N	N	P	P	N	P	N	N	N	N	N	P / C	L 2	N	A CUP is required for bed and breakfast inns with three or more bedrooms

Residential and Lodging Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5	
Hotel or motel	N	N	N	P	P	N	P	N	N	P	P	P	P	N	N	N	N	N	N	N

Notes and Limitations:

- 1 Affordable housing developments are allowed in all land use districts where faith-based uses are allowed, so long as that affordable housing development is located on real property owned or controlled by a faith-based or religious organization at the submittal of a complete building permit application. For affordable housing developed on property owned by a faith-based or religious organization, density bonuses may apply, subject to RZC [21.20.060.D](#).
- 2 Limited to bed and breakfast inns: No more than eight rental rooms are permitted.
- 3 Limited to mixed-use developments: Not permitted as a stand-alone use. Administrator may approve an exception where:
 - a. Site conditions (including but not limited to parcel size and/or slope) substantially limit mixed-use viability; or
 - b. The street frontage is to a neighborhood street (see RZC [21.12.510](#)); or
 - c. Ground floor residential is allowed.
- 4 One tiny home is allowed for each allowed dwelling unit. Where only one primary dwelling is on a lot, two tiny homes are allowed.
- 5 Maximum commercial square feet per Table [21.08.200.B](#).
- 6 If a development is not to be subdivided or sold as a condominium, then a conditional use permit shall be required for the retirement residence rather than a subdivision or binding site plan.
- 7 Permitted use only for dwelling units occupied by those engaged in crop production on the property or operating a stable on the property and accessory dwelling units.
- 8 **Dormitories: limited to developments with six or more dormitory rooms. Residential Suites:** Limited to developments with six or more [residential suite dwelling](#) units per lot. Not permitted for developments with less than six [residential suite dwelling units](#) per lot.

(Ord. 3186; Ord. 3220. Formerly 21.04.100)

21.04.0200 Nonresidential Use Table.

Nonresidential Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
General Sales or Service																					
Retail sales	N	N	L 1, 2	L 2	L 2	L 1, 2	L 2	L 2, 7J	L 1, 2, 3e	L 2	L 2	L 1, 2	L 1, 2	L 1, 2, 3A, 3B, 3C	L 2, 20 / C	L 2, 15, 16 / C	L 2, 14, 23, 24, 25	N	N	N	Gasoline sales require a CUP. For kiosks and other temporary uses see RZC 21.04.4000 For animal sales, see RZC 21.04.2040 For vehicle sales, see RZC 21.04.2220
Cannabis retail sales	N	N	N	P	P	N	N	N	P	P	P	P	P	N	P	L 15	N	N	N	N	See RZC 21.04.2070
Business and service	N	N	L 1	P	P	P	P	L 7J	P	P	P	L 3E / C	L 3E	L 1, 3A, 3B, 3C, 3E	L 21	L 2, 7F, 7G, 7H, 16	L 2, 23	N	N	N	A CUP is required for auto rental and animal sales and services
Food and beverage	N	N	L 1	P	P	P	P	L 1, 17, 18, 19a	P	P	P	L 4	P	L 1, 4	L 17, 18, 19b	L 10, 17, 18, 19a	L 17, 18, 19b / C	N	N	N	For food carts, food trucks, and other temporary uses see RZC 21.04.4000
Food truck, pop-up retail court	N	L 1	L 1	P	P	P	P	N	P	P	N	P	P	N	P	P	P	N	N	N	See RZC 21.04.2140
Drive-up stand	N	N	N	P	P	P	P	P	P	P	P	P	P	N	P	P	N	N	N	N	See RZC 21.04.2090
Animal kennel/shelter	N	N	N	P	L 1	L 1	L 1	N	L 1	L 1	L 1	L 1	L 1	N	N	L 15	N	L 15	C	N	See RZC 21.04.2040
Arts, Entertainment, and Recreation																					
Arts, entertainment, recreation, and assembly	L 1, 7a, 7b, 7c / C	L 1, 7a, 7b, 7c / C	L 1 / C	P	P	P	P	C	P	P	P	P	P	L 1, 7 / C	L 22	P	N	C	C	C	A CUP is required for athletic, sports, and play fields, marine recreation, and commercial swimming pools. See RZC 21.04.2210 and 21.04.2050 For special regulation for uses in the UR zone see RZC 21.04.2210
Golf course	L 2 / C	L 2 / C	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2 / C	L 2 / C	N	See RZC 21.04.2210

Nonresidential Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References		
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS	
Natural and other recreational park	P / C	P / C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P / C	C	A CUP is required for commercial facilities. See RZC 21.04.2210	
Adult entertainment facilities	N	N	N	N	C	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	See RZC 21.04.2030	
Education, Public, Health, and Other Institutions																						
Education, government, health care and other institution	L 1 / C	L 1 / C	L 1 / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	L 2, 7D, 7E, 16 15 / C	N	N	L 26 / C	N	A CUP is required for educational facilities with capacity > 150 full-time-equivalent students. A CUP is required in the RA-5 zoning district.
Day care center	L 13 / C €	L 13 / C	L 13	P	P	P	P	P	P	P	P	P	P	P	P	P	L 15	N	N	P N	N	A CUP is required in NR and NMF. See RZC 21.04.2080
Family day care provider	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N	N	P	P	See RZC 21.04.1150	
Faith-based	P / C	P / C	N	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	N	N	N	N	A CUP is required for uses with over 250 seats. See RZC 21.04.2130	
Funerary	P / C	P / C	N	N	P	N	P	P	P / C	P / C	P / C	P / C	P / C	N	N	P / C	N	N	N	N	A CUP is required for uses with over 250 seats. See RZC 21.04.2130	
Secure community transition facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	See RZC 21.76.070.M	
Manufacturing and Wholesale Trade																						
Manufacturing and wholesale trade	N	N	N	N	L 2	N	L 1, 2	L 1, 2	N	N	N	L 3D	L 3D	N	L 2	L 2	L 2	N	N	N	See RZC 21.04.2170	
Artisanal manufacturing, retail sales, and service	N	N	L 1	L 1	P	L 1	P	P	L 1	L 1	L 1	L 1, 3E	L 1, 3E	N	P	L 2	L 2	N	N	N		
Cannabis processing	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	See RZC 21.04.2070	

Nonresidential Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References		
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS	
Transportation, Communication, and Utilities																						
Postal services	N	N	N	N	N	N	N	P	P	P	P	P	P	N	N	P	N	N	N	N		
Automobile parking facility	N	N	N	N	L27	N	P	N	N	P	P	N	N	N	L27	N	N	N	N	N	See also RZC 21.40 and RZC 21.58.5310. In shorelines see RZC 21.68.140.	
Truck and freight transportation	N	N	N	N	N	N	N	P	N	N	N	N	N	N	N	L2	L2	N	N	N	See RZC 21.04.2220	
Towing operators and auto impoundment yards	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	L2	N	N	N	See RZC 21.04.2220	
Road, ground passenger, and transit transportation	N	N	N	N	P	L1	L1	P	N	P	P	P	P	N	P	P	P	N	N	N		
Rail transportation	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	N	N		
Heliport	L9/C	L9/C	N	N	P	N	C	C	N	N	N	N	N	N	C	C	C	N	N	N		
Rapid charging station	N	N	N	P	P	L14	P	P	P	P	P	L1	L1	L1	L14	L14	L14	N	N	N		
Wireless communication facilities	P	P	L1/C	P	P	L1/C	P	P	L1/C	P	P	L1/C	L1/C	P	P	P	P	N	P	P	See RZC 21.04.2230. A CUP is required for large satellite dishes; amateur radio tower; antenna array, base station, and support structures	
Local utilities	P	P	L1/C	L1/C	P	L1/C	L1/C	L1/C	P	P	P	P/C	P/C	P/C	P	P	P	N	P	P	A CUP is required if 40 feet in height or greater	
Regional utilities	L1/C	L1/C	L1/C	L1/C	L1/C	L1/C	L1/C	L1/C	L1/C	L1/C	L1/C	P/C	P/C	P/C	P	P	P	N	C	C	A CUP is required if 40 feet in height or greater	
Solid waste transfer and recycling	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L2	L2	N	N	N		
Hazardous waste treatment and storage, incidental	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L2	L2	L2	N	N	N	See RZC 21.04.2160
Hazardous waste treatment or storage, primary	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L2/C	L2	N	N	N	See RZC 21.04.2160	

Nonresidential Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Water extraction well	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	N	N	
Agriculture																					
Animal production	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 11	L 11	N	See RZC 21.04.2040
Crop production	P	P	P	N	N	P	N	N	P	N	N	P	P	P	N	N	N	P	P	N	
Cannabis production	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	See RZC 21.04.2070
Equestrian facility	L 12 /C	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	See RZC 21.04.2040
Roadside produce stand	P	P	P	P	P	P	P	N	P	P	P	P	P	N	N	N	N	P	P	N	
Other																					
Construction-related business	N	N	N	N	N	N	N	P	N	N	N	L 3D, 3E, 6	L 3D, 3E, 6	N	P	L 2	L 2	N	N	N	
Mining and extraction establishment	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2/C	N	N	N	See RZC 21.04.2180
Wetland mitigation banking	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	P	

Notes and Limitations

1 Shall not be materially detrimental in terms of noise, truck traffic, vibrations, odors, and other potential operational impacts with neighborhood units or nearby mixed-use/residential developments. Application of this note is limited in the MMC and MMM zoning districts to new structures permitted after June 17, 2017.

2 For properties in a CARA this use may be restricted or prohibited. See RZC [21.64.050](#).

3 Uses Not Permitted.

- a. Gasoline service;
- b. Outdoor automobile sales, rental or service;
- c. Rental storage and mini-warehouses;
- d. Warehouse and storage services;

e. Outdoor storage.

4 Limited to less than 75,000 square feet gross floor area in a single use.

5 Membership wholesale/retail warehouse limited to showroom only with a maximum size of 75,000 square feet gross floor area.

6 Administrative office/business functions only.

7 Is limited to:

a. Athletic, sports, and play fields.

b. Marine recreation.

c. Commercial swimming pools.

d. Education facilities allowed in MP zones outside of MP Overlay but limited to technical, trade, and other specialty schools only.

e. Animal kennels.

f. Real estate services limited to mini-warehouse/self-storage only.

g. Professional services limited to research and development services and other uses that support another permitted use within the MP zone only.

h. Administrative services limited to corporate headquarters and regional offices associated with manufacturing and wholesale trade uses within an MP zone.

i. Athletic club or fitness center.

j. Repair and rental of goods ([unless permitted as a supplementary use per 21.04.2220.J](#)).

8 Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.

9 Permitted only abutting Lake Sammamish. Excludes medical airlift.

10 Limited to mixed-use developments. Not permitted as a stand-alone use.

11 All commercial livestock, dairy and fowl enterprises limited to lots 35,000 square feet in size or larger, and must meet Seattle-King County Health Department regulations and the regulations of Redmond's Municipal Code. Personal, noncommercial livestock, dairy, and fowl activities are considered an accessory use and are allowed; provided, that all Health Department and Municipal Code requirements are met.

12 Limited to lots 35,000 square feet or larger.

13 ~~Day care uses are only permitted in a building or building complex used for other uses, such as a school, church, meeting hall, or some other building used for more than one purpose.~~ [\[REPEALED\]](#)

14 Shall not be located on a parcel that abuts a Neighborhood Residential or Neighborhood Multifamily zone.

15 Only allowed in the MP Overlay (see note 7D for educational facilities).

16 [The following uses are limited](#) ~~Limited~~ to MP Overlay only: pet and animal sales or services (except veterinary), ambulatory and outpatient health care services, health and personal care, and finance and insurance.

17 Shall be located in multi-tenant buildings or a single building in a multibuilding, multi-tenant complex.

18 Fifty-person seating capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100-person seating capacity, so long as the seating area does not occupy more than 25 percent of combined gross floor area. The seating limit does not apply when the use is secondary to a winery or brewery, but the 25 percent limit continues to apply.

19 Hours of operation limited to:

- a. 6:00 a.m. – 12:00 p.m. in the MMM and MP zoning districts.
- b. 6:00 a.m. – 10:00 p.m. in the BP and I zoning districts.

20 Not permitted north of NE 90th Street and west of Willows Road.

21 Finance and insurance, convenience use, and personal services uses:

- a. Permitted in Willows/Rose Hill Neighborhood north of NE 95th Street only.
- b. Must be closed a minimum of four hours in any 24-hour period.
- c. Minimum size per tenant is 1,000 square feet gfa.
- d. Maximum size per tenant is 20,000 square feet gfa.
- e. Shall be secondary use in multi-tenant building; shall not be located in separate building containing only convenience uses.

22 Maximum size is 30,000 square feet gfa in Willows/Rose Hill Neighborhood north of NE 95th Street.

23 For automobile sales, service, or repair:

- a. May occupy up to 25 percent of the combined gross floor area.
- b. Vehicle display area shall be outside of required parking and landscape areas.
- c. Vehicles shall be stored on paved surfaces.
- d. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.
- e. Vehicle repair shall be conducted indoors.

24 Outdoor loudspeaker systems are prohibited.

25 Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.

26 Limited to government and administration uses only.

27 [Not allowed within 500 ft of Neighborhood zones.](#)

(Ord. 3186; Ord. 3220. Formerly 21.04.200)

...

[No changes to section 1000]

...

21.04.1110 Accessory Dwelling Units and Tiny Homes.

A. **Purpose.** The purpose of the accessory dwelling unit (ADU) and tiny home provisions is to:

1. Provide a housing type that responds to changing needs and lifestyles (e.g., small families, retired couples) and that allows persons of all ages and incomes to live in a neighborhood by promoting diversity in the size, type, and price of new single-family development;
2. Enhance opportunities for ownership housing;
3. Better utilize existing infrastructure and community resources;
4. Add to Redmond's stock of affordable dwelling units; and
5. Ensure that ADUs and tiny homes are compatible with surrounding land uses by appropriately regulating their bulk, size and scale.

B. **Applicability.** The provisions of this section apply to all accessory dwelling units and tiny homes.

C. **Requirements.**

1. *Number of ADUs.* Two ADUs or tiny homes shall be allowed on each residential lot.
2. *Location.*
 - a. An ADU may be added to or included within the primary unit, or located in a detached structure on the same lot as the primary dwelling unit.

- b. Detached ADUs and the primary dwelling unit must each conform to all lot coverage restrictions and any other standards or regulations required of a detached dwelling unit in a residential zone. Detached ADUs may be sited immediately abutting a lot line if the lot line abuts a public alley or right-of-way, overriding other setback regulations.
- c. Tiny homes located within public view shall provide landscaping to fully screen the tandem axle trailer or similar configuration of trailer base.

3. *Size/Scale.*

- a. The total square footage of an ADU shall not exceed 1,000 square feet.
- b. If an ADU occupies an entire single floor of the primary dwelling unit, the Administrator may allow for an increase in the allowed size of the ADU in order to efficiently use all of the floor area, so long as all other standards of this section are met.
- c. If the site size is larger than 10,000 square feet, the Administrator may allow for an increase in the allowed size of the ADU so long as all other standards of this section are met and the following criteria are met:
 - i. The ADU is an affordable housing unit; or
 - ii. A public benefit is provided as deemed appropriate by the Administrator.
- d. A tiny home shall not exceed 400 square feet in size.

4. Home business shall be allowed, subject to existing regulations, in both the ADU and the primary unit.

~~5. *Affordability Requirement.* ADUs shall not be used to meet any requirement to provide affordable dwelling units per RZC Chapter [21.20](#), Affordable Housing.~~

~~5.6.~~ *Applicable Codes – ADUs.* The portion of the dwelling in which the accessory dwelling unit is proposed must comply with all standards for health and safety contained in all applicable codes, with the exception of the ceiling height requirements of the International Building Code. The Building Official may waive the ceiling height requirements of this

chapter if it is determined that the structure was built in compliance with past building code requirements. (Ord. 3220)

...

[No changes to Section 1120]

...

21.04.1125 Conversions of Existing Buildings to Residential Uses.

A. **Purpose.** The purpose of the conversion provisions is to facilitate the conversion of existing buildings ~~that are zoned for in commercial, or mixed-use, or residential zones uses to residential uses,~~ for the purpose of creating new housing units in existing buildings. These provisions support serving the City's housing needs and compliance with state requirements. The intent of these provisions is to fully comply with state requirements (RCW [35A.21.440](#), [43.21C.450](#), and [19.27A.270](#)) related to conversions of existing buildings to residential uses.

B. **Applicability.** Existing buildings constructed for commercial or mixed-use uses. For the purpose of this section, "existing building" means a building that received a certificate of occupancy at least three years prior to the permit application to add housing units. "Existing building" has the same meaning as explained in RCW [35A.21.440](#), and as thereafter amended.

C. **Special Allowances.** For compliance with state requirements, for applications related to the conversion of existing buildings that are constructed for commercial or mixed-use uses to residential uses, the City review process shall not restrict or impose the following:

1. A restriction on housing unit density that prevents the addition of housing units at a density up to 50 percent more than what is allowed in the underlying zone if constructed entirely within an existing building envelope in a building located within a zone that permits multifamily housing; provided, that generally applicable health and safety standards, including but not limited to building code standards and fire and life safety standards, can be met within the building;
2. Impose parking requirements on the addition of dwelling units or living units added within an existing building; however, cities may require the retention of existing parking

that is required to satisfy existing City residential parking requirements and for nonresidential uses that remain after the new units are added;

3. With the exception of emergency housing and transitional housing uses, impose permitting requirements on the use of an existing building for residential purposes beyond those requirements generally applicable to all residential development within the building's zone, [including requiring a change of use permit](#);

4. Impose design standard requirements, including setbacks, lot coverage, and floor area ratio requirements, on the use of an existing building for residential purposes beyond those requirements generally applicable to all residential development within the building's zone;

5. Impose exterior design or architectural requirements on the residential use of an existing building beyond those necessary for health and safety of the use of the interior of the building or to preserve character-defining streetscapes, unless the building is a designated landmark or is within a historic district established through a local preservation ordinance;

6. Prohibit the addition of housing units in any specific part of a building except ground floor commercial or retail that is required by RZC standards, unless the addition of the units would violate applicable building codes or health and safety standards;

7. Require unchanged portions of an existing building [that have been used for residential or previously permit-approved conditioned space](#) purposes to meet the current energy code solely because of the addition of new dwelling units within the building; ~~however, if any portion of an~~ [When any other](#) existing building is converted to new dwelling units, [changed portions of](#) each of those new units must meet the requirements of the current energy code; [except if](#):

[a. The square footage of new dwelling units does not exceed 2,500 square feet or 50 percent of the total building square footage, whichever is greater; or](#)

[b. The building owner submits documentation, in a form acceptable to the City, showing the building's residential units' projected energy use intensity is less than or equal to the energy use intensity target in accordance with the clean buildings performance standard in RCW 19.27A.210; or](#)

c. In all areas zoned for residential housing, an additional housing unit is created within an existing home;

8. Deny a building permit application for the addition of housing units within an existing building due to nonconformity regarding parking, height, setbacks, elevator size for gurney transport, or modulation, unless the Administrator makes written findings that the nonconformity is causing a significant detriment to the surrounding area; or
9. Require a transportation concurrency study under RCW [36.70A.070](#) or an environmental study under RCW Chapter [43.21C](#) based on the addition of residential units within an existing building.

D. ***Life Safety Standards.*** Nothing in this section shall require the City to approve a building permit application for the addition of housing units constructed entirely within an existing building envelope in a building located within a zone that permits multifamily housing in cases in which the building cannot satisfy life safety standards. (Ord. 3220)

...

[No changes to sections 1130, 1140, 1150, 1160, 1170, 1180, 1190, 2000, 2010, 2020, 2030, 2040, 2050, 2060, 2070]

...

21.04.2080 Day Care Centers. [\[RESERVED\]](#)

~~A. **Purpose.** This section provides development criteria for commercial day care centers in residential zones.~~

~~B. **Development Standards.**~~

~~1. **Commercial Day Care Centers (Residential Zones).**~~

~~a. Day care centers shall comply with all building, fire, safety, and health codes, and all applicable development standards.~~

~~b. Day care centers shall obtain a business license and maintain the use license as long as the use operates.~~

- ~~c. Day care centers shall obtain all required state approvals.~~
- ~~d. In the RA-5 zone, stand-alone day care centers are prohibited.~~
- ~~e. Day care centers shall not be located closer than 300 feet from another existing day care operation in residential zones.~~
- ~~f. The minimum lot size shall be 20,000 square feet in all residential zones.~~
- ~~g. Play equipment used in the day care operations shall be placed no closer than 10 feet from any property line.~~
- ~~h. Off-street parking for each employee shall be provided.~~
- ~~i. Building design, site plans and landscaping shall be of a character which is appropriate for the area.~~
- ~~j. Day care centers may be approved in new or existing churches and other places of worship, and no additional approval will be required, provided all other requirements of this section are met.~~
- ~~k. Day care centers located in residential zones shall operate within the hours of 5:00 a.m. to 10:00 p.m. (Ord. 3220)~~

...

[No changes to sections 2090, 2100, 2110, 2120, 2130]

...

21.04.2140 Food Truck and Pop-Up Retail Court.

A. **Purpose.** Implement the Comprehensive Plan goals for supporting small businesses and complete neighborhoods.

B. **Location and Uses.**

1. [Review Process](#)

a. A Type II permit is required [for new sites not previously approved for PEAS \(per 21.36.200\)](#).

b. [An Administrative Modification can be used to add Court uses to a previously approved PEAS location](#).

c. [If a court is part of new development, it may be consolidated in that permit review process and would follow the required permit type for the underlying application](#).

2. Food truck courts may be used for pop-up retail, kiosks, and other temporary uses including seasonal sales (pumpkins, trees, etc.).

3. Events, including but not limited to concerts, farmers' markets, and flea markets, are allowed [if the use is reviewed and approved as part of the court site plan approval](#).

4. [Uses in the court that typically require a temporary use permit \(seasonal sales, events, etc.\) will not require an individual temporary use permit if the use is reviewed and approved as part of the court site plan approval](#).

a. [The court site plan must include locations for indicated temporary uses, maximum occupancy, and show how the health, safety, and other impacts and considerations are mitigated at the site plan approval](#).

b. [Temporary uses not included as part of the court site plan approval will require a temporary use permit](#).

C. **Site Plan.**

1. A site plan must be approved pursuant to RZC Chapter [21.76](#).

2. The number of spaces available for food trucks must be identified on the site plan.

3. Food truck locations, drive aisles, and seating areas shall be designed and constructed in such a way that all areas can be accessed by emergency vehicles.

4. Seating area with tables and chairs – one table per truck minimum with at least four chairs (or seating spaces if a picnic table or similar) per table.

5. *Event Spaces*. The site plan may include the option of identifying a location and size for a temporary or permanent stage and other event space and size. If planning for events the following requirements shall apply:

- a. Stage should be six inches to one foot above grade without fencing. If higher than one foot above grade, fencing shall be provided along sides and back of stage.
- b. Stage area shall be provided with electrical outlets, weather coverage with open beams, and lighting.
- c. Neighborhood Residential (NR) limitations:
 - i. No amplification of music is allowed.
 - ii. Use of generators shall be limited to daylight hours.
 - iii. Maximum noise levels are limited Class A restrictions identified in RMC [6.36.030](#).
 - iv. If outdoor dining or if live music is planned to be provided outdoors, a Type I – Solid Screen shall be provided at property lines where adjacent to NR or NMF zone (see Table 21.32.120). Administrative design flexibility limited to Type I – Solid Screening may be allowed; provided, that the resulting screening design meets or exceeds the purpose of visual screening and sound mitigation.

D. *Required Facilities and Utilities*.

1. Electrical hookups must be provided to each food truck.
 - a. Generators shall not be allowed unless such generator operates at less than 60 decibels as measured 10 feet away.
 - b. Generators shall not be placed adjacent to event stage or eating areas and must be placed to vent away from public gathering spaces to minimize exposure to exhaust fumes.
2. At least one water tap must be provided and accessible to food trucks.

3. Permanent restrooms facilities that comply with Health Department standards and accessibility standards. Facilities may be shared with permanent on-site structure if there is capacity.

4. Permanent parking facilities must be provided: minimum of three parking stalls, including one van-accessible ADA stall.

E. *Operations.*

1. Mobile food court operators shall be responsible for properly disposing of refuse, recycling, trash, and litter generated by operations of the food trucks as would any business and shall have a contract for refuse and recycling removal.

2. All food truck court operators are responsible for all lessee operations and ordinance compliance and are held responsible for all infractions.

F. *Noise Management.* A noise management plan is required. (Ord. 3220)

...

[No changes to sections 2150, 2160, 2170, 2180, 2190, 2200, 2210, 2220, 2230, 3000]

...

21.04.4000 Temporary Uses.

...

C. *Exemptions.*

1. The following activities and structures are exempt from requirements to obtain temporary use approval. Substantive requirements applicable to any use identified in this subsection shall still be met. Additional land use approvals or other permits may be required.

a. Manufactured homes, portable units, modular structures, travel trailers when used as a dwelling while a residential building on the same lot is being constructed or when a damaged residential building is being repaired, if adequate sewer and water are available.

-
- b. Manufactured homes, portable units, modular structures, or travel trailers when used to support construction or site development.
 - c. Guests of Redmond residents in recreational vehicles when in compliance with RZC [21.40.010.G](#), Parking and Storage of Recreational, Utility, and Commercial Vehicles and Vessels in Residential Neighborhoods.
 - d. Temporary recycling and collection events that meet all of the following requirements:
 - i. Containers and structures shall be located on private property and not on public rights-of-way. The property owner's approval must be obtained, and the Planning Department notified that the event will be located at that site;
 - ii. Structures shall not interfere with traffic circulation or visibility at intersections;
 - iii. The property owner's name and telephone number shall be clearly posted on site; and
 - iv. If located in a parking area, the structures or containers shall take up no more than three parking stalls. One collection structure and associated staff booth are allowed in parking lots of 200 stalls or less and one additional container and staff booth for every additional 200 stalls.
 - e. Model homes or apartments and related real estate sales and display activities located within the subdivision or residential development to which they pertain.
 - f. Garage sales, moving sales, and similar activities for the sale of personal belongings when operated not more than three days in the same week and not more than twice in the same calendar year. Allowed in all residential zoning districts.
 - g. Fundraising car washes that meet the requirements for discharge of wastewater established by the City of Redmond Environmental and Utility Services Division.
 - h. Motorized catering that remains at one location for no more than three hours per day.
 - i. Mobile services that:

- i. Are located outside the public right-of-way and not located on on-street parking;
 - ii. Are located at a site for no more than 14 total days over a period of three months;
 - iii. Are not located in required drive aisles or any area that would impede emergency or ADA access; and
 - iv. Are located on a lot with no more than one other mobile service vehicle at any given time.
- j. Circuses, carnivals, fairs, or similar transient amusement or recreational activities. Such uses are subject to RMC Chapter [5.28](#), Carnivals, Circuses and Amusement Activities.
- k. Activities, vendors and booths associated with City of Redmond-sponsored or authorized special events which have an approved special events permit.
- l. Weekend (Saturday and Sunday) only, warehouse sales in Business Park, Manufacturing Park, and Industry zones, when held no more than once a month in an existing facility.

[2. Temporary Uses approved as part of a PEAS \(see RZC 21.36.200\) or Food Truck and Pop-Up Retail Court \(see RZC 21.04.2140\) are exempt from a temporary use permit under this section.](#)

D. *Temporary Use Permit Duration and Administration.*

...

[No changes to sections 4010, 4020, 4030, 4040, 5000]

Exhibit 2: Chapter 21.08

NEIGHBORHOOD AND MIXED-USE REGULATIONS

Sections:

21.08.100	Neighborhood and Mixed-Use Zones.
21.08.110	References.
21.08.150	Mixed-Use Transition Strategy.
21.08.200	Development Standards.
21.08.300	Street Typology and Relationship to Buildings.

Administrative note: there are only changes to Table 21.08.200.B and 21.08.300.A

21.08.200 Development Standards.

A. All legal lots in Citywide Mixed-Use zones are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings, provided all other applicable site requirements are met.

B. Table 21.08.200.B contains the basic zoning regulations that apply to development within the Neighborhood and Mixed-Use zones.

Table 21.08.200.B. Neighborhood and Mixed-Use Development Standards

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR ⁹	NMF	NMU	CMU	UMU	
Base Maximum Dwelling Units Per Lot	6	N/A	N/A	N/A	N/A	

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR ²	NMF	NMU	CMU	UMU	
(w/o one on-site affordable housing unit)						
Base Maximum Dwelling Units Per Lot (with one on-site affordable housing unit)	8	N/A	N/A	N/A	N/A	RZC 21.20.060.A.1 , at least one affordable unit, affordable to households earning up to 80 percent AMI, must be provided on site on the same lot.
Base Maximum FAR (w/o Incentives)	N/A	1.1 ¹	0.6 ¹	2.0 ¹	4.5 ¹	
Maximum FAR with incentives (outside TOD Focus Area / inside TOD Focus Area)	N/A	1.5 / N/A	1.0 ² / N/A	3.0 / N/A	6.5 / 8.0	Portions of UMU zones qualify for Marymoor Village TOD incentives. See RZC Chapters 21.05 and 21.55 .
Commercial Square Feet	N/A	N/A	Min. 500 sq. ft.	N/A	No Net Loss ³	

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR ⁹	NMF	NMU	CMU	UMU	
Ground Floor Ceiling Height (minimum)	N/A	N/A	N/A	16 ft. ^{4,5}	20 ft. ^{4,5}	Applicable to nonresidential and mixed-use projects.
Base Maximum Height (w/o Incentives)	38 ft.	60 ft.	38 ft.	45 ft. ⁶	60 FT ⁶	• See RZC Chapter 21.58 for design standards options impacting maximum building height.
Maximum Height with Incentives (outside TOD Focus Area / inside TOD Focus Area)	N/A	N/A	N/A	65 ft. / N/A ⁶	85 ft. / 144 ft. ⁶	• Portions of UMU zones qualify for Marymoor Village TOD incentives. See RZC Chapters 21.05 and 21.55 . • See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.58.5200 , Towers, for

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR ⁹	NMF	NMU	CMU	UMU	
						additional regulations regarding building heights and floorplates.
Maximum Impervious Surface	70% ⁷	75% ⁷	70% ⁷	70% ⁷	75% ⁷	
Lot Coverage	50% / 60% ⁸	60%	60%	65%	70%	
Average Minimum Lot Size	3,000 sq. ft.	n/a	3,000 sq. ft.	n/a	n/a	
Lot Frontage Minimum	20 ft.	30 ft.	20 ft.	n/a	n/a	
Minimum Open Space	20%	20%	n/a	n/a	n/a	Measured as percent of total lot area

NOTES:

1 The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC [21.36.400](#), the FAR for those spaces may be excluded from maximum FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC [21.36.400](#), plaza and open space design criteria.

2 Maximum FAR can be increased through incentives if the property contains one or more housing units. Incentives are not available for properties that do not contain housing. See RZC Chapter [21.55](#).

3 New development must retain or replace existing commercial square footage (excluding hotel and lodging uses). Development may reallocate or modify areas allocated to commercial uses, subject to a minimum floor area and active pedestrian uses requirements to be negotiated as a condition to any development agreement.

4 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways; and
- d. Parcels zoned UMU within the Marymoor Village Center shall have a minimum 16-foot ground floor ceiling height to be consistent with the adjacent Marymoor Core zone.

5 A minimum of 50 percent of the first floor nonresidential space must meet the minimum ceiling height. First floor nonresidential spaces shall have a ceiling height of 16 feet minimum for the entire first floor.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first floor ceiling height greater than 10 feet to meet minimum ground floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if first floor is 20 feet, the maximum building height increases by 10 feet (20 - 10 = 10 foot increase in max building height).

6 Properties in the CARA

- a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).
- b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all of the following criteria are met:
 - i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
 - ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
 - iii. The additional height on street frontages meets a 20 foot step-back to limit impacts to the pedestrian realm.

7 Other regulations will impact the impervious surface area and may result in less than the maximum impervious area. These include but are not limited to critical areas requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

8 Lot coverage for structures maximum will be 60 percent of total area for lots which meet the following requirements:

- a. The lot is 18,000 square feet or less; and
- b. The lot contains at least three dwelling units.

[9. Developments of Dormitory or Residential Suite land uses, in the Neighborhood Residential zone, are not regulated by the maximum dwelling units per lot metrics. The development must comply with all other Neighborhood Residential development standards \(e.g., building height, maximum impervious surface, etc.\).](#)

C. Dimensional standards for the Neighborhood Residential zone are as shown on Table 21.08.200.C.

Table 21.08.200C. Maximum Total Gross Floor Area for All Structures Within the Lot

Standards

The maximum for the total square footage for all structures within the lot shall be determined by the quantity of dwelling units provided on the lot. Below grade floor area shall count toward maximum total gross floor area.

[Developments of the Dormitory or Residential Suite land uses, in the Neighborhood Residential zone, are exempt from the per-dwelling unit regulations of Table 21.08.200.C. Maximum Total Gross Floor Area for All Structures Within the Lot. Instead, the maximum for the total square footage for all structures within the lot for Dormitory or Co-Living developments is 15,000 square feet.](#)

Provisions for the measuring of gross floor area for all structures within the Neighborhood Residential zone are described in RZC 21.16.200, Building Measurements and Placement Standards.

Total Number of Dwelling Units for All Structures on Lot

Maximum Square Footage for Total Structures

1	4,500
2	6,000
3	7,500
4	9,000
5	10,500
6	12,000
7	13,500
8	15,000

21.08.300 Street Typology and Relationship to Buildings.

A. *Building and Street Relationships.*

1. The table below sets standards that contribute to an attractive public realm.
2. Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas; provided, that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.
3. Administrative design flexibility for setbacks is allowed for site-specific conditions that limit the ability to place the building at the street level, including but not limited to topography, easements, SR 520 ROW, or trails.

Table 21.08.300.A. Neighborhood and Mixed-Use Building Placement Standards

Development Standards	Neighborhood Zones			Citywide Mixed Use		References
	NR	NMF	NMU	CMU	UMU	
Front Setback Min.	10 feet	30 feet	10 feet	10 feet	10 feet	NMU reduced front setback for commercial spaces (2 feet)
Side (Street) Setback Min.	10 feet ¹	15 feet	10 feet	10 feet	10 feet	
Side (Interior) Setback Min.	3 feet ¹	15 feet	3 feet	10 feet	10 feet	
Rear Setback Min.	5 feet	10 feet	5 feet	10 feet	10 feet	
Garage Setback from main building frontage, Min. ²	N/A	N/A	3 feet ²	N/A	N/A	
Alley Setback Min.	2 feet	4 feet	2 feet	N/A	N/A	
Lake Sammamish Setback Min.	35 feet	35 feet	35 feet	N/A	N/A	
Building Separation Min.	5 feet ¹	15 feet	5 feet	N/A	N/A	

NOTE:

1 Zero lot line exception: Standards may vary for developments that comply with the zero lot line regulations in RZC [21.16.200.D](#).

2 If a residential garage door or carport faces the street front, the minimum driveway depth outside the building – measured from the outer edge of the existing or ultimate sidewalk, or from the right-of-way line, whichever is closer to the building – shall be at least 18 feet, to prevent vehicle parking on the driveway from overhanging into the sidewalk or right-of-way area.

Exhibit 3:**Chapter 21.10 DOWNTOWN
REGULATIONS**

Sections:

21.10.100	Downtown Zones.
21.10.150	Transition to New Standards.
21.10.200	Downtown Development Standards.
21.10.300	Public Realm Standards.

Administrative note: there are only changes to footnote 4(b) in Table 21.10.200.

21.10.200 Downtown Development Standards.

- A. All legal lots are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings provided all other applicable site requirements are met.
- B. Table 21.10.200 contains the basic zoning regulations that apply to development within the Town Center (TWNC), Downtown Core (DTE), and Downtown Edge (DTE) zoning districts.

Table 21.10.200. Downtown Development Standards

Development Standards	Downtown Zones			Notes
	TWNC	DTC	DTE	
Base Max FAR (w/o incentives)	5.0 ¹	4.5 ¹	3.0 ¹	
Max FAR w/ incentives	6.5 / 8.0 ¹	6.5 / 8.0 ¹	3.75 ¹ / N/A	Additional floor area can be earned with

Development Standards	Downtown Zones			Notes
	TWNC	DTC	DTE	
(outside TOD focus area/inside TOD focus area)				incentives (see RZC Chapter 21.55) and through the transfer of development rights program (see RZC Chapter 21.48).
Base Max Height (w/o incentives)	60 ft. ²	60 ft. ²	45 ft. ²	• See RZC Chapter 21.58 for building design options with building height impacts.
Max Height with Incentives (outside TOD Focus Area 144 / inside TOD Focus Area)	85 ft. / 144 ft. <small>2,3,4,5</small>	85 ft. / 144 ft. <small>2,3,4,5</small>	60 ft. ^{2,3,4,5} / N/A	• See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.58.5200 , Towers, for additional regulations regarding

Development Standards	Downtown Zones			Notes
	TWNC	DTC	DTE	
				building heights and floorplates.
Ground Floor Ceiling Height (minimum) in TOD Focus Area	16 ft. ^{3,4}	16 ft. ^{3,4}	16 ft. ^{3,4}	Applicable to nonresidential and mixed-use projects.
Lot Coverage	100% ⁶	100% ⁶	100% ⁶	

Notes:

1 Floor Area Ratio: The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases, provided the maximum FAR is not exceeded.

2 Building Height

- a. Building height is limited to three stories for parcels fronting Leary Way from NE 80th Street to a half-block south of NE 76th Street.
- b. Additional height can be earned with incentives (see RZC Chapter [21.55](#)) and through the transfer of development rights program (see RZC Chapter [21.48](#)).
- c. Additional height can be earned by utilizing specified architectural techniques in RZC Chapter [21.58](#) or via incentives in RZC Chapter [21.55](#).
- d. The height limit in the Shoreline Jurisdiction (SMP) is 35 feet (see RZC [21.68.020](#)).

3 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

4 A minimum of 50 percent of the first floor nonresidential space must meet the minimum ceiling height of 16 feet.

a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.

b. For portions of the building that have a first-floor ceiling height greater than 10 feet to meet minimum ground-floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if first floor is 16 feet, the maximum building height increases by ~~six~~ ~~10~~ feet (16 - 10 = six foot increase in maximum building height).

5 Properties in the CARA

a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).

b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all of the following criteria are met:

i. The additional height is the result of building a maximum of one level of additional above-grade parking; and

ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and

iii. The additional height on street frontages meets a 20-foot step-back to limit impacts to the pedestrian realm.

6 Other regulations will impact the maximum lot coverage and may result in less than the maximum, including critical area requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

Exhibit 4:**Chapter 21.12 OVERLAKE
REGULATIONS**

Sections:

- 21.12.300** **Overlake Zoning Districts.**
- 21.12.305** **References.**
- 21.12.310** **Overlake Master Planning.**
- 21.12.400** **Overlake Land Use Regulations.**
- 21.12.500** **Overlake Development Standards.**
- 21.12.505** **Transition to New Standards.**
- 21.12.510** **Street Typology and Relationship to Buildings.**
- 21.12.520** *Repealed.*
- 21.12.600** *Repealed.*

[No edits to sections 300, 305, 310, 400, 505, 510, 520, or 600]

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21.12.500 Overlake Development Standards.

The following table contains the basic zoning regulations that apply to development within the Overlake Village (OV), Overlake Business and Advanced Technology (OBAT), and Overlake Urban Multifamily (OUMF) zones:

Table 21.12.500. Overlake Development Standards

Development Standards	Overlake Zoning Districts			Notes
	OV	OBAT	OUMF	
Maximum Base FAR ¹ (w/o Incentives)	5	3	3	
Maximum FAR With Incentives	FAR maximum waived when maximizing	Outside TOD Focus Area: maximum 9.5 FAR Inside TOD Focus Area: FAR		See RZC Chapter 21.55 , Development

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

Development Standards	Overlake Zoning Districts			Notes
	OV	OBAT	OUMF	
	incentive program	maximum waived when maximizing incentive program		Incentive Program, for incentive related adjustments to FAR ³
Minimum Height	4 stories or 45 feet, whichever is less ²	In TOD Focus Area: 4 stories or 45 feet whichever is less ² Elsewhere: 3 stories or 35 feet, whichever is less ²	3 stories or 35 feet, whichever is less ²	
Base Maximum Height (w/o Incentives)	Mixed-use: 14 stories or 150 feet, whichever is less ^{3,4} Nonresidential: 8 stories or 120 feet, whichever is less ^{3,4}	Mixed-use: 14 stories or 150 feet, whichever is less ^{3,4} Nonresidential: 8 stories or 120 feet, whichever is less ^{3,4}	8 stories or 85 feet, whichever is less ³	
Maximum Height With Incentives	300 feet ^{4b}	Outside TOD Focus Area: 230 feet ⁴ Inside TOD Focus Area: 300 feet ^{4b}	160 feet ⁴	See RZC 21.12.600 for incentive related adjustments to building height.
Ground Floor Ceiling Height (Minimum) in TOD Focus Area	16 feet ^{5,6}	16 feet ^{5,6}	14 feet ⁵	Ground floor ceiling height not applicable outside of TOD Focus Area
Maximum Impervious Surface	100% ⁷	80% ⁷	60% ⁷	

Notes:

1 The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded and no building is less than the minimum building height. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC [21.55.600](#) (see note 1 for Table 21.55.600), the FAR for those spaces may be excluded from maximum FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC [21.36.400](#) open space design requirements.

2 [Minimum building height](#)

[a.](#) Portions of a building may be lower than the minimum building height providing that 80 percent of the building meets or exceeds minimum building height. Covered entryway features, including port-cochere pick-up and drop-off zones, are exempt from minimum building height requirements. Sites with multiple buildings may average building heights provided 80 percent of the buildings or portions of buildings on the project site meet or exceed minimum building height.

[b. Accessory and temporary building are exempt.](#)

3 Maximum height is limited to three stories or 35 feet, whichever is less, within 150 feet of adjacent Neighborhood Residential zoning districts or equivalent zoning district outside of Redmond.

4 Building Height Exemptions:

- a. Maximum building height does not include mechanical equipment (see RZC [21.58.5200.C.4](#), Tower Rooftop, for rooftop screen design standards).
- b. Where rooftop amenities are offered, including restaurants, observation areas, childcare and activity spaces, and services for tenants and/or are publicly accessible, those amenity spaces may exceed the maximum building height by one story or 14 feet, whichever is greater, but may not exceed 30 stories.
- c. Maximum building height may be exceeded for ground floor ceiling heights in greater than the minimum required (see note 6b below).

5 Exemptions From Ground Floor Ceiling Height Requirements:

- a. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
 - b. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.
- [c. Accessory and temporary building are exempt.](#)

6 A minimum of 50 percent of the first-floor space must meet the minimum ceiling height. At no point do the first-floor nonresidential spaces have a ceiling height of less than 14 feet.

a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or midblock connections, and in parking garage loading/unloading and waste pickup areas.

b. For portions of the building that have a first-floor ceiling height greater than 14 feet, the additional ground floor ceiling height may increase the maximum building height (example: if first floor is 20 feet, the maximum building height increases by six feet (20 - 14 = 6 additional height)).

7 Other regulations will impact the impervious surface area and may result in less than the maximum allowed, including open space and landscaping requirements, parking, midblock connections, utility easements, stormwater management, etc. To meet stormwater management, the infiltration capacity of the soil must be evaluated and the building designed to accommodate full infiltration of roof areas where feasible.

(Ord. 3186; Ord. 3220)

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Exhibit 5:**Chapter 21.13****MARYMOOR VILLAGE REGULATIONS**

Sections:

- 21.13.100** Marymoor Village Center Zones.
- 21.13.110** References.
- 21.13.150** Transition to New Standards.
- 21.13.200** Marymoor Village Development Regulations.
- 21.13.300** Marymoor Village Street Typology and Relationship to Buildings.

[No edits to sections 100, 110, 150, or 300.]

...

21.13.200 Marymoor Village Development Regulations.

- A. All legal lots are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings, provided all other applicable site requirements are met.
- B. Each zone has a minimum FAR; the minimum FAR is the minimum required FAR for a development proposal requiring a land use permit, excluding administrative modifications. In no case shall proposed FAR exceed the maximum combined FAR.
- C. Master plans are required for all developments encompassing at least three acres and are optional for sites under three acres.
- D. The following table contains the basic zoning regulations that apply to development within the Marymoor Core (MMC), Marymoor Edge (MME), and Marymoor Manufacturing (MMM) zoning districts.

Table 21.13.200.D. Marymoor Village Development Standards

Development Standards	Marymoor Village Districts	Notes
-----------------------	----------------------------	-------

	MMC	MME	MMM	
Min. FAR	1.5	1.5	0.5	
Max. FAR (no incentives / with incentives)	3.0 / 8.0 ¹	2.54 / 8.0 ¹	1.4 / 2.0 ¹	See RZC Chapter 21.55 for incentive adjustments to FAR
Max. Height (no incentives / with incentives)	45 ft. / 144 ft. ²	38 ft. / 144 ft. ²	38 ft / 45 ft ²	<ul style="list-style-type: none"> • See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.13.300.E, upper story step-backs, and RZC 21.58.5200, Towers, for additional regulations regarding building heights and floorplates. • Development above six stories does not qualify for the Marymoor Village Infill Exemption (see RZC 21.70.095).
Ground Floor Ceiling Height (min.) in TOD Focus Area	16 ft ^{3,4}	16 ft ^{3,4}	16 ft ^{3,4}	<ul style="list-style-type: none"> • Applicable to nonresidential and mixed-use projects. • See RZC 21.13.300.D, Ground Floor Uses.
Max. Impervious Surface	75% ⁵	70% ⁵	70% ⁵	
Min. Land Dedication for Stormwater Infiltration	7%	7%	7%	
Max. Lot Coverage	70%	65%	55%	

Notes:

1 FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC [21.36.200](#), the FAR for those spaces may be excluded from max FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC Chapter [21.36](#), Open Space.

2 Properties in the CARA

a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).

b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all the following criteria are met:

- i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
- ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
- iii. The additional height on street frontages meets a 20-foot step-back to limit impacts to the pedestrian realm.

3 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

4 A minimum of 50 percent of the first-floor nonresidential space must meet the minimum ceiling height of 16 feet.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first-floor ceiling height greater than 10 feet to meet minimum ground-floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if the first floor is ~~16.20~~ feet, the maximum building height increases by ~~six~~ ~~10~~ feet (16 - 10 = 6 foot increase in max building height).

5 Other regulations will impact the impervious surface area and may result in less than the maximum impervious area. These include but are not limited to critical areas requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

(Ord. 3220)

...

Exhibit 6:**Chapter 21.20****AFFORDABLE HOUSING**

Sections:

21.20.010	Purpose.
21.20.020	Applicability.
21.20.030	General Requirements and Incentives.
21.20.040	Implementation Provisions.
21.20.050	Alternative Compliance Methods.
21.20.060	Supplemental Requirements.
21.20.070	Affordable Senior Housing.
21.20.080	Affordable Housing Agreement.

...

21.20.020 Applicability.

A. This chapter applies to:

1. All new residential and mixed-use developments, except manufactured homes parks and manufactured homes sited within manufactured home parks;
2. All new senior housing developments and congregate care dwelling units, not including nursing homes.

B. Payment in lieu applies to qualifying developments in the Neighborhood Residential Zone as defined in RZC [21.20.060.A.1.b](#). (Ord. 2753; Ord. 3186; Ord. 3220)

21.20.030 General Requirements and Incentives.

A. Pursuant to RCW [36.70A.540](#), the City finds that the higher income levels specified in the definition of “affordable housing” set forth in the definitions section of this Zoning Code are necessary to address local housing market conditions in the City. The income levels specified in

the definitions section of this Zoning Code are used in lieu of the “low-income household” income levels set forth in RCW [36.70A.540](#).

B. Certain provisions in RZC [21.20.030](#) such as affordability levels, quantity of required affordable housing units, payment in lieu obligations, development unit count thresholds for applicability of affordable housing requirements, bonuses, and other considerations, may not apply or may be superseded as otherwise specified in RZC Chapter [21.20](#), Affordable Housing, or RMC Chapter [3.38](#), Multifamily Housing Property Tax Exemption.

C. Unless superseded in RZC Chapter [21.20](#), Affordable Housing, or elsewhere in the Redmond Zoning Code, at least 10 percent of the units in new housing developments in those areas specified in RZC [21.20.020](#), Applicability, of 10 units or greater must be affordable housing units made affordable to households earning up to 80 percent AMI, adjusted for household size. RZC Chapter [21.20](#) requirements pertaining to affordable unit household earnings must be adjusted for household size.

D. There are no bonus market rate units or density bonuses for affordable housing units unless otherwise specified.

E. **Reserved:** Substitutions of 50 percent AMI units. Unless superseded by other provisions in RZC 21.20, Affordable Housing, developments may provide 50 percent AMI affordable housing units to satisfy affordable housing unit requirements of 80 percent AMI affordable housing units. Each 50 percent AMI affordable housing unit provided counts as two 80 percent AMI affordable housing units for the purpose of satisfying the affordable unit requirements associated with that development.

F. **Rounding.** The number of required affordable housing units is determined by rounding fractional numbers up to the nearest whole number from 0.5. Certain provisions in RZC [21.20.030](#) on rounding may not apply or may be superseded as otherwise specified in RZC Chapter [21.20](#), Affordable Housing, or RMC Chapter [3.38](#), Multifamily Housing Property Tax Exemption.

G. *Reserved.*

H. *Reserved.*

I. Depending on the level of affordability provided, the affordable housing units may be eligible for the transportation impact fee exemptions described in RMC [3.10.105](#).

J. Multifamily properties providing affordable housing may be eligible for property tax exemption as established in RMC Chapter [3.38](#).

K. Measurement in square feet of floor area of all affordable units is defined by the gross leasable area within the unit.

L. Accessory dwelling units (ADUs) may be used to meet the requirements of RZC [21.20.030](#) in the Neighborhood Zones; provided, that the ADU is at least 900 square feet: **and all other applicable RZC 21.20 requirements are satisfied, including an affordable housing agreement as described in RZC 21.20.080.**

(Ord. 2733; Ord. 2803; Ord. 2883; Ord. 2958; Ord. 2978; Ord. 3186; Ord. 3220)

....

Redmond Zoning Code in effect at the time of the issuance of the land use permit(s). (Ord. 2803; Ord. 3186; Ord. 3220)

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

Disclaimer: The City Clerk's Office has the official version of the Redmond Zoning Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

[City Website: www.redmond.gov](http://www.redmond.gov)

[Hosted by General Code.](#)

Exhibit 7:
Chapter
21.24 FENCES

Sections:

21.24.010	Purpose.
21.24.020	<i>Repealed.</i>
21.24.030	Height.
21.24.040	Prohibited Locations.
21.24.050	Electric, Barbed Wire, and Swimming Pool Fences.
21.24.060	Additional Residential Neighborhood Requirements.

21.24.010 Purpose.

~~A. Protect or enhance property and life and that are compatible with residential neighborhoods while protecting the public from hazardous fences or fences that may blight residential neighborhoods;~~

Allow privacy while maintaining a built environment that is cohesive with the surrounding community.

B. Protecting the public from hazardous fences.

~~B. Increase visibility of front yards by using the principles of the Crime Prevention Through Environmental Design (CPTED) Program to increase public safety and to deter crime;~~

C. Promote and enhance the City's neighborhoods as walkable places and reduce impacts on the pedestrian experience that may result from taller fencing;

D. ~~Maintain the open space character of certain residential neighborhoods and~~ **P**romote public view corridors by encouraging the application of **lower-height fencing.** non-solid styles of fencing, and landscaped screens.

Effective on: 4/16/2011

21.24.020 Permits.

Repealed by [Ord. 3153](#).

Effective on: 4/16/2011

21.24.030 Height.

A. **Maximum Height.** The maximum height of fences shall be as follows; provided, that the requirements of RZC [21.52.040](#), *Sight Clearance at Intersections*, are met:

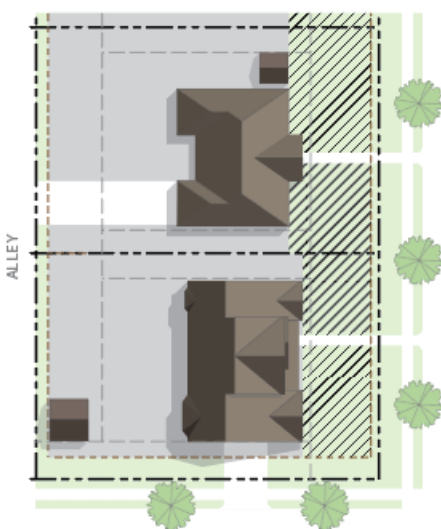
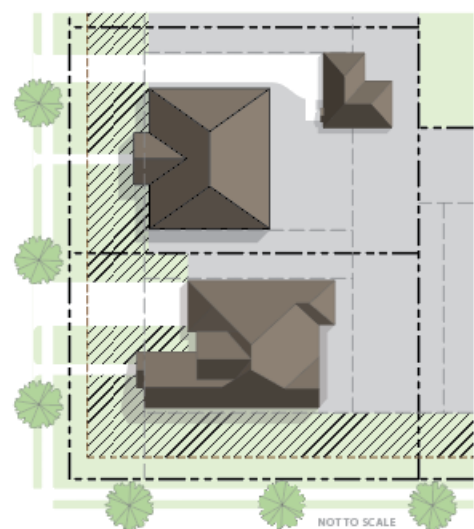
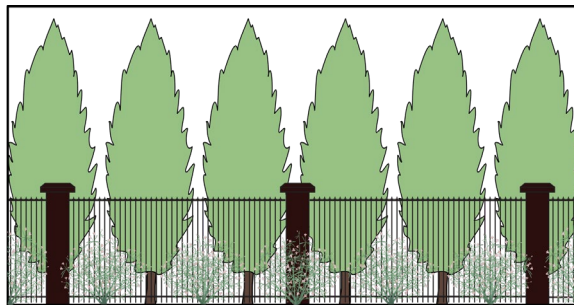
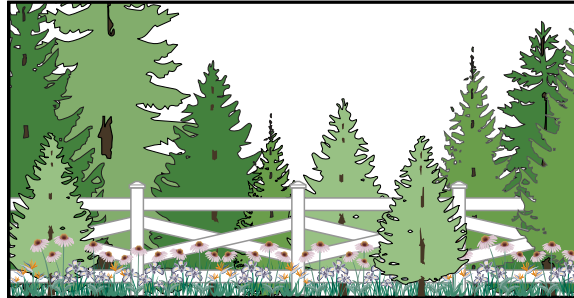
Table 21.24.030.A			
Maximum Fence Height			
Zones	Permitted Height Permitted Height (1)(2)(3)		
<p>UR, RA-5, NR, NMF, Centers (Downtown, Marymoor, Overlake)</p>	<p style="color: red;">Six feet anywhere on the lot (see RZC 21.24.060, <i>Additional Residential Neighborhood Requirements</i>, for additional information)</p> <div style="display: flex; justify-content: space-around; align-items: center;">   </div> <p style="text-align: center;">RESIDENTIAL STREET</p> <p style="text-align: right;">NOT TO SCALE</p> <p>LEGEND</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <ul style="list-style-type: none"> Property Lines Setback Lines Utility Easement </td> <td style="width: 50%; vertical-align: top;"> <ul style="list-style-type: none"> In front yard setback A Rear and side yard setbacks B </td> </tr> </table> <p>A <u style="color: red;">Walls and fences located in any front yard must be 4 feet or less otherwise</u></p> <p>B <u style="color: red;">6 feet</u></p>	<ul style="list-style-type: none"> Property Lines Setback Lines Utility Easement 	<ul style="list-style-type: none"> In front yard setback A Rear and side yard setbacks B
<ul style="list-style-type: none"> Property Lines Setback Lines Utility Easement 	<ul style="list-style-type: none"> In front yard setback A Rear and side yard setbacks B 		

Table 21.24.030.A Maximum Fence Height	
Zones	Permitted Height Permitted Height (1)(2)(3)
All other zones	Eight feet anywhere on the lot, subject to landscaping requirements in RZC Chapter 21.32 , <i>Landscaping</i>
<p>(1) <u>This excludes areas of a lot regulated by RZC 21.52.040 – Sight Clearance at Intersections, where the height limit may be lower.</u></p> <p>(2) <u>Maximum fence height may be exceeded without the requirement for a variance when specified in federal or state requirements due to safety and security. Documentation of this requirement shall be provided by the applicant and approved by the Administrator.</u></p> <p>(3) <u>When the City’s Building Code has requirements, such as where a guard rail is required to be placed atop a retaining wall or rockery, additional height is permitted but additional height must not exceed the minimum required to meet the building code.</u></p>	

Figure 21.24.030 B**Examples of Low See-Through Fences**

Low, see-through fences (maximum height 42 inches) can add variety and human scale.

B.—Fences Adjacent to Rockeries or Retaining Walls.—

1.—Where a fence and a rockery or retaining wall lying within a building setback area are within five feet of each other, the combined height of the fence and rockery or retaining wall shall not exceed a maximum of eight feet except as provided in [RZC 21.24.030.B.2](#) and [B.3](#):

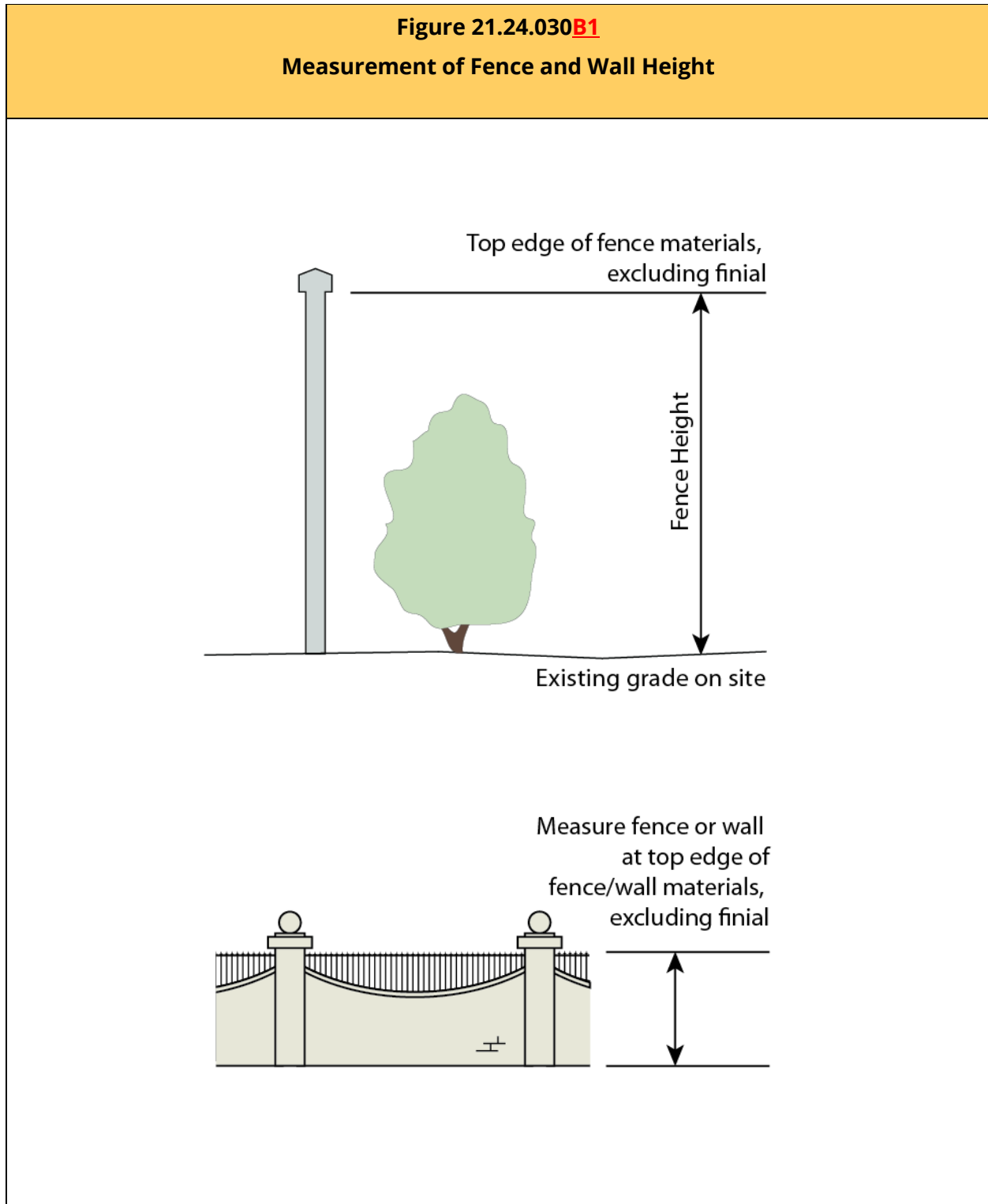
2.—Staff may approve a modification to the combined height limit for fences and rockeries or retaining walls if either:

- a.—The City's Building Code requires additional height, such as where a guard rail is required to be placed atop a retaining wall or rockery; or
- b.—The design of the rockery or retaining wall includes terraces that are deep enough to incorporate landscaping or other techniques that reduce the visual mass of the wall, and the fence is designed to be no more than 50 percent solid.

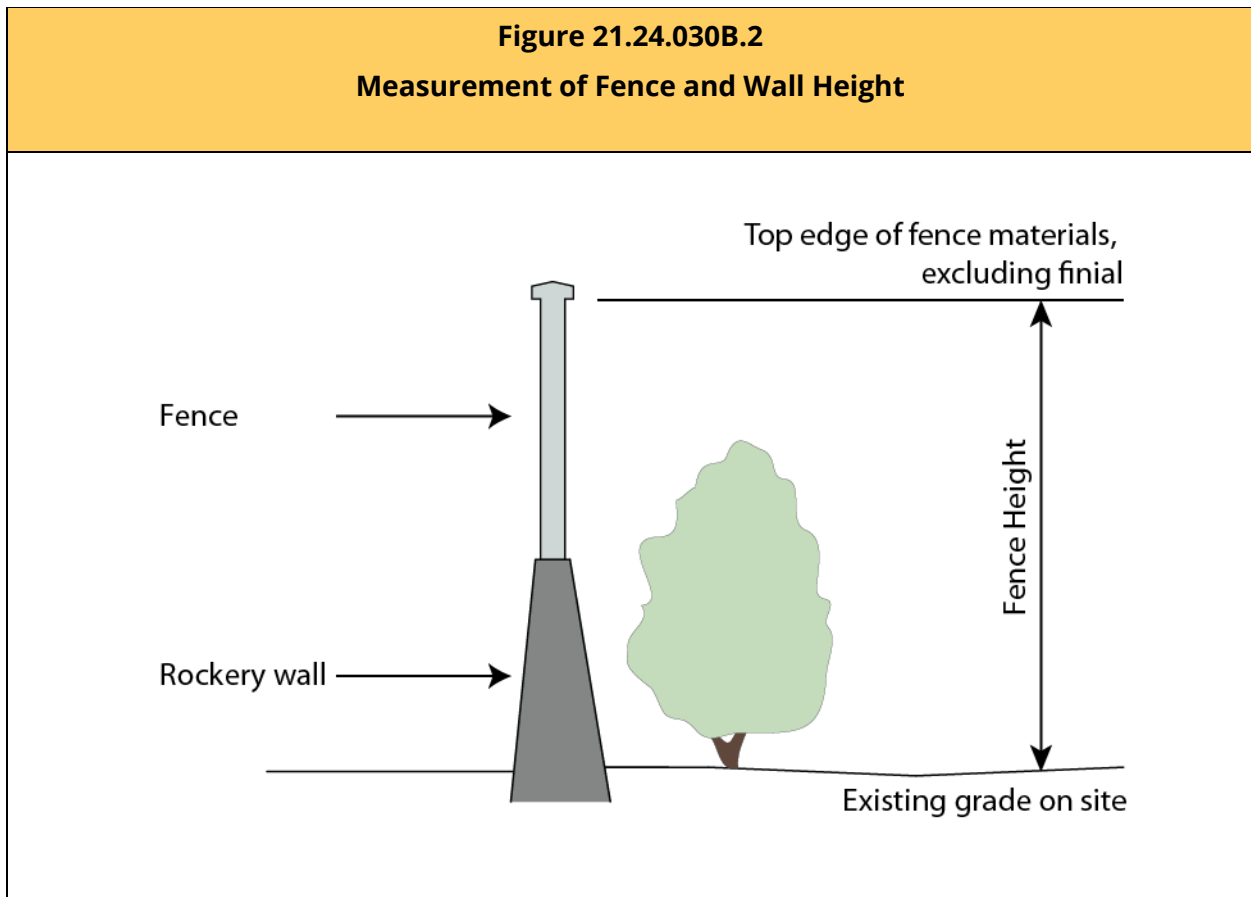
3.—The Technical Committee may approve a modification to the combined height limit for fences and rockeries or retaining walls if the modification is necessary because of the size, configuration, topography, or location of the subject property, to provide the property with the use rights and privileges permitted to other properties in the vicinity or zone in which the property is located, and the modification will not be materially detrimental to the public welfare or to abutting properties:

B. Fences combined with Rockeries and Retaining Walls Height. Fence and wall height shall be measured as follows:

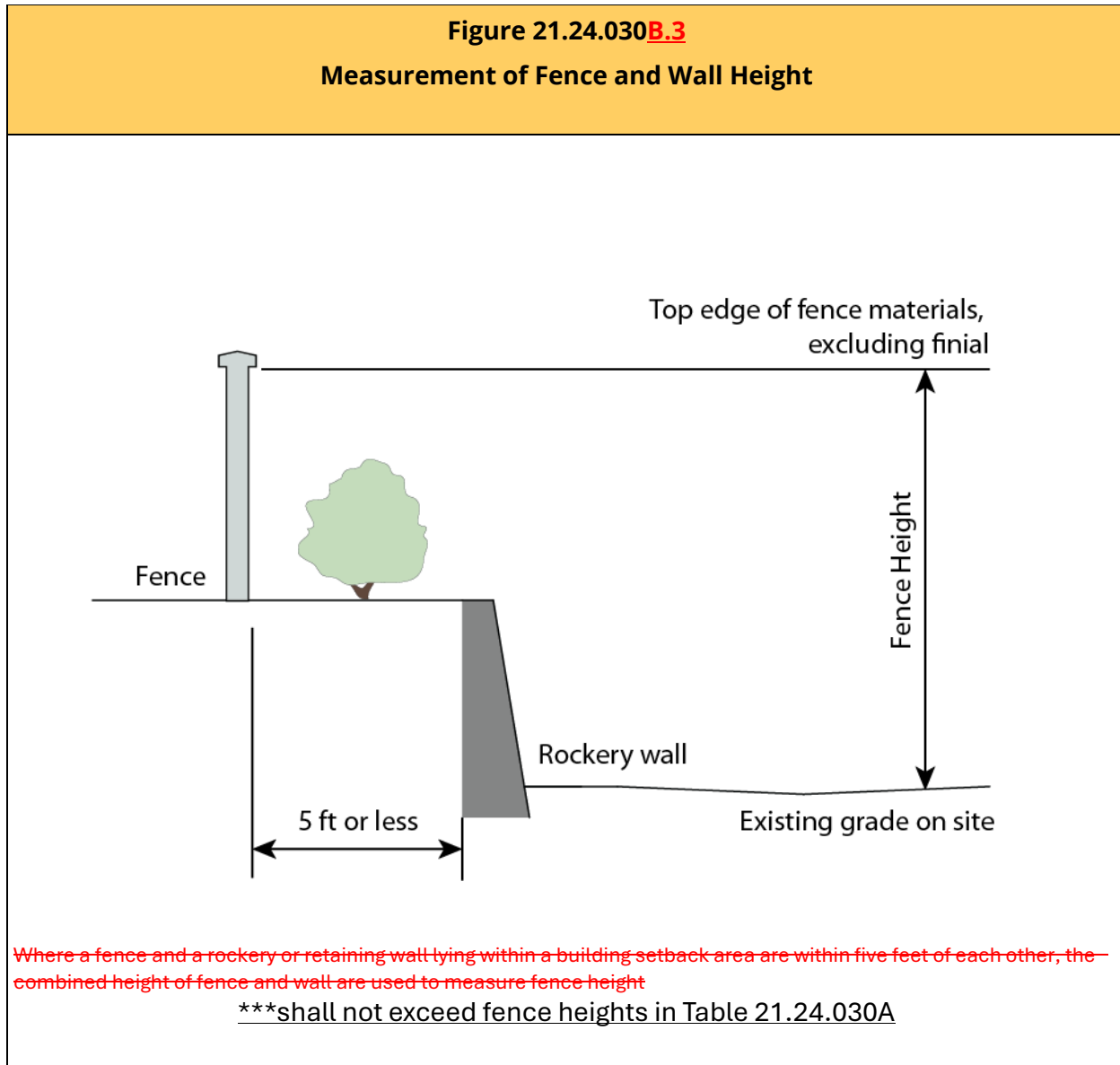
1. Fence height shall be measured as the vertical distance between the existing grade on the site at the base of the fence and the top edge of the slats or other fence material (exclusive of fence posts). See Figure 21.24.030 B1



2. Fence height when fences are on top of a wall/rockery must not exceed fence heights in Table 21.24.030A.



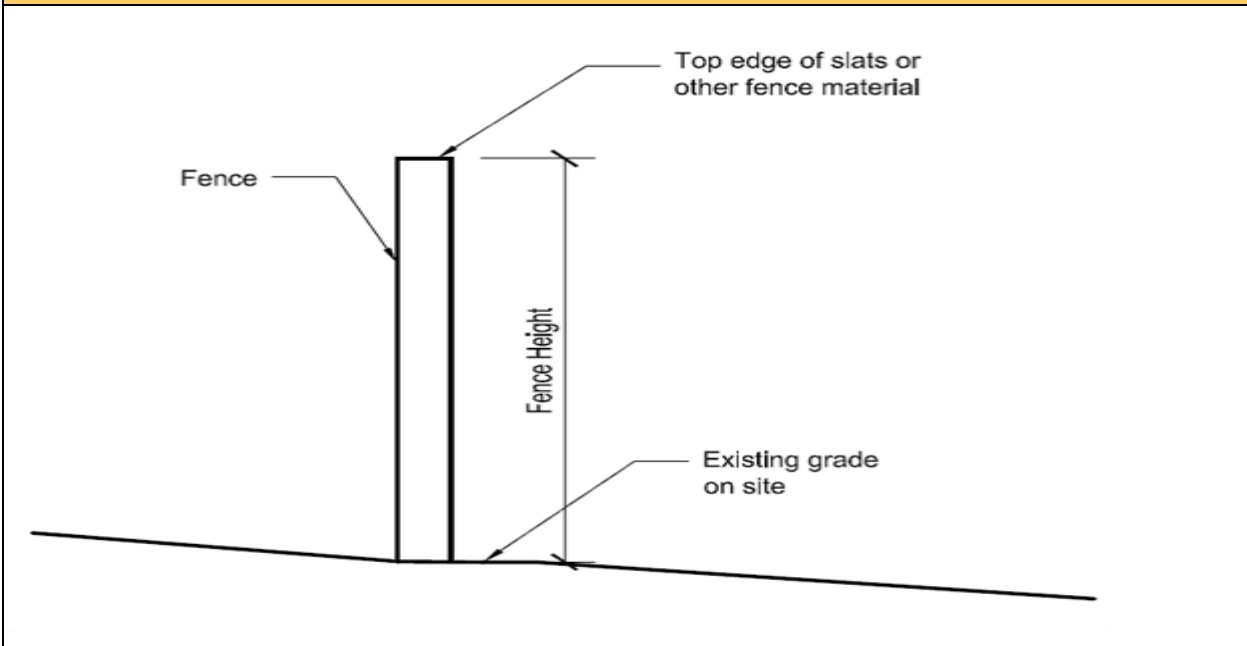
3, A fence and a rockery or retaining wall within five feet of each other, the combined height of the fence and rockery or retaining wall shall not exceed fence heights in Table 21.24.030.A



C.-Measurement of Fence and Wall Height. For purposes of this chapter, fence and wall height shall be measured as follows:

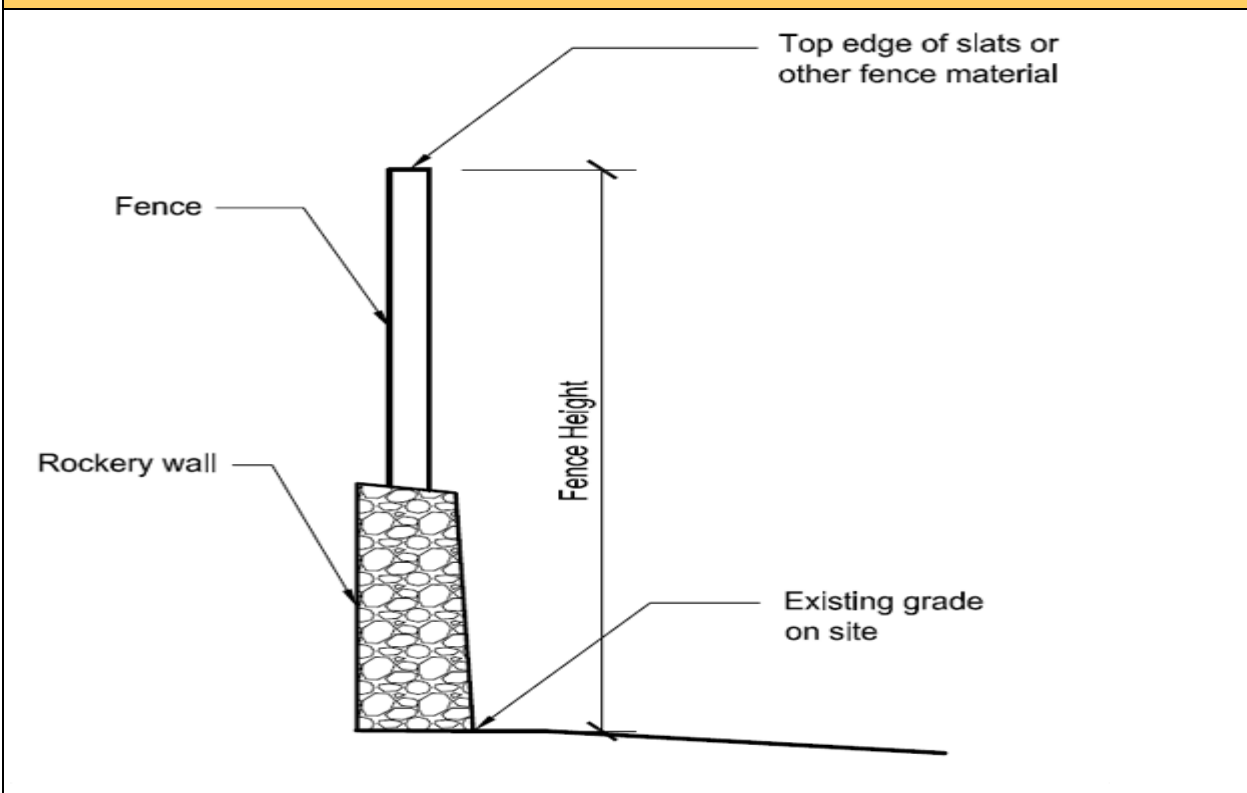
1.-Fence height shall be measured as the vertical distance between the existing grade on the site at the base of the fence and the top edge of the slats or other fence material (exclusive of fence posts):

Figure 21.24.030A
Measurement of Fence and Wall Height



2.—The combined height of fencing placed on top of a wall or rockery shall be measured as the vertical distance between the existing grade on the site at the base of the wall and the top edge of the slats or other fence material (exclusive of posts):

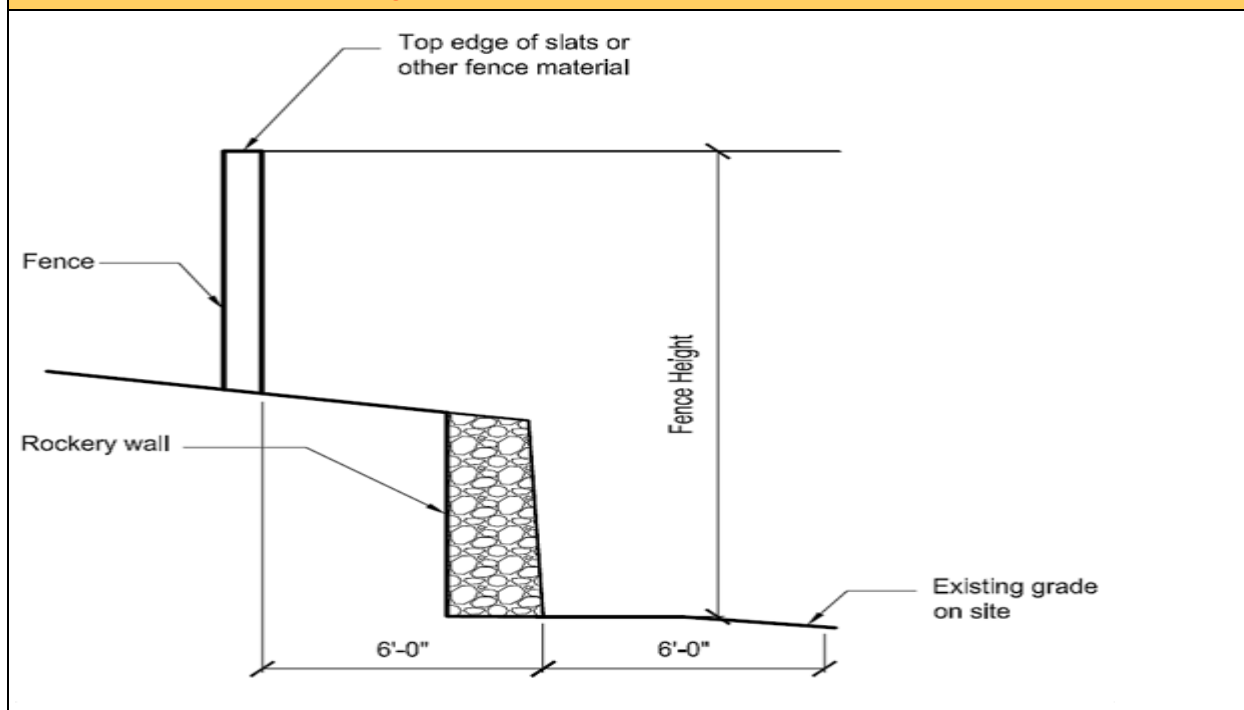
Figure 21.24.030B
Measurement of Fence and Wall Height



3.—Where the grade within six feet of the base of a fence or wall differs from one side of the fence or wall to the other (as—

when a fence is placed at the top or bottom of a slope or at the top of a rockery or retaining wall), the height shall be measured from the side with the lowest existing grade.

Figure 21.24.030C
Measurement of Fence and Wall Height



(Ord. 3153; Ord. 3220)

Effective on: 6/18/2018

21.24.040 Prohibited Locations.

Fences are prohibited in critical areas, critical area buffers, native growth protection areas, designated greenbelts, and designated open space, except as required by RZC [21.64.010.R.2](#).

Effective on: 4/16/2011

21.24.050 Electric, Barbed Wire, and Swimming Pool Fences.

Electric, barbed wire, and swimming pool fences are permitted or required as follows:

Table 21.24.050			
Electric, Barbed Wire, and Swimming Pool Fences			
Fence Type	Permitted Zones	Special Requirements	Other Code Requirements
(A) Electric Fences	UR, RA-5 May be used in conjunction with the keeping of large domestic animals where allowed in NR through NMF zones.	A. Permanent signs must be posted every 50 feet stating that the fence is electrified. B. Fences, appliances, equipment, and materials must be listed or labeled by a qualified testing agency and be installed in accord with manufacturer's specifications. C. Except in the UR zone, all electric fences must be set back at least two feet from property lines adjacent to public rights-of-way and NR through NMF zones, and a second and more substantial fence with a mesh size small enough to prevent a child from reaching through, shall be located along the property line. D. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).	All electric fences must comply with RMC Chapter 15.12 , <i>Electrical Code</i> .
(B) Barbed or Razor Wire Fences	UR, RA-5, but not along property lines adjacent to other residential and commercial zones <u>and parks, open</u>	A. Commercial storage, utility and public uses may use barbed wire only on top of a fence at least six feet in height. The barbed wire shall not extend more than 18 inches above the top of the fence. B. Prohibited when fronting shoreline public access areas (Shoreline Public Access System	None

Table 21.24.050 Electric, Barbed Wire, and Swimming Pool Fences			
Fence Type	Permitted Zones	Special Requirements	Other Code Requirements
	space, trails, and gardens.	Map, Figure S-1 of the Shoreline Master Program).	
(C) Swimming Pool Fences	All zones	All outdoor swimming pools must be surrounded with a fence at least five feet in height.	All swimming pool fencing must comply with King County Health Department requirements.

(Ord. 3220)

Effective on: 6/18/2018

~~21.24.060 — Additional Residential Neighborhood Requirements:~~

~~A. — The following additional fence, rockery wall, and retaining wall requirements apply to properties located in the neighborhoods listed. The boundaries of each neighborhood are set forth in the Redmond Comprehensive Plan, Map LU-1. Where a conflict exists between the neighborhood requirements in RZC 21.24.060 and the other provisions of this chapter, the requirements of RZC 21.24.060 shall control. Where there is no specific regulation listed for the neighborhood, the other provisions of this chapter control.~~

Table 21.24.060 Additional Neighborhood Requirements				
Neighborhood	Applicability	Fence or Wall Height	Design Requirements	Other Requirements
Education Hill	Applies to fences and walls in the front yard setback or adjacent to public recreational trails.	42 inches when built in the front setback (See Figure 21.24.060, except where home fronts onto arterial street.)	A. No sight-obscuring fencing materials allowed. B. Fence must be of a non-solid type, such as split rail fencing or split rail fencing combined with dark-colored vinyl or powder-coated chain link fence.	New gated communities in short subdivisions and subdivisions with security fencing are prohibited.

Table 21.24.060 Additional Neighborhood Requirements				
Neighborhood	Applicability	Fence or Wall Height	Design Requirements	Other Requirements
North-Redmond (except Wedge Subarea)	Applies to fences and walls in the front yard setback or adjacent to public view corridors, and public recreational trails.	42 inches in any front setback area, and 42 inches in any street side or rear setback area adjacent to an identified pedestrian or public view corridor. (See Figure 21.24.060)	A. No sight-obscuring fencing materials allowed. B. Fence must be of a non-solid type, such as split rail fencing or split rail fencing combined with dark-colored vinyl or powder-coated chain link fence.	None
North-Redmond-Wedge Subarea	Applies to the Wedge Subarea defined in the Neighborhoods Element of the Comprehensive Plan.	No special height requirements	Private residential fences may be constructed and maintained along and west of the western edge of the required maintenance easement for retaining systems on the west side of Redmond-Woodinville Road.	
Willows/Rose-Hill	Applies to fences in the front yard setback.	42 inches	No special design requirements	New gated communities in short subdivisions and subdivisions with security fencing are prohibited.

B.—The Administrator may approve alternative materials or a combination of materials for the fences and walls described above when such alternative materials or combinations are demonstrated to better meet the intent of this chapter.

C.—The Administrator may also approve deviations from the maximum fence height requirements set forth in the above table in the North-Redmond and Willows/Rose-Hill Neighborhoods for fencing associated with swimming pools, landscaping alternatives (such as landscaped berms), or other designs that clearly meet the intent of this chapter.

Figure 21.24.060
Low See-Through Fences



Low, see-through fences (maximum height 42 inches) can add variety and human scale.

(Ord. 3220)

Effective on: 6/18/2018

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

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[City Website: www.redmond.gov](http://www.redmond.gov)

[Hosted by General Code.](#)

Exhibit 8:

Chapter 21.25 RETAINING

WALLS

21.25.010 Purpose

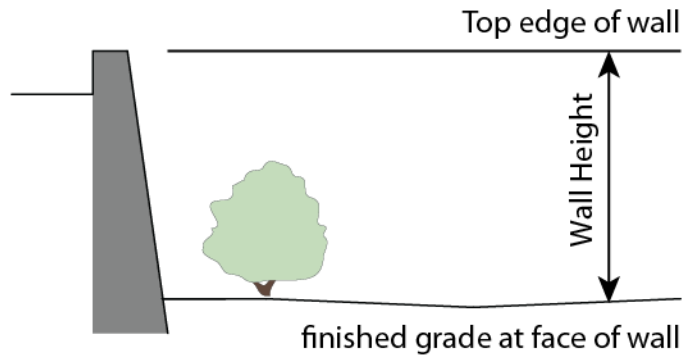
The purpose of this chapter is to provide for retaining walls and rockeries that:

- A. Minimize modification of the existing topography of properties in the City, by minimizing the amount of earth being exported or imported to a site, and to minimize the height of walls related to development.
- B. Minimize the visual impact of retaining walls having excessive heights that may be detrimental to the aesthetics of neighborhoods or nearby properties.
- C. Maintain compatibility with the nearby properties by minimizing changes in topography and excessive excavation.

21.25.100 Height

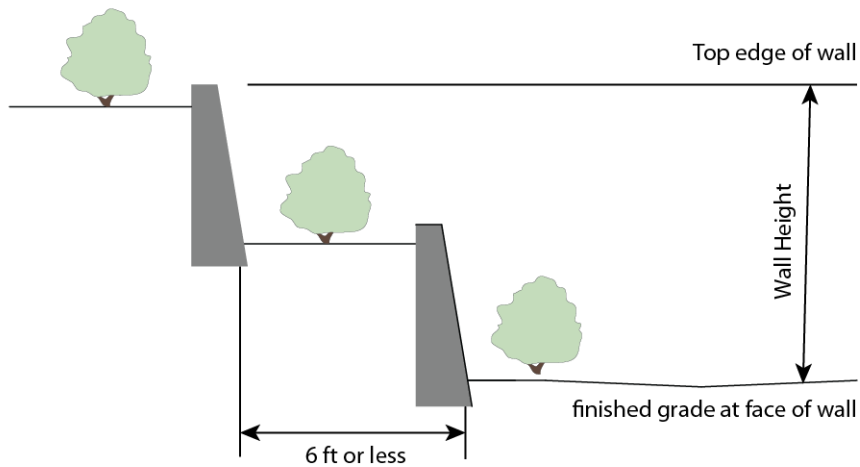
- A. Retaining wall and rockeries shall have a maximum wall height of 8 feet. Deviation requests may be approved subject to provisions of 21.25.300
- B. Measurement of Wall Height. For purposes of this chapter, retaining wall and rockery height shall be measured as follows:
 - 1. Retaining walls and rockeries height shall be measured as the vertical distance between finished grade at the face of wall to the top of the wall.

Figure 21.25.100.B.1. Retaining wall measurement



2. Retaining walls and rockeries with 6 feet or less horizontal separation between tiers, shall be measured as one retaining structure for determining the wall height. Horizontal separation shall be measured as the distance between the face of the lower wall to the face of the upper wall.

Figure 21.25.100.B.2. Measurement for retaining walls closer than 6 ft apart



21.25.200 Terraced RETAINING WALLS [RESERVED]

21.25.300 Deviations

A. The Technical Committee may approve a deviation to the height limit for rockeries and retaining walls if the deviation is necessary because of the size, configuration, topography, or location of the subject property, to provide the property with the use rights and privileges permitted to other properties in the vicinity or zone in which the property is located, and the modification will not be materially detrimental to the public welfare or to abutting properties.

B. The deviation will not be granted for the purposes of increasing building area or usable lot space.

21.25.400 Prohibited Locations

A. Retaining walls and rockeries **are** prohibited in critical areas (except critical aquifer recharge areas), critical area buffers, native growth protection areas, designated greenbelts, and designated open space, and public and private easements except as required by RZC [21.64.010.R.2.](#)

B. Private retaining walls and rockeries and their associated wall drain(s) and backfill shall be entirely within the private property in which they are installed and shall be placed outside of the public right-of-way.

21.25.500 Additional Requirements

- A.** Planner and Engineer approval is required prior to Technical Committee approval.
- B. All retaining walls and rockeries constructed to support land used for new private development shall be placed outside of the public right-of-way and public and private easements.
- C.** Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh must not extend into the public right-of-way and public easements. Tiebacks and soils nails are allowed to extend into public right-of-way with an approved Right-of-Way Use Agreement.
- D.** Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh **extending into private property require a private easement on that property.**

- E. Retaining walls within the street section that are necessary for the street, that will be visible to the general public, and above 4 feet in height shall be constructed of either cast-in-place concrete or shotcrete, with a finish that reproduces the look of stone or masonry or having geometric patterns on the wall face. Allowable finish methods will be either stamped finish, sponge finish, troweled patterns, or modular blocks. Wall type and aesthetic pattern shall be approved by the Administrator.
- F. Install rockeries **and retaining walls** per **City Standard Specifications and Standard Details**.
- G. All retaining walls and rockeries must also meet the design standards in Section 5.6.7 “Rockeries/Retaining Walls” in the Stormwater Technical Notebook 2025 -- Issue 9A, **or its successor**.
- H. Retaining walls above 4-feet in height in the lot frontage **and** must have landscaping for visual screening according RZC 21.32 Landscaping with approval by Planning and Engineering.

Figure 21.25.500.H. Retaining wall landscape screening example

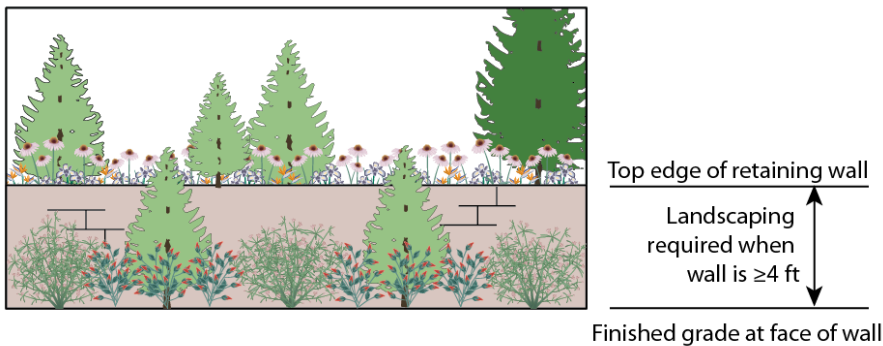


Exhibit 9:
Chapter 21.36
OPEN SPACE

Sections:

21.36.010	Purpose.
21.36.020	Applicability.
21.36.030	Types of Open Space.
21.36.040	<i>Repealed.</i>
21.36.050	<i>Repealed.</i>
21.36.100	Mixed-Use and Urban Residential Open Space Requirements.
21.36.200	Publicly Accessible Enhanced Amenities Spaces (PEAS).
21.36.300	Residential Open Space Requirements.
21.36.400	Design Requirements.
21.36.500	Open Space Disposition and Maintenance.

Administrative note: there are changes only to section 200.

21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).

A. **Purpose.** ... *Administrative note: there are no changes to subsections A through D.*

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E. **PEAS Uses.**

1. PEAS may be designed to take advantage of incentive options such as child-friendly amenities and small business support, including but not limited to pop-up retail, kiosks, and performance stage, etc. Recommended child-friendly features include, but are not limited to:

a. Adjacent or nearby public restroom facilities that are open at minimum for the same duration as the amenities. Restroom facilities must provide child changing

stations (if providing restrooms by gender, changing tables must be provided in restrooms for all genders).

b. Seating for parents and caregivers that is integrated into or adjacent to the amenity provided, with the number of seats provided in scale with the occupancy load of the amenity space.

2. PEAS spaces may be used for Food Truck and Pop-Up Retail Court if the site meets the requirement in RZC 21.04.2140 and are included on the PEAS site plan.

a. Court uses can be approved with the site plan for PEAS as a consolidated review.

b. An Administrative Modification can be used to add Court uses to a previously approved PEAS location.

3. Uses in the PEAS space that typically require a temporary use permit (seasonal sales, events, etc.), will not require an individual temporary use permit if the use is reviewed and approved as part of the court site plan approval.

a. The PEAS site plan must include locations for indicated temporary uses, maximum occupancy, and show how the health, safety, and other impacts and considerations are mitigated at the site plan approval.

b. Temporary uses not included as part of the court site plan approval will require a temporary use permit.

Exhibit 10:**Chapter 21.40****PARKING STANDARDS****Sections:**

21.40.010 Vehicle Parking. Revised

21.40.020 Bicycle Parking Requirements and Standards.

21.40.030 Electric Vehicle Charging Stations.

Administrative note: there are only changes to section 010.

21.40.010 Vehicle Parking.

A. **Purpose.** ... *Administrative note: there are no changes to subsection A.*

B. **Scope.** ... *Administrative note: there are no changes to subsection B.*

C. **Administration.** In the administration of RZC 21.40.010, the following rules shall be used:

1. *Nonconforming Parking.*

a. A development that met the parking requirements in effect at the time it was approved but that does not have sufficient parking spaces to meet the current requirements of RZC Chapter 21.40 may continue to operate with the parking deficiency as long as no enlargement is made that would require additional parking spaces;

b. When a development with nonconforming parking is enlarged so as to require additional parking spaces, the requirements of RZC Chapter 21.40 shall apply only to the enlargement;

c. When a preexisting building with nonconforming parking is remodeled or rehabilitated but not enlarged, the existing use of the building may continue without

providing additional parking. In the event that the land use is increased by an addition of building square footage, the minimum level of parking required, including bicycle parking required by RZC Chapter 21.40, consistent with the increased land use affected by the change must be provided, or an approved Mobility Management Program, as provided in RZC 21.52.020, Mobility Management Program, must be implemented for the site that effectively reduces parking demand;

d. When additional uses are placed on the same lot with the nonconforming parking or an enlarged lot of which the lot with nonconforming parking is a part, the requirements of this chapter shall apply only to the additional use; and

e. Developments with nonconforming parking shall not be required to provide additional parking spaces when a change of use occurs, [either from non-residential to residential or non-residential to another non-residential use](#), or minor improvements are performed; provided, that the change of use or minor improvement does not enlarge the structure or increase the amount of nonconformity;

f. Developments, sites, and structures in Downtown, Overlake, and Marymoor Village where a portion of the sites and/or structures have been obtained under threat of condemnation shall not be required to provide additional parking spaces than that which was sufficient to meet the requirements in place during the most recent development or construction of the site.

2. *Separate Parking Facilities.* A parking facility that is required for one establishment shall not be considered as part of the parking facility required for any other enterprise, except for cooperative parking as provided in RZC 21.40.010.F, General Parking Requirements.

3. *Site Plan Entitlement Required.* All proposed parking facilities are subject to the site plan entitlement process of RZC 21.76.070.Y, Site Plan Entitlement.

4. *Car-Sharing Parking.* In all zones except Neighborhood Residential, required parking spaces may be occupied by car-sharing vehicles.

D. Required Off-Street Parking.

1. The minimum required and maximum permitted number of off-street parking spaces for each land use is noted in the Parking Ratio Column of each zone. Where calculations of parking requirements result in fractional amounts, they shall be rounded up if 0.5 or over.

Table 21.40.010D. Required Off-Street Parking

	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed)³		
Use Class	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile¹ of Frequent Transit, Not in a TOD Focus Area	All Other Locations
Residential^{4,2}			
Dwelling unit, detached	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (1.0, -)
Dwelling unit, attached	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (1.0, -)
Accessory dwelling unit	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Tiny home	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Cottage	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Dwelling unit, multifamily	Dwelling unit (0, 1.0)	Dwelling unit (0.5, 1.25)	Dwelling unit (0.5, 2.0)
Mixed-use residential structure	Dwelling unit (0, 1.0)	Dwelling unit (0.5, 1.25)	Dwelling unit (0.5, 2.0)
Permanent supportive housing, transitional housing	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0.5, -)
Group Home/Congregate Housing			
Dormitory or residential suite	Bed (0, 1.0)	Bed (0, 1.0)	Bed (0, 1.0)
Adult family home	Dwelling unit (0, 2.0)	Dwelling unit (0, 2.0)	Dwelling unit (1.0, 2.0)
Long-term care facility	Patient bed (0, 0.25)	Patient bed (0, 0.25)	Patient bed (0, 0.25)
Residential care facility	Patient bed (0, 0.25)	Patient bed (0, 0.25)	Patient bed (0, 0.25)

	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed)³		
Use Class	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile¹ of Frequent Transit, Not in a TOD Focus Area	All Other Locations
Retirement residence	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.0)	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.0)	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.25)
Emergency housing or emergency shelter	Bed (0, 1.0)	Bed (0, 1.0)	Bed (0, 1.0)
Lodging			
Bed and breakfast inn or boarding house	Rental room (0, 1.0)	Rental room (0, 1.0)	Rental room (0, 1.0)
Hotel or motel	Rental room (0, 1.0)	Rental room (0, 1.0)	Rental room (0, 1.0)
General Sales or Service			
Retail sales	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Cannabis retail sales	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Business and service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Food and beverage	1,000 sq. ft. gfa (0, 5.0) No requirement for kiosks and vending carts	1,000 sq. ft. gfa (0, 7.5) No requirement for kiosks and vending carts	1,000 sq. ft. gfa (0, 9.0)
Drive-up stand	No requirement	No requirement	No requirement
Animal kennel/shelter	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)

Use Class	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed) ³		
	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile ¹ of Frequent Transit, Not in a TOD Focus Area	All Other Locations
All other general sales or service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Arts, Entertainment, and Recreation			
Arts, entertainment, recreation, and assembly	1,000 sq. ft. gfa (1.0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)
Golf course			Adequate to accommodate typical use
Natural and other recreational parks	1,000 sq. ft. land area (0, adequate to accommodate typical use)	1,000 sq. ft. land area (0, adequate to accommodate typical use)	1,000 sq. ft. land area (0, adequate to accommodate typical use)
Adult entertainment facilities	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Water enjoyment use	No requirement	No requirement	No requirement
Piers, docks, floats, and other water-oriented accessory structures	No requirement	No requirement	No requirement
Education, Public, Health, and Other Institutions			
Education, government, health care and other institutions	1,000 sq. ft. gfa (0, adequate to	1,000 sq. ft. gfa (0, adequate to	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)

Use Class	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed) ³		
	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile ¹ of Frequent Transit, Not in a TOD Focus Area	All Other Locations
	accommodate typical use)	accommodate typical use)	
Day care center	Employee on maximum shift (0, 1.0)	Employee on maximum shift (0 0.5, 1.0)	Employee on maximum shift (0 0.5, 1.0)
Family day care provider	No requirement	No requirement	No requirement
Faith-based and funerary	Assembly uses: 1,000 sq. ft. gfa (5.0, 10.0) or fixed seats (0.1, 0.2) All other uses: 1,000 sq. ft. gfa (1.0, 3.0)	Assembly uses: 1,000 sq. ft. gfa (5.0, 10.0) or fixed seats (0.1, 0.2) All other uses: 1,000 sq. ft. gfa (2.0, 3.0)	Assembly uses: 1,000 sq. ft. gfa (7.5, 10.0) or fixed seats (0.1, 0.2) All other uses: 1,000 sq. ft. gfa (2.0, 5.0)
Secure community transition facility	Adequate to accommodate typical use	Adequate to accommodate typical use	Adequate to accommodate typical use
All other uses	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Manufacturing and Wholesale Trade			
Manufacturing and wholesale trade	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)

Use Class	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed) ³		
	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile ¹ of Frequent Transit, Not in a TOD Focus Area	All Other Locations
Artisanal manufacturing, retail sales, and service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Cannabis processing	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
All other uses	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Transportation, Communication, and Utilities			
All uses except those below	1,000 sq. ft. fga (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)	1,000 sq. ft. gfa (2.0, 5.0)
Rapid charging station; local utilities; regional utilities; wireless communication facilities; automobile parking facilities; heliport; float plane facility	No requirement	No requirement	No requirement
Agriculture			
All uses	No requirement	No requirement	No requirement
Other			
Construction-related business	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Mining and extraction establishment	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)

Use Class	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed) ³		
	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile ¹ of Frequent Transit, Not in a TOD Focus Area	All Other Locations
Wetland mitigation banking	No requirement	No requirement	No requirement

¹ Distance to frequent transit is measured as the walking distance from the nearest property edge to the nearest station or stop with frequent transit.

² There is no minimum off-street parking requirement for middle housing located within one-half mile of a major transit stop as defined in RCW 36.70A.030 or its successor.

³ There is no minimum off-street parking requirement for the following uses or structure types in accordance with RCW 35A.21.445 and RCW 36.70A.817 or their successors:

- a. Single-family or middle housing residences under 1,200 square feet.
- b. Affordable housing as defined in RCW 36.70A.030 or its successor.
- c. Senior housing (defined as retirement residence in RZC 21.78.270).
- d. Ground-level non-residential spaces in mixed-use buildings.
- e. Buildings that meet passive house requirements as defined in RCW 36.70A.817 or its successor.
- f. Modular construction as defined in RCW 36.70A.817 or its successor.
- g. Mass timber construction as defined in RCW 36.70A.817 and RCW 19.27.570 or their successors.

2. All multifamily and nonresidential development over 1,000 square feet of gross floor area must include at least two accessible parking spaces, even if doing so would exceed the required off-street parking minimums or maximums or exceed Americans with Disabilities Act (ADA) requirements. In the case where an accessible space would exceed ADA requirements, the Administrator may approve designating adjacent on-street parking as a designated accessible space in lieu of providing an on-site space. Existing on-street spaces that are designated as accessible can be counted toward the requirements of this subsection. The Administrator may waive the requirements to provide accessible parking in excess of ADA requirements if the Administrator determines that requiring the spaces would (a) not meet the nexus and rough proportionality tests as described in RZC 21.17.010.B.2, or (b) substantially impact the feasibility of the project.

3. The Administrator may approve alternative minimum parking requirements for specific uses on specific development sites where the land use permit applicant demonstrates, through a parking study prepared by a qualified expert, that the alternative requirement will provide sufficient parking to serve the specific use without adversely impacting other uses and streets in the vicinity. The Administrator may require the recording of a covenant or other instrument restricting the use of the property to the specific use for which the alternative minimum parking requirement was approved. Where a parking study does not demonstrate that available parking stalls will adequately serve the proposed use, reductions below the minimum requirement may be approved if a mobility management program that effectively reduces parking demand as provided in RZC 21.52.020, Mobility Management Program, is approved and recorded with the property.

The Technical Committee may require alternative parking programs if there is a need to reduce overall parking to alleviate significant adverse environmental impacts.

4. Required parking may be provided off site within 600 feet of the site, unless otherwise approved by the Administrator, when secured by an easement.

E. Design Requirements for Parking Facilities. ... *Administrative note: there are no changes to subsections E through H.*

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H. Construction Parking Requirements and Contact Information. ...

Exhibit 11: Chapter 21.48

TRANSFER OF DEVELOPMENT RIGHTS (TDR) PROGRAM

Sections:

21.48.010 Transfer of Development Rights Program.

21.48.020 Transfer of Development Rights Procedures.

Administrative note: there are only changes to section 010.

21.48.010 Transfer of Development Rights Program.

A. **Purpose.** The purpose of Redmond's Transfer of Development Rights (TDR) Program is to advance Comprehensive Plan goals and policies that address the protection of environmentally critical areas, historic resources (including archeological resources), and open spaces, ~~and the ability to provide affordable housing,~~ by transferring the right to develop on the land needing protection to land more suitable for urban development.

B. **Explanation of TDRs.** ... *Administrative note: there are no changes to subsection B.*

C. **Sending Area Properties.**

1. Land is eligible if it complies with all of the criteria for at least one of the eligibility categories as described in Table 21.48.010A, Eligibility Categories and Criteria, and with all of the criteria in RZC [21.48.010.C.2](#).

Table 21.48.010.A Eligibility Categories and Criteria	
Eligibility Category	Eligibility Criteria
Urban Recreation	A. Located in the UR zone; and B. Wholly undeveloped or in agricultural or recreational use.

Table 21.48.010.A Eligibility Categories and Criteria	
Eligibility Category	Eligibility Criteria
Historic	A. Listed on the Redmond Historic Resource Register; or B. Otherwise eligible under RZC Chapter 21.30 , Historic and Archeological Resources.
Environmentally Critical Area	A. Located in one or more of the following areas: <ol style="list-style-type: none"> 1. Species Protection Area; 2. Category I or Category II wetland or wetland buffer; 3. Class I or Class II stream or stream buffer; 4. Landslide hazard area or buffer; 5. Contiguous forest community characterized by a qualified arborist or ecologist as: <ol style="list-style-type: none"> a. Having three layers of vegetation – canopy, subcanopy/shrub, and herb – dominated by native species; and b. Having at least 20 percent of canopy trees estimated to be at least 50 years of age; and c. Measuring at least one acre; and B. Wholly undeveloped, or partially undeveloped or vacant, where the Administrator determines that eligible environmentally critical areas listed in (A) above could be maintained without compromising the ecological functions and values of those critical areas.

Table 21.48.010.A Eligibility Categories and Criteria	
Eligibility Category	Eligibility Criteria
Affordable— Housing	

2. The following criteria must also be met:

a. The land’s development rights or development capacity shall not have been exhausted, sold, or transferred; or limited by easements, deed restrictions, equitable servitudes, or similar measures to any of the following:

- i. Agriculture, recreation, open space; or
- ii. Preservation of environmentally critical areas and their buffers, as described in Table 21.48.010A, through means including, but not limited to, a Native Growth Protection Area or open space easement.

b. The land shall not have been granted a reasonable use exception under RZC [21.76.070.U](#), Reasonable Use Exception (Critical Areas/Hazardous Liquid Pipelines, etc.). Nothing in this chapter shall require that a reasonable use exception granted under the reasonable use provision equal the economic value of the TDRs granted under this chapter.

c. The land shall not be part of any property the Comprehensive Plan designates for use as a collector, arterial street, or highway.

D. **Receiving Area Properties.** ... *Administrative note: there are no changes to subsection D.*

E. **Calculating Development Rights.** ... *Administrative note: there are no changes to subsection E.*

F. **Use of Development Rights.**

1. Each development right may be used as a right for any one of the following, subject to the limitations of this chapter and other zoning code chapters:

- a. To authorize an additional 8,712 square feet of gross floor area;
- b. To increase the maximum impervious surface or maximum lot coverage by 8,712 square feet; provided, that the total increase does not exceed 10 percent of the allowed maximum square footage for the site; or
- c. To increase the height of a structure, including above-ground structured parking, by one story across each 8,712-square-foot increment of gross floor area or parking floor plate, ~~except as permitted in RZC 21.48.010.F.2. or by two stories in a TOD focus area. In no case shall total building height be greater than two stories above the height allowed by the underlying zone except as permitted as part of the Overlake incentive package (RZC Chapter 21.55); the~~ The height bonus shall not apply to structures within the shoreline jurisdiction or within the Downtown height limit overlay areas (Table 21.10.200, note 2).

2. In TOD focus areas (see RZC Chapter 21.05), maximum height may be increased by up to two stories above the height allowed by the underlying zone using development rights. Additional height can also be earned by combining development rights with the incentives available in RZC Chapter 21.55.

3 ~~2~~. A fraction of a development right shall be entitled to the corresponding fraction of any of the above.

4 ~~3~~. A land use application using transferred development rights shall contain a statement describing the amount of the development rights proposed to be used and how the development rights are proposed to be used. (Ord. 2614; Ord. 2709; Ord. 2803; Ord. 3186; Ord. 3220)

Exhibit 12:**Chapter 21.55****DEVELOPMENT INCENTIVE PROGRAM**

Sections:

- 21.55.0050 Purpose.**
- 21.55.0100 Applicability and Implementation.**
- 21.55.0150 Incentive Review Procedures.**
- 21.55.200 Affordable Housing.**
- 21.55.300 Green Building Incentives.**
- 21.55.400 Inclusive Design.**
- 21.55.500 Building Site, Form, Uses.**
- 21.55.600 Open Space, Public Art, and Public Amenities.**
- 21.55.1000 Catalyst Projects.**
- 21.55.2000 Community Priority Bonus Tracks.**
- 21.55.3000 Development Agreement.**
- 21.55.4000 Bonuses Earned.**
- 21.55.4100 Overlake Bonuses.**
- 21.55.4200 Bonuses By Zone.**
- 21.55.5000 Supplemental Requirements.**
- 21.55.6000 Restrictions and Penalties.**

[Edits in Section 4100 only. No other section with edits.]

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21.55.4100 Overlake Bonuses.

A. Thresholds for bonuses earned are discounted for the first five years after adoption to help facilitate the transition to mass timber and tower developments, as well as accelerating the implementation of the Redmond 2050 vision established in the Redmond Comprehensive Plan. The maximum bonus is achievable at 200 points during this initial phase but will be raised incrementally over time to no more than 400 points.

B. **Outside the Overlake TOD Focus Area and in OUMF Zone.** Bonuses earned outside the TOD Focus Area and in the OUMF zone have the following threshold and maximums. Where points earned are fractional, they shall be rounded to the nearest whole number to determine bonuses earned.

Table 21.55.4100.B. Bonuses in Overlake, Outside of TOD Focus Area or and in OUMF Zone

Points Earned	FAR	Max Building Height		OTHER BONUSES EARNED
		OBAT (mixed-use/non-residential)	OUMF	
1 – 50	0.02 Per-calculation	160 ft./135 ft.	100 ft.	
51 – 100	0.02 Per-calculation	175 ft./150 ft.	115 ft.	
101 – 150	0.02 Per-calculation	190 ft./165 ft.	130 ft.	Projects earning over 100 points may combine the transfer of development rights program with the incentive program
151 – 200	0.02 Per-calculation	210 ft./180 ft.	145 ft.	
Over 200 points	0.02 Max FAR of 9.5	230 ft./200 ft.	160 ft.	

C. Inside the Overlake TOD Focus Area.

Table 21.55.4100.C. Bonuses in Overlake, Inside the TOD Focus Area

Points Earned	FAR	Max Building Height	Other Bonus Earned
1 – 50	0.02	180 ft.	

Points Earned	FAR	Max Building Height	Other Bonus Earned
	Per calculation		
51 – 100	<u>0.02</u> Per calculation	200 ft.	
101 – 150	<u>0.02</u> Per calculation	240 ft.	Projects earning over 100 points may combine the transfer of development rights program with the incentive program
151 – 200	<u>0.02</u> Per calculation	280 ft.	
Over 200 points	No FAR restrictions	300 ft.	If top floor is amenity space, may exceed 320 ft. by one additional story (see note 4 of Table 21.55.500), not to exceed 30 stories

(Ord. 3220)

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Chapter 21.74

LAND DIVISION

Sections:

- 21.74.010 General Provisions.**
- 21.74.020 Land Division Standards.**
- 21.74.030 Decision Criteria and Procedures.**

21.74.010 General Provisions.

A. **Purpose.** ... *Administrative note: no changes to subsection A*

B. **Scope.**

1. *Compliance.* All division and redivision of land into lots, tracts, parcels, sites, or divisions for the purpose of sale, lease, or transfer of ownership shall comply with the requirements of this chapter except where specifically exempted herein. Subdivisions, short subdivisions, [administrative lot splits](#), binding site plans, boundary line adjustments, unit lot subdivisions, plat alterations, and plat vacations are all considered divisions or redivisions of land for purposes of this chapter.

2. *Exemptions.* The following divisions of land are exempt from the provisions of this chapter except where expressly indicated.

- a. *Cemeteries.* Cemeteries and other burial plots, while used for that purpose;
- b. *Testamentary Divisions.* Divisions made by testamentary provisions or the laws of descent; provided, that a map is recorded with King County Records and Elections at the time the land is divided and that all lots created must meet all requirements of this chapter;
- c. *Right-of-Way Acquisition and Condemnation.*
 - i. A division of land relating to the acquisition or exchange of land by public agencies, for public use except human occupancy, including but not limited to subdivisions made for road construction purposes;

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- ii. A division of land for the sole use of the installation of linear utility facilities, such as electric power lines, telephone lines, water supply lines, sewer service lines, cable lines, or other utility facilities of a similar or related nature;
 - iii. Division of land due to condemnation or sale under threat thereof by an agency or division of government vested with the power of condemnation; if sale is made under threat of condemnation, such threat must be evidenced by the government agency filing an affidavit so stating with the King County Auditor;
 - d. A division for the purpose of leasing land for facilities providing personal wireless services while used for this purpose.
 - e. A division of land into lots or tracts of less than three acres that is recorded in accordance with RCW Chapter 58.09, and is used or to be used for the purpose of establishing a site for construction and operation of consumer-owned or investor-owned electric utility facilities. This subsection does not exempt a division of land for electric utility facilities from any other provision of this chapter. Furthermore, this subsection only applies to electric utility facilities that will be placed into service to meet the electrical needs of a utility's existing and new customers.

C. **Compliance.** ... *Administrative note: no changes to subsection C.*

21.74.020 Land Division Standards.

A. **Lot Standards.** ... *Administrative note: no changes to subsections A through M.*

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M. **Transfer and Development of Lots Not Divided According to This Chapter.** ...

[N. *Administrative Lot Split Standards*](#). Eligibility standards unique to Administrative Lot Splits are found in [RZC 21.74.030.D](#).

21.74.030 Decision Criteria and Procedures.

A. *Application Submittal Requirements.*

1. *Scope*. This section sets forth the requirements that must be met in order for applications for approvals governed by this chapter to be considered complete.
2. *Preliminary Subdivisions*. In order to be considered complete, each application for preliminary subdivision approval shall contain the following:
 - a. A completed general application form and project contact form;
 - b. The required application fees;
 - c. A small-scale vicinity map (suitable for public notice purposes);
 - d. A completed SEPA/CAO fee worksheet;
 - e. A CAO report, if required in RZC Chapter [21.64](#), Critical Areas Regulations;
 - f. For large sites, key plat map showing the entire site on one large sheet;
 - g. A set of preliminary plat plans showing the proposed layout of all lots, tracts, parcels, and streets;
 - h. A preliminary stormwater report;
 - i. A SEPA application form, together with a completed City of Redmond SEPA checklist;
 - j. A traffic study, if required by the [City Public Works Department](#);
 - k. A title report or plat certificate for all parcels involved;
 - l. Density calculations indicating maximum and minimum density requirements for the proposal and including density bonus calculations, if applicable;

m. A transportation certificate of concurrency or, if no such certificate has been issued at the time of application, a transportation concurrency application that contains all information required for a transportation concurrency determination under RZC 21.52.010, Transportation Concurrency;

n. A reduced site plan showing proposed lot layout (suitable for public notice purposes); and

o. A tree preservation plan if trees are proposed to be removed as part of the proposal.

3. *Short Subdivisions.* In order to be considered complete, each application for short subdivision approval shall contain all of the items listed in RZC 21.74.030.A.2 for a preliminary subdivision application, except that the key plat map referred to in RZC 21.74.030.A.2.f and the traffic study referred to in RZC 21.74.030.A.2.j shall not be required.

4. *Binding Site Plans.* In order to be considered complete, each application for binding site plan approval shall contain all of the items listed in RZC 21.74.030.A.2 for a preliminary subdivision application. In addition, the binding site plan application shall contain the following:

a. A topography map, labeled "Topography Map";

b. A written explanation of any modification sought from code standards, labeled "Modification Sought from Code Standards";

c. Draft covenants, conditions and restrictions labeled "CC&Rs" or any other restrictions or easements that may apply; and

d. A drawing showing all existing and proposed utilities.

5. *Authority of Administrator.* The Administrator is hereby authorized and directed to provide more detailed requirements for each of the items required for the submittal of complete preliminary subdivision, short subdivision, and binding site plan applications, including size, scale, number of copies, and content. The Administrator shall administratively adopt application submittal requirements for all other applications made under this chapter, including but not limited to applications for boundary line adjustments, final plat approval, final short plat approval, plat alterations, and plat vacations.

B. *Decision Criteria for Approval of Short Subdivisions, Binding Site Plans, Unit Lot Subdivisions, and Preliminary Subdivisions.* ... *Administrative note: no changes to subsection B.*

C. *Decision Criteria for Approval of Final Subdivisions.* ... *Administrative note: no changes to subsection C.*

D. Administrative Lot Split Procedures

1. Approval Process. Administrative Lot Splits must follow the procedures established in RZC 21.76.050.F, for a Type I review, and criteria established by RCW 58.17.145.

2. Decision by the Administrator. The Administrative Lot Split may be approved by the Administrator provided the following criteria is met:

- a. Exactly one newly created lot results from the split.
- b. Both the parent lot and the newly created lot meet the minimum lot size of the applicable zone (see RZC Article II).
- c. The parent lot is in a zone that allows residential use.
- d. If demolition/alteration would displace an existing residential tenant renter, the application must include a displacement mitigation strategy (e.g., relocation assistance).
- e. Prior to recording, access and utility rights are granted or conveyed as necessary to serve the maximum number of dwellings allowed, acknowledging that rights may be reduced at building-permit stage if fewer units are built.
- f. The newly created lot meets minimum density requirements if located in a zone with a minimum density requirement.
- g. The lot is buildable under all applicable regulation. Lots rendered unbuildable by critical areas, shoreline, stormwater, setbacks, impervious surface, or building coverage standards are not eligible for administrative lot split.
- h. If a lot split results in a newly created lot or lots with a lot size that would allow for further land division, any lot with sufficient lot size is not eligible to be divided through a lot split under this section but may be eligible for further division through another applicable land-division process under RZC 21.74.

i. Any construction on the newly created lot is subject to all existing state and local laws including those specified in this section. Nothing in this section modifies the requirements for approval of residential building permits in chapter 19.27 RCW.

j. Where an application does not meet the eligibility criteria of this section, the applicant may seek approval under other land division processes under RZC 21.74.

3. Recording. All administrative lot splits shall be recorded in compliance with the following:

a. All Administrative Lot Splits must be recorded surveys consistent with the requirements of RCW Chapter 58.09 and WAC Chapter 332-130, with a notation that future Administrative Lot Splits on either lot are prohibited.

b. Fees and Recording Procedure. Prior to recording, the applicant shall submit the original short subdivision drawings to the City for signatures.

c. Recording Required. No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090.F, Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.

Administrative note: the remaining subsections of section 030 are re-lettered to accommodate new subsection D above. All references to re-lettered subsections throughout the RZC are updated.

E D. Short Subdivision Procedures.

1. *Approval Process.* Short subdivisions shall follow the procedures established in RZC 21.76.050.G, for a Type II review.

2. *Decision by the Technical Committee.* Each final decision of the Technical Committee shall be in writing and shall include findings and conclusions based on the record to support the decision. The decision made by the Technical Committee shall be given the effect of an

administrative decision and may be appealed in accordance with RZC 21.76.060.E, Technical Committee Decisions on Type II Reviews.

3. *Effect of Approval.* Approval of the short subdivision shall constitute authorization for the applicant to develop the short subdivision facilities and improvements, upon review and approval of construction drawings by the ~~City Public Works Department~~. All such facilities and improvements shall be completed or have a performance assurance posted to assure completion as provided in RZC 21.76.090.F, Performance Assurance, prior to recording of the short subdivision. All development of a short subdivision shall be subject to any conditions imposed by the City on the short subdivision approval.

4. Short subdivision approval shall expire pursuant to the following:

a. Two years from the date of the Technical Committee notice of decision if the short plat has not been recorded. A single one-year extension may be granted by the Technical Committee if the applicant has attempted in good faith to submit the final short plat within the two-year period; provided, however, that the applicant must file a written request for extension at least 30 days prior to expiration of the two-year period.

5. *Recording.* All short subdivisions shall be recorded in compliance with the following:

a. *Fees and Recording Procedure.* Prior to recording, the applicant shall submit the original short subdivision drawings to the ~~City Public Works Engineering Department~~ for signatures.

b. *Recording Required.* No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090.E, Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.

6. *Restriction on Further Division.* Land within an approved and recorded short subdivision may not be further subdivided within a period of five years from the date of final approval if such further division would result in more than nine lots within the original short

subdivision boundaries. Any division that would result in more than nine lots within the original short subdivision within the five-year period may be accomplished only by following the process for preliminary and final subdivision approval set forth in RZC [21.74.030.E](#), Preliminary Subdivision Procedures, and RZC [21.74.030.G](#), Final Subdivision Procedures.

E.E. Preliminary Subdivision Procedures.

1. *Approval Process.* Preliminary subdivisions shall follow the procedures established in RZC [21.76.050.H](#), Type III Review.
2. *Effect of Preliminary Subdivision Approval.* Approval of the preliminary subdivision shall constitute authorization for the applicant to develop the subdivision facilities and improvements upon review and approval of construction drawings by the [City Public Works Department](#). All development shall be subject to any conditions imposed by the Hearing Examiner.
3. *Time Limits – Approval Within 90 Days.* A preliminary subdivision shall be approved, approved with conditions, denied, or returned to the applicant for modification or correction within 90 days from the date of filing of a complete application unless the applicant agrees to an extension of the time period in writing; provided, that should an environmental impact statement (EIS) be required per RCW [43.21C.030](#), Guidelines for State Agencies, Local Governments, the 90-day period shall not include the time spent in preparing and circulating the EIS by the City. A preliminary subdivision application shall not be deemed “filed” until all of the requirements for a complete application established by RZC [21.74.030.A](#), Application Submittal Requirements, have been met.
4. *Limitation on Preliminary Approval.*
 - a. Final approval of a subdivision must be acquired within seven years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2014, and within five years of the date of preliminary plat approval if the date of preliminary plat approval is on or after January 1, 2015, after which time the preliminary plat approval is void.
 - b. Final approval of a subdivision must be acquired within 10 years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2007,

and not subject to the requirements of RCW Chapter 90.58, the Shoreline Management Act, after which time the preliminary plat approval is void.

c. The Hearing Examiner may grant an extension of the time periods set forth in RZC 21.74.030.E.4.a and E.4.b for one year if the applicant has attempted in good faith to submit the final plat within the required time period; provided, however, the applicant must file a written request with the Planning Department requesting the extension at least 30 days before expiration of the required time period.

G.F. *Modifications to Preliminary Subdivisions.* ... *Administrative note: no changes to subsection G.*

H.G. *Final Subdivision Procedures.*

1. *Time Limits.* A final plat application shall be approved, denied, or returned to the applicant for modification or correction within 30 days from the date of filing unless the applicant consents to an extension of such time period.
2. *Review by City Engineer.* ~~▲ The City Engineer or a~~ licensed professional engineer acting on behalf of the City shall review the survey data, layout of lot lines, streets, alleys and other rights-of-way, design of bridges, and utility systems improvements, including storm drainage, water, and sanitary sewer.
3. *Findings by City Engineer.* ~~▲ The City Engineer or other~~ professional engineer acting on behalf of the City shall convey their findings to the Technical Committee ~~City Council~~. The engineer shall assure that:
 - a. The proposed final plat meets all standards established by state law and this section relating to the final plat's drawings and subdivision improvements;
 - b. The proposed final plat bears the certificates and statements of approval required by this section;
 - c. A current title insurance report furnished by the subdivider confirms the title of the land in the proposed subdivision is vested in the name of the owners whose signatures appear on the final plat;
 - d. The legal description of the plat boundary on the current title insurance report agrees with the legal description on the final plat;

e. The facilities and improvements required to be provided by the subdivider have been completed or, alternatively, that the subdivider has provided a surety in an amount commensurate with improvements remaining to be completed, as provided in RZC 21.76.090.F, Performance Assurance;

f. The surveyor has certified that all survey monument lot corners are in place and visible; and

g. The final plat contains a dedication to the public of all common improvements, including but not limited to streets, roads, sewage disposal systems, storm drainage systems, and water supply systems which were a condition of approval. The intention to dedicate shall be evidenced by the owner's presentment of a final plat showing the dedication, and the acceptance by the City shall be evidenced by the approval of the final plat.

4. *Review* – Administrative Approval ~~City Council~~. The Technical Committee ~~City Council~~ shall review the final plat ~~at a public meeting~~, according to the decision criteria for final plats set forth in RZC 21.74.030.C, Decision Criteria for Approval of Final Subdivisions. ~~No public hearing shall be required. Notice of the public meeting at which the final plat will be considered will be mailed to the applicant and to any person who was a party of record to the preliminary plat proceedings at least 10 days in advance of the meeting.~~ If the Technical Committee ~~City Council~~ approves the final plat, the Administrator, Public Works Director, and City Engineer ~~Mayor~~ shall be authorized to inscribe and execute the written approval on the face of the plat map. If the Technical Committee ~~City Council~~ denies the final plat, the final plat will be returned to the applicant with reasons for denial and conditions for compliance.

5. *Recording*. All final plats shall be recorded in compliance with the following:

a. *Fees and Performance Assurance*. Prior to recording, the applicant shall submit the original final plat drawings to the City ~~Public Works Department~~ together with the plat checking fees. Unless all required improvements have been constructed prior to final plat approval, the applicant shall also submit all required performance assurances to guarantee completion of the improvements as required by RZC 21.76.090.F, Performance Assurance.

b. *Recording Required.* No final plat shall be recorded unless approved as provided in this section. The original of an approved final plat shall be filed for record with the King County Department of Records and Elections.

c. *Time Limit.* All final plats shall be recorded within 120 days after [Technical Committee](#) final approval ~~is granted by the City~~. Approval shall expire if the final plat is not recorded within this period.

6. *Valid Land Use.* As required by RCW [58.17.170](#), Written Approval of Subdivision, a subdivision shall be governed by the terms of the approval of the final plat, and any lots created shall be a valid land use for a period of not less than five years from date of filing, unless the [Technical Committee](#) ~~City Council~~ finds that a change in conditions in the subdivision creates a serious threat to the public health or safety.

I. *Unit Lot Subdivisions.*

1. *Applicability.* The provisions of this section apply exclusively to the unit lot subdivision of land for [existing or new](#) attached [or detached](#) dwelling units, [in which no dwelling units are stacked on another dwelling unit or other use. The purpose is to allow for the creation of lots for the individual ownership of these types of housing units while applying only those site development standards applicable to the parent lot as a whole.](#) ~~that have land use approval through RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); and RZC 21.76.070.P, Master Planned Development.~~

2. *Approval Process.* A unit lot subdivision [for new developments](#) shall follow the procedures established in RZC 21.76.050.G, Type II Review, ~~if nine or fewer unit lots are proposed. Preliminary unit lot subdivisions shall follow the procedures established in RZC 21.76.050.H, Type III Review, if 10 or more unit lots are proposed.~~ Final unit lot subdivisions of 10 or more lots shall follow the procedures established in RZC 21.74.030.G, Final Subdivision Procedures, for final plats. [Existing developed lots, where structures comply with all standards applicable to the parent lot, shall follow the procedures established in RZC 21.76.050.F, Type I Review.](#)

a. [The approval procedures shall not require any public pre-decision meeting or hearing, nor any design review other than administrative design review.](#)

3. *Compliance With Prior Approvals.* Sites developed or proposed to be developed with single-family attached dwelling units may be subdivided into individual unit lots as provided herein. The development as a whole shall conform to the regulations of the zone

that the site is located in and to the plans that were granted approval through provisions of this code, ~~either: RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); or RZC 21.76.070.P, Master Planned Development.~~

a. Portions of the parent site not subdivided for individual unit lots shall be owned in common by the owners of the individual unit lots, by a homeowners' association comprised of the owners of the individual unit lots located within the parent site, or by a community land trust.

4. Development on individual unit lots is not required to conform with all development standards that typically apply to individual lots as long as the parent lot conforms to all such development standards. Each unit lot shall comply with applicable building codes. Fire protection for the buildings shall be based on the aggregate square footage on the parent lot.

5. Internal vehicular courts and driveways providing vehicular access to unit lots in the subdivision from public streets shall not be considered public or private streets when considering unit lot subdivisions.

6. Subsequent ~~planning~~ subdivision actions, additions, or modification to the structure(s) may not create or increase any nonconformity of the parent lot as a whole, and shall conform to the approved unit lot housing development project or to the land use and development standards in effect at the time of the proposed actions, additions, or modifications.

~~7. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space, such as common courtyard open space; exterior building facades and roofs; and other similar features, shall be recorded with the King County Department of Records and Elections.~~

8. Within the parent lot, required parking for a dwelling unit may be provided on a different unit lot than the lot with the dwelling unit, as long as the right to use the parking is formalized by an easement recorded with the King County Department of Records and Elections.

9. The minimum residential density required for unit lot subdivision in the Downtown Core zone shall be 35 dwelling units per acre. There shall be no minimum residential density requirements for unit lot subdivisions elsewhere in the City unless required by the zone in which the site is located.

10. Notes shall be placed on the face of the plat or short plat as recorded with the King County Department of Records and Elections to acknowledge the following:

a. Approval of the design and layout of the units ~~on each of the lots~~ lot's housing development project was granted based on detailed ~~by the~~ review of that specific project ~~the development~~, as a whole, on the parent lot, including specific reference to the applicable permit or file number for that specific project. The title of the plat shall include the phrase "Unit Lot Subdivision". ~~by RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); or RZC 21.76.070.P, Master Planned Development, stating the subject file application number.~~

b. Development, redevelopment, or rehabilitation of structures on each unit lot is subject to review and approval of plans that are consistent with the design of the surrounding structures on the parent lot as approved by the City through subject file number as stated in RZC 21.74.030.H.10.a.

c. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space, such as common courtyard open space; exterior building facades and roofs; and other similar features.

d. Additional development of the individual lots may be limited as a result of the application of development standards to the parent site.

11. *Repealed by Ord. 3220. Repealed.*

I. Subdivision Vacations. *Administrative note: no changes to subsection J.*

K. Subdivision Alterations.

1. *Scope.* This section establishes the procedures to be used for subdivision alterations under RCW 58.17.215 through 58.17.218.
2. *Approval Process.* Subdivision alterations shall follow the procedures established in RZC 21.76.050.J, Type V Review.
3. *Application Requirements.* An application for alteration of a subdivision shall meet the submittal requirements established by the Administrator, and shall contain the signatures of those persons having an ownership interest in the majority of the lots, tracts, parcels, sites, or divisions in the subject subdivision or portion to be altered, and other application submittal materials as required. If the subdivision is subject to restrictive covenants which were filed at the time of the approval of the subdivision, and the alteration would result in the violation of a covenant, the application shall contain an agreement signed by all parties subject to the covenants; provided, that the parties agree to terminate or alter the relevant covenants to accomplish the purpose of the alteration.
4. *Hearing Required.* The City Council shall conduct a public hearing on the application for a subdivision alteration.
5. *Decision Criteria.* The City Council shall approve the application for alteration of the subdivision or approve the application with conditions if it determines that the public use and interest will be served by the alteration. The City Council shall deny the application for alteration if it finds that the public use and interest will not be served by the alteration.
6. After approval of the alteration, the applicant shall submit to the City a revised drawing of the approved alteration of the subdivision, which after signature of the approving authority shall be filed with the King County Department of Records and Elections to become the lawful plat of the property. The revised drawing shall be surveyed and prepared by a Washington State-licensed land surveyor.
7. The procedures set forth in RZC 21.74.030.J.1 through J.3 apply to subdivisions that have been recorded. A subdivision that has not yet been recorded and that has not expired may be altered upon approval by the Administrator as long as the alteration is consistent with the final plat approval granted by the City Council. In the event that the alteration is not consistent with that approval, alteration may be approved only by repeating the final plat approval process.

8. Administrative Easement Release. Notwithstanding the requirements of J.4 (public hearing) and J.5 (Council decision), the City may release an easement administratively if:

- a. The easement is no longer needed for public use;
- b. The City is the sole beneficiary of the easement; and
- c. The release does not adversely affect public health, safety, or welfare.

The release shall be signed by the Mayor or their designee and documented with a revised plat or exhibit filed with the King County Recorder's Office or its successor agency.

L K. Final Subdivision and Short Subdivision Corrections.

1. *Public Dedication – Not Involved.* Amendments, alterations, modifications, and changes to recorded final subdivisions and short subdivisions that do not affect a public easement or other public dedication of land shall be accomplished only by one of the following methods:

- a. File a new plat for the lots in question by following the full subdivision procedures of this chapter; or
- b. File a short plat for lots in question by following the procedures of this chapter; or
- c. File an application for an administrative modification or boundary line adjustment.

2. *Public Dedication – Involved.* Amendments, alterations, modifications, and changes to recorded final plats and short plats that do affect a public easement or other public dedication of land shall be accomplished by following the procedures of RZC 21.74.030.I, Subdivision Vacations, or RZC 21.74.030.J, Subdivision Alterations.

3. Administrative Public Easement Release. The City may administratively release a public easement that is no longer needed for public use. The Mayor or their designee is authorized to sign the release. The release requires:

- a. Verification by the City that the easement is no longer required for public utilities, access, drainage, or other public purposes.
- b. Submission of a revised surveyed plat or easement exhibit, prepared by a licensed Washington State surveyor, showing the easement removed.

[c. Recording of a revised plat/exhibit with the King County Recorder's Office or its successor agency.](#)

[This process does not require a City Council hearing but may include notice to adjacent property owners at the discretion of the Administrator.](#)

M L. *Binding Site Plans.*

1. *Scope.* This subsection establishes the procedures to be used for the division of land using the binding site plan process pursuant to RCW [58.17.035](#). [For purposes of RZC 21.74.030.L, commercially zoned property includes property that is zoned to permit or conditionally permit any multifamily residential uses.](#) Division of land using the binding site plan process is limited to:

- a. Divisions for the sale or lease of commercial or industrial zoned property;
- b. Divisions for the purpose of lease when no residential structures other than mobile homes or travel trailers are permitted to be placed on the land; and
- c. Divisions of land into lots or tracts made under the provisions of the Horizontal Properties Regimes Act (RCW Chapter [64.32](#)) or the Condominium Act (RCW Chapter [64.34](#)).

2. *Approval Process.* Binding site plans shall follow the procedures established in RZC [21.76.050.G](#), Type II Review.

3. *Drawing Requirements.* Binding site plans shall be drawn at a scale no smaller than one inch equals 50 feet, unless a different scale is approved by the Administrator, and shall include:

- a. The design of any lots and building envelopes and the areas designated for landscaping and vehicle use;
- b. The areas and locations of all streets, roads, improvements, utilities, easements, open spaces, critical areas, and any other matters specified by the development regulations;
- c. Inscriptions or attachments setting forth such appropriate limitations and conditions for the use of the land as are established by the City of Redmond; and

d. Provisions requiring that any development shall comply with the approved site plan.

4. *Post-Approval Requirements.* The following requirements shall apply to proposals submitted under this subsection:

a. Approved binding site plans shall be submitted for recording with the King County Department of Records and Elections;

b. All provisions, conditions, and requirements of the binding site plan shall be legally enforceable on the purchaser or any person acquiring a lease or other ownership interest of any lot, parcel, or tract created pursuant to the binding site plan. A sale, transfer, or lease of any lot, tract, or parcel that does not conform to the requirements of the binding site plan approval shall be considered a violation of this chapter.

c. All development shall be in conformity with the approved binding site plan and any existing or subsequent applicable permit approval. Each binding site plan document shall reference the requirement for compliance with any existing or subsequent permit approval.

d. Amendments to an approved binding site plan shall follow the process established in RZC 21.76.090.D, Administrative Modifications. Vacations of an approved binding site plan shall be made through the subdivision vacation process; and

e. Approved binding site plans may contain any easements, restrictions, covenants, or conditions as would a subdivision approved by the City.

N.M. Boundary Line Adjustments. ... *Administrative note: there are no changes to subsection N.*

Exhibit 14:**Chapter 21.76****REVIEW PROCEDURES**

Sections:

21.76.010	User Guide.
21.76.020	Overview of the Development Process.
21.76.030	Application Requirements.
21.76.040	Time Frames for Review.
21.76.050	Permit Types and Procedures.
21.76.060	Process Steps and Decision Makers.
21.76.070	Land Use Actions and Decision Criteria.
21.76.080	Notices.
21.76.090	Post-Approval Actions.
21.76.100	Miscellaneous.

Administrative note: there are no changes to sections 010, 020, 030, 040, 080, or 100.

21.76.050 Permit Types and Procedures.

Administrative note: there are no changes to subsections A or B.

A. ...

B. ...

C. ***Classification of Permits and Decisions – Table.*** The following table sets forth the various applications required and classifies each application by the process used to review and decide the application.

Type I – RZC <u>21.76.050.F:</u>	Administrative Approval, Appropriate Department is Decision Maker
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Type II – RZC <u>21.76.050.G:</u>	Administrative Approval, Review and Decision by Technical Committee or Landmark Commission*
Type III – RZC <u>21.76.050.H:</u>	Quasi-Judicial, Decision by Hearing Examiner or Landmark Commission*
Type IV – RZC <u>21.76.050.I:</u>	Quasi-Judicial, Recommendation by Hearing Examiner, Decision by City Council
Type V – RZC <u>21.76.050.J:</u>	Quasi-Judicial, Decision by City Council
Type VI – RZC <u>21.76.050.K:</u>	Legislative, recommendation by Planning Commission, Decision by City Council

*For properties with a Designation of Historic Significance, refer to RZC 21.76.060.H, *Landmark Commission Determination/Decisions*.

Table 21.76.050B
Classification of Permits and Decisions

Permit Type	Process Type	RMC Section (if applicable)
Administrative Interpretation	I	
Administrative Lot Split	I	
Administrative Modification	I or II	
Alteration of Geologic Hazard Areas	III	
Binding Site Plan	II	
Boundary Line Adjustment	I	

Building Permit	I	RMC <u>15.08</u>
Certificate of Appropriateness Level I	I	
Certificate of Appropriateness Level II	II	
Certificate of Appropriateness Level III	III	
Clearing and Grading Permit	I	RMC <u>15.24</u>
Comprehensive Plan Map and/or Policy Amendment	VI	
Conditional Use Permit	III	
Development Agreement	V	
Electrical Permit	I	RMC <u>15.12</u>
Essential Public Facility	IV	
Extended Public Area Use Permit	I	RMC <u>12.08</u>
Flood Zone Permit	I	RMC <u>15.04</u>
Historic Landmark Designation	III	
Home Business	I	
Hydrant Use Permit	I	RMC <u>13.16.020</u>
International Fire Code Permit	I	RMC <u>15.06</u>
Master Planned Development See RZC <u>21.76.070.P</u>	II, III, IV or V	

Mechanical Permit	I	RMC <u>15.14</u>
Plat Alteration	V	
Plat Vacation	V	
Plumbing Permit	I	RMC <u>15.16</u>
Preliminary Plat	III	
Reasonable Use Exception See RZC <u>21.76.070.U</u>	I, II, III, IV or V	
Right-of-Way Use Permit	I	RMC <u>12.08</u>
Sewer Permit	I	RMC <u>13.04</u>
Shoreline Conditional Use Permit	III	
Shoreline Exemption	I	
Shoreline Substantial Development Permit	II	
Shoreline Variance	III	
Short Plat	II	
Sign Permit/Program	I	
Site Plan Entitlement	II	
Special Event Permit	I	RMC <u>10.60</u>
Structure Movement Permit I-IV	I	RMC <u>15.22</u>

Temporary Use Permit (Long-Term)	V	
Temporary Use Permit (Short-Term)	I	
Tree Removal Permit	I	
Unit Lot Subdivision	I or II	
Variance	III	
Water Permit	I	RMC 13.08
Willows Rose Hill Demonstration Project	III	
Wireless Communication Facility Permit I	I	
Wireless Communication Facility Permit II	II	
Zoning Code Amendment-Zoning Map (consistent with Comprehensive Plan)	IV	
Zoning Code Amendment (text)	VI	
Zoning Code Amendment (that requires a Comprehensive Plan Amendment)	VI	

Administrative note: there are no changes to the remainder of section 050.

D. ...

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K. ...

21.76.060 Process Steps and Decision Makers.

Administrative note: there are no changes to subsections A through C.

A. ...

B. ...

C. ...

D. Director Decisions on Type I Reviews.

1. *Type I Decision Makers.* Decisions on Type I applications are made by the appropriate department director or designee.
2. *Decision Criteria.* The decision of the department director shall be based on the criteria for the application set forth in this code, or in the applicable uniform or international code in the case of building and fire-related permits. The decision shall include any conditions necessary to ensure consistency with the applicable development regulations. The department director may consult with the Technical Committee or the Landmark Commission on any Type I application, but the final decision-making authority on such applications remains with the department director.
3. *Decision.* A written record of the director's decision shall be prepared in each case and may be in the form of a staff report, letter, the permit itself, or other written document indicating approval, approval with conditions, or denial. The decision shall be mailed as provided in RZC 21.76.080.G, *Notice of Final Decision*. See RZC 21.68.200.C.7.a for decisions on Shoreline Exemptions.
4. *Appeal.* Type I decisions may be appealed to the Hearing Examiner as provided in RZC 21.76.060.I, *Appeals to Hearing Examiner on Type I and II Permits*. All decisions are final upon expiration of the appeal period or, if appealed, upon the date of issuance of the Hearing Examiner's final decision on the appeal. Appeal decisions of the Hearing Examiner may be

appealed to the King County Superior Court as provided RZC 21.76.060.M. [There are no administrative appeals of Type I Administrative Lot Split decisions pursuant to RCW 58.17.145.](#)

Administrative note: there are no changes the remainder of section 060.

E. ...

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T. ...

21.76.070 Land Use Actions and Decision Criteria.

Administrative note: there are no changes to subsections A or B.

A. ...

B. ...

C. *Administrative Design Flexibility.*

1. *Purpose.* The purpose of RZC 21.76.070.C is to promote creativity in site design, allow flexibility in the application of standards in certain zones, and to achieve the creation of sites and uses that may benefit the public by the application of flexible standards not otherwise possible under conventional development regulations.

2. *Scope.* Administrative design flexibility shall only be considered for adjusting standards in the categories listed below for each type of land use. Requests for adjustment to

standards not listed shall be processed as a variance as set forth in RZC 21.76.070.AB, *Variances*.

3. *Process Type*. Requests for administrative design flexibility shall be processed and decided as part of the decision on the underlying permit.

4. *Decision Criteria*.

a. *Criteria for Projects Other Than in Downtown, Overlake, or Marymoor Village Zones*.

i. *Criteria for Non-Single-Family Projects*.

A. Superiority in achieving the Comprehensive Plan neighborhood goals and policies, and superior design in terms of architecture, building materials, site design, landscaping, and open space. Projects shall seek to create greater amounts of privacy, maintenance of views, preservation of trees, preservation of historic resources, vegetation and habitat, and provide for adequate security.

B. The applicant must prove that the project meets the criteria outlined above, based on:

1. Measurable improvements, such as an increase in the number of trees saved, increased amount of open space, or increased landscaping area;
2. Objective improvements, such as increased solar access or increased privacy; and
3. Conceptual architectural sketches, showing two sketches (with and without administrative design flexibility), indicating the improvement gained by application of the administrative design flexibility.

ii. *Criteria for Additions or Modifications to Existing Single-Family Structures*.

A. The modification will not have a significant adverse impact on adjoining property owners;

B. The modification shall not be unduly injurious to property owners in the vicinity or their enjoyment of their property;

- C. The request is due to special physical circumstances relating to the size, shape, topography, location, or surroundings of the subject property;
- D. The project otherwise complies with the requirements of the Redmond Zoning Code.

5. *Residential Flexible Standards.* Administrative design flexibility in Neighborhood zones is limited to the following development standards:

- a. *Setbacks.* Front, side, and rear setbacks may be reduced up to 20 percent; provided, that setbacks from Lake Sammamish shall not be eligible for design flexibility.
 - i. Setbacks may be reduced to five feet for legal nonconforming residential structures in the Neighborhood Multifamily zone that were constructed under the provisions of the Redmond Zoning Code in effect on or before December 31, 2024.
- b. *Impervious Surface.* In the Neighborhood Multifamily zone, the impervious surface area can be increased an additional five percent.

6. *Commercial Flexible Standards.* Administrative design flexibility is limited to the Neighborhood Mixed-Use and Corridor Mixed-Use zoning districts. Administrative design flexibility is further limited to the following standards:

- a. Lot coverage/impervious surface may be increased an additional five percent.
- b. Minimum building setbacks may be reduced up to 20 percent.

7. *Business and Manufacturing Park Flexible Standards.* Administrative design flexibility is limited to the Business Park (BP), Manufacturing (MP) and Industrial (I) zones. Administrative design flexibility is further limited to the following standards:

- a. Lot coverage/impervious surface may be increased an additional five percent.
- b. Minimum building setbacks may be reduced up to 20 percent.

8. *Decision Criteria for Downtown, Overlake, and the Marymoor Village.*

- a. Deviation from standards listed in RZC 21.76.070.C.8.b may be allowed if an applicant demonstrates that the deviations would result in a development that:

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- i. Better meets the intent of the goals and policies for the zone in which the site is located;
 - ii. Is superior in design in terms of architecture, building materials, site design, landscaping, and open space; and
 - iii. Provides benefit in terms of desired use and activity.
- b. Standards that may be modified by application of administrative design flexibility are as follows:
- i. *Parking Lot Location.* Requirements for the location of on-site parking may be modified within the development (except for parking within residential yard areas) to provide for greater joint-use and quasi-public parking opportunities and uses which are highly desirable in the subject design area.
 - ii. For Downtown, mid-block pedestrian walkways and vehicular lanes, per RZC 21.10.300, Public Realm Standards, and RZC Appendix 2A, Downtown Street Requirements, may be modified to allow variations in locations and minimum widths for these items to provide superiority in site design and function which benefits both the property owner and public.
 - iii. Street standards for attached dwelling unit subdivision developments.
 - iv. *Other Site Requirements and Standards.* All other site requirements and standards except **the following density, number of stories, and FAR** may be modified within the development to provide superiority in site design:
 - A. **Density**
 - B. **Number of stories**
 - C. **Required ground-level non-residential floor area in mixed-use zones;**
and
 - D. **FAR.**

; i.e., greater
 - v. Examples of Superiority in Site Design. Examples of superiority in site design include but are not limited to the following:
-

- A. ~~a~~ Amounts of privacy₇
- B. ~~m~~ Maintenance of views₇
- C. ~~g~~ Greater environmental benefit₇
- D. ~~d~~ Distinctive and high quality of design₇
- E. ~~i~~ Improved pedestrian access₇
- E. ~~p~~ Preservation of vegetation₇
- G. ~~p~~ Provision of usable open space₇ ~~and~~
- H. ~~a~~ Adequate light, air, and security₇

D. **Administrative Lot Splits.** Decision criteria for administrative lot splits are found in RZC Article V.

Administrative note: with a new subsection D added above, the remainder of the subsections of section 070 are re-lettered. There are no changes to the remainder of section 070 except for re-lettering.

~~E D.~~ ...

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~~AH. AG.~~ ...

21.76.090 Post-Approval Actions.

Administrative note: there are no changes to subsections A or B.

A. ...

B. ...

C. *Expiration of Vested Status of Type I, II, III, IV and V Permits and Approvals.*

1. *Type I, II, and III Permits and Approvals.*

a. The vested status of a Type I, II, or III permit or approval will expire as provided in RZC [21.76.090.C.1.b](#); provided, that:

i. Variances run with the land in perpetuity if recorded with the King County Recorder's Office, or its successor agency, within 90 days following the final decision of the City;

ii. Preliminary plats are subject to expiration under the terms of RZC [21.74.030.E](#), Preliminary Subdivision Procedures;

iii. Shoreline substantial development permits, shoreline conditional use permits, and shoreline variances are subject to expiration under the terms of RZC [21.68.200.C.9](#), Termination of Approval; and

iv. When permit expiration time lines apply pursuant to the terms of RMC Title [15](#), Buildings and Construction, the provisions of RZC [21.76.090.C](#) do not apply.

b. Approval of a Type I, II, or III application shall expire two years from the date approval was final unless:

i. A complete building permit application is filed before the end of the two-year term. In such cases, the vested status of the Type I, II, or III permit or approval shall be automatically extended for the time period during which the building permit application is pending prior to issuance; provided, that if the building permit application expires pursuant to RMC [15.08.050](#), Amendments to the International Building Code, the vested status of a Type I, II, or III permit or approval shall also expire;

ii. For [administrative lot splits](#), short plats and binding site plans, the [lot split survey](#), final plat or approved binding site plan is recorded;

iii. For projects which do not require a building permit, the use allowed by the permit or approval has been established prior to the expiration of the vested

status of the Type I, II, or III permit or approval and is not terminated by abandonment or otherwise;

iv. When a building permit is issued, the vested status of a Type I, II, or III permit or approval shall be automatically extended for the life of the building permit. If the building permit expires or is revoked or canceled pursuant to RMC 15.08.050 or otherwise, then the vested status of a Type I,II, or III permit or approval shall also expire, or be revoked or canceled.

v. A single one-year extension may be granted by the decision maker of the permit if the applicant documents proper justification and a good faith effort. Proper justification consists of one or more of the following conditions:

- A. Economic hardship;
- B. Change of ownership;
- C. Unanticipated construction and/or site design problems;
- D. Other circumstances beyond the control of the applicant determined acceptable by the Technical Committee.

vi. Once the time period and any extensions have expired, approval shall terminate; and the application is void and deemed withdrawn.

2. *Type IV and V Permits and Approvals.* Type IV and V permits and approvals are subject to expiration under the terms of the City Council final decision.

Administrative note: there are no changes to the remainder of section 090.

D. ...

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F. ...

Exhibit 15:

RZC 21.78 Definitions

Administrative note: there are only changes to those definitions shown.

21.78.100 A Definitions

Arts, Entertainment, Recreation and Assembly. An establishment that provides facilities or services for cultural, recreational, and entertainment uses, including, but not limited to, [craft and fine art lessons](#), performing arts establishments [and studios](#), theaters, museums, arcades, [escape rooms](#), and marinas, but specifically excluding adult entertainment facilities. Kiosks are included as accessory to arts, entertainment, recreation, and assembly.

21.78.130 D Definitions

Dwelling Unit. A single unit ~~providing complete, independent living facilities for not more than one family and permitted roomers and boarders, including permanent provisions for living, sleeping, eating, cooking, and sanitation.~~ **An efficiency unit with access to a shared kitchen on the same floor shared by no more than eight units that do not have private kitchens is considered to be a dwelling unit.** A mobile home, manufactured home, modular home, middle housing home, apartment, condominium, single-family detached house, accessory dwelling unit, or tiny home is considered to be a dwelling unit.

21.76.160 G Definitions

General Sales or Services. An establishment engaging in the retail sale, rental, or lease of goods or the provision of services, including but not limited to automobile sales or service; heavy consumer goods sale or service; durable consumer goods or service; the sale or service of other consumer goods, grocery, food and beverage sales; health and personal care services; finance and insurance services; real estate services; [personal and](#) professional services; administrative services; and restaurant and food services. “General sales or services” does not include hotels, motels, and other accommodation services; mail order or direct sales establishments; membership wholesale/retail warehouses; and packing, crating, and convention and trade show services; and cannabis retail sales.

21.78.210 L Definitions

Lot Split. [The administrative process of dividing an existing lot into two lots for the purpose of sale, lease, or transfer of ownership pursuant to RCW 58.17.145 and as hereafter amended.](#)

21.78.250 P Definitions

Parent Lot. A residential lot that is subdivided into unit lots through the unit lot subdivision process.

21.78.270 R Definitions

~~Residential Suite.~~ ~~A dwelling unit that is limited in size and shares common facilities such as a kitchen.~~ A residential development with sleeping units that are independently rented and lockable and provide living and sleeping space, and residents share kitchen facilities with other sleeping units in the building. This definition is inclusive of other names to refer to residential suite housing including, but not limited to, congregate living facilities, single room occupancy, rooming house, boarding house, lodging house, co-living housing, efficiency unit, and eco-suite. Residential suite units are considered “dwelling units” for the purposes of affordable housing provisions of RMC 3.38 and RZC 21.20.

21.78.290 T Definitions

Technical, Trade, and Specialty Schools. Schools that offer vocational and technical training in a variety of technical subjects and trades and that may lead to job-specific certification. This definition includes beauty schools, business management schools, computer training schools, driving education schools, fine arts and performance arts schools and conservatories, flight training schools, and sports and recreation schools.

21.78.300 U Definitions

Unit lot. A subdivided lot within a residential development as created from a parent lot and approved through the unit lot subdivision process.

~~Unit Lot Subdivision.~~ ~~A division or redivision of land in which one or more boundaries of the individual lots coincide with the interior walls of a structure which separate individual attached single-family dwelling units.~~ A subdivision or short subdivision proposed as part of a residential development project that meets the development standards applicable to the parent lot at the time the application is vested, but which may result in development on one or more individual unit lots becoming nonconforming as to specified land use and development standards based on the analysis of the individual unit lot.



**PLANNING COMMISSION REPORT
AND RECOMMENDATION TO CITY COUNCIL**

March 11, 2026

Project File Number:	LAND-2026-00015 SEPA-2015-00016	
Proposal Name:	2025 Legislative Conformance, Business Improvement, and Fences Zoning Code Amendments	
Applicant:	City of Redmond	
Staff Contacts:	Lauren Alpert, Senior Planner	425-556-2460
	Kimberly Dietz, Principal Planner	425-556-2415
	Jeff Churchill, Long Range Planning Manager	425-556-2492

FINDINGS OF FACT

Public Hearing and Notice

- a. **Planning Commission Study Sessions and Public Hearing Dates**
 - i. The City of Redmond Planning Commission held study sessions on Feb. 11, 25, and March 11, 2026.
 - ii. The City of Redmond Planning Commission held a public hearing on the proposed amendments on Feb. 25, 2026. Comments were received and are provided in **Appendix C** and **Appendix D**.
- b. **Notice and Public Involvement**
 The public hearing notice was published in the Seattle Times on Feb. 4, 2026, in accordance with RZC 21.76.080 Review Procedures. Notice was also provided by including the hearing schedule in Planning Commission agendas and extended agendas, distributed by email to various members of the public and various agencies. Additional public outreach included email to the Plans, Policies, and Regulations email list and posting on the City’s website.

Redmond Zoning Code Amendment Summary and Criteria Evaluation

These zoning code text amendments are organized in three different categories: 2025 legislative conformance, business code improvements, and fences.

2025 Legislative Conformance

In 2025 the state legislature enacted several new laws affecting local development regulations. This amendment package will result in updates to the Redmond Zoning Code to address new state laws. It will also address several clean-ups related to Redmond 2050. Topics include subdivision regulations,

Planning Commission Report - Findings and Conclusions
2025 Legislative Conformance, Business Improvement, and Fences Zoning Code Amendments
March 11, 2026

zoning for child care centers, parking, permitting timelines, building conversions, and miscellaneous corrections.

Business Code Improvements

The City's Economic Development team monitors business interaction with our development regulations. Annually, staff prepares a package of code amendments proposed to improve business use of these regulations. The 2025-2026 package includes:

- Ensuring commercial floor area is provided in mixed-use developments by removing opportunity for deviation from adopted code requirements;
- Requiring placement of "Businesses Open" where pedestrian access to businesses are impacted by sidewalk closures;
- Simplifying and clarifying opportunities for Food Truck and Pop-Up Retail Courts and for Publicly Accessible Enhanced Amenity Spaces (PEAS); and
- Improving definitions of allowed business uses.

Fences and Retaining Walls

The fence updates are intended to synchronize and add clarity to fence requirements, and to evaluate the purpose and intent of regulating fence and retaining wall location, dimensions, permit requirements, and design.

RZC 21.76.070.AE - TEXT AMENDMENT CRITERIA	MEETS/ DOES NOT MEET
All amendments to the RZC processed under this section shall be in conformance with the Comprehensive Plan.	MEETS

Staff Analysis

The staff analysis for this proposal can be found in **Attachment A** to the Technical Committee Report.

Recommended Conclusions of the Technical Committee

On Feb. 4, 2026, the Technical Committee reviewed amendments to the Redmond Zoning Code, as documented in **Appendix E**, and found the amendments to be consistent with applicable review criteria and therefore recommended approval with no additional conditions.

RECOMMENDED CONCLUSIONS

The Planning Commission has reviewed:

- Applicable criteria for approval: RZC 21.76.070 Criteria for Evaluation and Action, and*
- The Technical Committee Report (Appendix E).*

Recommendation

Planning Commission Report - Findings and Conclusions
2025 Legislative Conformance, Business Improvement, and Fences Zoning Code Amendments
March 11, 2026

The Planning Commission finds the amendments to the Redmond Zoning Code to be consistent with applicable review criteria and therefore recommended approval with no additional conditions as shown in **Attachment A**. A summary of the Commission's discussion can be found in **Appendix A**.

DocuSigned by:

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Carol Helland
Planning and Community Development
Director

Signed by:

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Susan Weston
Planning Commission Chair

Attachments

A. Recommended Amendments to the Redmond Zoning Code

Appendices

- A. Planning Commission Issues Matrix**
- B. Public Hearing Notice**
- C. Planning Commission Meeting Minutes for Feb. 25, 2026**
- D. Written Public Comments**
- E. Technical Committee Report with Attachments**

2025 – 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Business-Oriented Pedestrian Wayfinding Signage During Construction

<p>Subject Matter Experts</p>	<p>Yuri Bergeron, Right-of-Way Program Administrator Becky Frey, Principal Planner</p>
<p>Author</p>	<p>Kimberly Dietz, Principal Planner</p>
<p>Policy Basis for Amendment</p>	<p>Comprehensive Plan</p> <p>EV-4 Focus local investments to maintain and expand infrastructure and services that support local and regional economic development strategies, encourage growth in designated centers, and help achieve employment and housing targets.</p> <p>EV-21 Invest in a well-connected, safe, accessible, and efficient multi-modal transportation network that is responsive to innovations and changing demands.</p> <p>TR-11 Use signage and other wayfinding techniques that meet regulatory requirements while reaching those with limited English proficiency or limited sight, especially near transit stations and stops.</p> <p>TR-16 Prioritize the comfort, safety, and convenience of people using pedestrian and bicycle facilities over other users of the transportation system. Establish standards for bicycle and pedestrian facilities to attract users of all ages and abilities. Prioritize improvements that address safety concerns, connect to centers or transit, create safe routes to school, and improve independent mobility for those who rely disproportionately on the pedestrian and bicycle network.</p> <p>Economic Development Strategic Plan</p> <p>Action 6B.3. Support the development of district design guidelines, including signage, wayfinding, banners, lighting, and other urban design elements to reinforce visual district identity.</p>
<p>Relevant Code Portions</p>	<p>RZC Appendix 2.A.7.f Streets - Intersection Design: Temporary Pedestrian Access During Construction</p> <p>Additional Relevant Codes:</p> <p>RZC 21.52.030.F Street and Access Standards - Traffic Control, Safety Devices, and Street Lights</p> <p>RZC 21.52.050 Pedestrian, Bicycle, and Other Nonmotorized Connections.</p>

Proposed Amendment Overview

Provide wayfinding signage for pedestrians to access businesses when regular access is restricted by construction or other temporary sidewalk closures.

Rationale

Businesses can be impacted negatively when regular pedestrian access is restricted for lengthy periods of time. To support business vitality, signage indicating clear pedestrian access routes would be provided at accessible locations, as indicated for City review in Traffic Control Plans.

Key Decision Points (as applicable)

Staff reviewed to confirm the proposed sign template.

Stakeholder Feedback to Date

- One commenter requested that the amendments should also address parking access, regulations and infrastructure required.
 - Staff response: this amendment, addressing temporary signage, is intended to ensure pedestrian-level wayfinding when sidewalk closures create impacts to pedestrians accessing businesses. Parking access and infrastructure are not within the scope of this amendment.

PROPOSED AMENDMENT:

RZC Appendix 2.A..7.f, Intersection Design - Temporary Pedestrian **Access** During **Construction**.

f. Temporary Pedestrian **Access** During **Construction**.

i. A temporary pedestrian **access** plan is required as part of the civil **construction** plan set. This plan needs to show how pedestrian traffic passing by the proposed **development** will be accommodated during the entire length of the **construction** phase. The plan is required to work in conjunction with pedestrian and **vehicle** detours already in place for other public and private projects, and **may** need to be adjusted to respond to changing conditions as the **development** is **constructed**.

ii. For **construction** of new **structures** adjacent to existing sidewalks with pedestrian traffic, a covered walkway will be required to protect pedestrians from falling debris. Covered walkways **should** be designed to provide sturdiness, adequate light for nighttime use and safety, and proper sight distance at **intersections** and crosswalks.

iii. Short term closures of sidewalks or pathways for **utility construction** work **may** be allowed upon review and approval of the pedestrian **access** plan by the Public Works Department as per RZC **21.52.030.F.3**. The pedestrian **access** plan **should** show the duration of the short term

closure and provide temporary routes with barricades and cones that parallel existing facilities. These routes **must** be **accessible** for persons with disabilities, including the provision of ramps, minimum widths, and smooth surfaces for wheelchair **access**. When a parallel route is not available, pedestrians **must** be detoured with advance **signing** in accordance with the Manual on Uniform Traffic Control Devices. See MUTCD 2009 (or latest revision) sections 6D.01, 6D.02, 6D.05 for guidance.

iv. When pedestrian access to businesses is impacted by short-term or long-term closures of sidewalks or pathways, informational wayfinding signs must be indicated on the pedestrian access plan and installed at the approved locations to provide all of the following details:

A. Sign title: Businesses Are Open During Construction.

B. Sign subtitle: We appreciate your continued support.

C. Section text: Routes to Access Businesses:

D. Aerial or map indicating all of the following:

1. North arrow

2. Symbol legend

3. Sidewalks open with directional routing

4. Sidewalks closed for construction

5. The construction area

6. Business areas

E. Sign text: While visiting businesses in Redmond, you may occasionally be impacted by construction projects. Stay up to date on projects as they are planned and under construction by visiting the City of Redmond's Project Viewer webpage at gis.redmond.gov/CPV.

F. Construction contact information including name, phone number, email address, and webpage.

G. Construction company logo and City of Redmond logo.

H. Accessible information.

- 1. Braille plaque for visually impaired; and
- 2. Web url to information for translation.

I. Example sign:



Routes to Access Businesses:

Braille plaque of sign information



While visiting businesses in Redmond, you may occasionally be impacted by construction projects. Stay up to date on projects as they are planned and under construction by visiting the City of Redmond’s Project Viewer webpage at gis.redmond.gov/CPV.

Planning and Community Development
– Economic Development
redmond.gov/SmallBusiness

Web URL to translation of sign information



2025 – 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Definitions

Subject Matter Experts	Beckye Frey, Principal Planner David Lee, Principal Planner Jenny Nelson, Supervisor, Development Services
Author	Kimberly Dietz, Principal Planner
Policy Basis for Amendment	<p>FW-LU-2 Ensure that the land use pattern in Redmond meets the following objectives:</p> <ul style="list-style-type: none"> • Reflects the community values of sustainability, resilience, and equity and inclusion; • Advances sustainable land development and best management practices and a high-quality natural environment; • Reduces and protects against disproportionate negative impacts from land development and exposure to environmental injustice. • Promotes development sufficiently away from environmentally critical areas; • Encourages a mix of uses that create complete neighborhoods; • Maintains and enhances an extensive system of parks, trails, and open space; • Supports and encourages flexible places for a resilient and adaptive economy that includes a mix of research, retail, health, technology, and manufacturing uses; • Ensure the siting and delivery of public infrastructure and community services to support preferred land use pattern; and • Promotes sufficient density for development pattern and urban design that enable people to readily use a variety of accessible and active forms of travel including but not limited to walking, rolling, bicycling, transit. <p>LU-2 Ensure that development regulations, including the allowed density, uses, and site requirements, support Redmond’s preferred land use pattern.</p> <p>LU-5 Provide an appropriate level of flexibility through development regulations to promote efficient use of buildable land. Balance this flexibility with other community goals and the need for equity.</p> <p>LU-7 Provide opportunities for shops, services, recreation, and access to healthy food sources within walking or bicycling distance of homes, workplaces, and other gathering places.</p>
Relevant Code Portions	RZC 21.78 Definitions RZC Article I. Zone-Based Regulations

Proposed Amendment Overview

Amendments to land use definitions are necessary to clarify the classification of businesses. Amendments include clarifications specific to:

- Dance studios and craft and fine art lessons in the Arts, Entertainment, Recreation, and Assembly class versus fine arts and performance art schools and conservatories in the Technical, Trade, and Specialty Schools class.
- Spas, massage, and similar personal services within the General Sales or Services land use class.

Rationale

Clarity of land use classifications ensures that businesses can align their activities operations with the City's development regulations including allowed uses by zoning district. The business owner's experience with the Redmond Zoning Code can be enhanced and streamlined by creating this type of clarity.

Key Decision Points (as applicable)

Internal review of the refined definitions has confirmed the accuracy and policy consistency for each of the amendments proposed below.

Stakeholder Feedback to Date

- One commenter requested the amendments to include any additional infrastructure and parking access in addressed.
 - Staff response: In the case of proposed definitions, staff is not recommending amendments that impact infrastructure and parking access.

PROPOSED AMENDMENT:

Arts, Entertainment, Recreation and Assembly. An establishment that provides facilities or services for cultural, recreational, and entertainment uses, including, but not limited to, craft and fine art lessons, performing arts establishments and studios, theaters, museums, arcades, escape rooms, and marinas, but specifically excluding adult entertainment facilities. Kiosks are included as accessory to arts, entertainment, recreation, and assembly.

Technical, Trade, and Specialty Schools. Schools that offer vocational and technical training in a variety of technical subjects and trades and that may lead to job-specific certification. This definition includes beauty schools, business management schools, computer training schools, driving education schools, fine arts and performance arts schools and conservatories, flight training schools, and sports and recreation schools.

General Sales or Services. An establishment engaging in the retail sale, rental, or lease of goods or the provision of services, including but not limited to automobile sales or service; heavy consumer goods sale or service; durable consumer goods or service; the sale or service of other consumer goods, grocery, food and beverage sales; health and personal care services; finance and insurance services; real estate services; personal and professional services; administrative services; and restaurant and food services. “General sales or services” does not include hotels, motels, and other accommodation services; mail order or direct sales establishments; membership wholesale/retail warehouses; and packing, crating, and convention and trade show services; and cannabis retail sales.

2025 - 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Active Use Retail Deviation Prohibition

Subject Matter Experts	Kim Dietz, Principal Planner and Special Projects Program Manager Beckye Frey, Principal Planner Philly Marsh, Economic Development Manager Domonique Meeks, Small Business Program Manager
Author	Kimberly Dietz
Policy Basis for Amendment	<p>From 2014 to 2024, the city lost approximately 50 percent of its retail, goods and services, and food and beverage floor area. Retail, restaurants, and other small business displacement continues as new develop occurs and fewer opportunities for business relocation within the city are provided. By locating retail, goods and services, and food and beverage businesses in Redmond’s centers, in close proximity to where large numbers of people live, work, travel, and visit, the city’s economic vitality also strengthens priorities such as access and mobility, climate impact reductions, and equity for all.</p> <p>By clarifying regulations, applicants for development will receive clear and predictable information regarding the importance of retail, goods and services, and food and beverage floor area in relevant locations throughout the city. Precise language and messaging, prohibiting deviations regarding these commercial spaces, will ensure timeliness for project designers and financiers of developments proposed in Downtown, Marymoor, and Overlake. Implementation of the amended regulations will ensure quality, livable standards while promoting a vibrant and diverse economic environment.</p> <p>Comprehensive Plan LU-32 Maintain the Downtown, Marymoor Village, and Overlake centers as major retail, service, entertainment, and cultural centers for the city and the greater Eastside.</p> <p>Economic Development Strategic Plan. Strategy 1B, Action 1B.1 Consider development standards and other incentives to produce functional commercial and flexible spaces for industries that report a shortage of space opportunities or are facing displacement risk.</p> <p>Tourism Strategic Plan. Goal 1, Initiative 20 Encourage the development of retail spaces that will attract culinary, beverage, and nightlife businesses to Redmond. Goal 4, Initiative 7 Encourage district development, placemaking, and branding initiatives to enhance tourism assets, with a particular focus on districts accessible via light rail.</p>
Relevant Code Portions	RZC 21.76.070 Land Use Actions and Decision Criteria

Proposed Amendment Overview

From 2014 to 2024, the city lost approximately 50 percent of its retail, goods and services, and food and beverage floor area. Retail, restaurants, and other small business displacement continues as new develop occurs and fewer opportunities for business relocation within the city are provided. By locating retail, goods and services, and food and beverage businesses in Redmond's centers, in close proximity to where large numbers of people live, work, travel, and visit, the city's economic vitality also strengthens priorities such as access and mobility, climate impact reductions, and equity for all.

Rationale

By clarifying regulations, applicants for development will receive clear and predictable information regarding the importance of retail, goods and services, and food and beverage floor area in relevant locations throughout the city. Precise language and messaging, prohibiting deviations regarding these commercial spaces, will ensure timeliness for project designers and financiers of developments proposed in Downtown, Marymoor, and Overlake. Implementation of the amended regulations will ensure quality, livable standards while promoting a vibrant and diverse economic environment.

Key Decision Points (as applicable)

The city continues to receive requests for deviation to avoid the creation of commercial floor area in new mixed-use development. There is a natural loss of commercial floor area when redevelopment occurs based on the need for lobbies, ground floor parking, service areas, elevators, and other space requirements. Strategic and equitable requirement of commercial floor area throughout the city's centers contributes to the potential relocating and rehoming of businesses that have been previously displaced or risk displacement. At the time of this report, staff were monitoring more than 50 businesses that have been displaced or are at risk of near-term displacement.

Stakeholder Feedback to Date

- Developers have expressed that historically there have been challenges with leasing out first floor commercial spaces in mixed-use buildings. They have requested provisions allowing for flex spaces to allow for residential uses or tenant spaces instead of commercial.
- One commenter requested that the amendment's changes should also address parking to support any additional retail additions and provide for any infrastructure required to support access to and from these retail areas.
 - Staff response: No additional retail is proposed via the amendments. Parking and infrastructure would otherwise be addressed via the existing regulations for the individual zoning district and development requirements specific to the form of construction.

of vegetation, provision of usable open space, and adequate light, air, and security.

PROPOSED AMENDMENT:

RZC 21.76.070 Land Use Actions and Decision Criteria

C. Administrative Design Flexibility.

1. Purpose. The purpose of RZC 21.76.070.C is to promote creativity in site design, allow flexibility in the application of standards in certain zones, and to achieve the creation of sites and uses that may benefit the public by the application of flexible standards not otherwise possible under conventional development regulations.
2. Scope. Administrative design flexibility shall only be considered for adjusting standards in the categories listed below for each type of land use. Requests for adjustment to standards not listed shall be processed as a variance as set forth in RZC 21.76.070.AB, Variances.
3. Process Type. Requests for administrative design flexibility shall be processed and decided as part of the decision on the underlying permit.

4. Decision Criteria.

...

8. Decision Criteria for Downtown, Overlake, and the Marymoor Design District.

- a. Deviation from standards listed in RZC 21.76.070.C.8.b may be allowed if an applicant demonstrates that the deviations would result in a development that:
 - i. Better meets the intent of the goals and policies for the zone in which the site is located;
 - ii. Is superior in design in terms of architecture, building materials, site design, landscaping, and open space; and
 - iii. Provides benefit in terms of desired use and activity.
- b. Standards that may be modified by application of administrative design flexibility are as follows:
 - i. Parking Lot Location. Requirements for the location of on-site parking may be modified within the development (except for parking within residential yard areas) to provide for greater joint-use and quasi-public parking opportunities and uses which are highly desirable in the subject design area.
 - ii. For Downtown, mid-block pedestrian walkways and vehicular lanes, per RZC 21.10.300, Public Realm Standards, and RZC Appendix 2A, Downtown Street Requirements, may be modified to allow variations in locations and minimum widths for these items to provide superiority in site design and function which benefits both the property owner and public.
 - iii. Street standards for attached dwelling unit subdivision developments.
 - iv. Other Site Requirements and Standards. All other site requirements and standards except the following density, number of stories, and FAR may be modified within the development to provide superiority in site design:
 - A. Density;
 - B. Number of stories;
 - C. Required ground-level non-residential floor area in mixed-use zones; and
 - D. FAR.

—i.e., greater v. Examples of Superiority in Site Design. Examples of superiority in site design include but are not limited to the following:

 - A. Amounts of privacy;

- ~~B.~~ ~~m~~ **M**aintenance of views;
- ~~C.~~ ~~g~~ **G**reater environmental benefit;
- ~~D.~~ ~~d~~ **D**istinctive and high quality of design;
- ~~E.~~ ~~i~~ **I**mproved pedestrian access;
- ~~E.~~ ~~p~~ **P**reservation of vegetation;
- ~~G.~~ ~~p~~ **P**rovision of usable open space; ~~and~~
- ~~H.~~ ~~a~~ **A**dequate light, air, and security;

2025 – 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Activation in Centers

Subject Matter Experts	Becky Frey, Principal Planner Kimberly Dietz, Principal Planner
Author	Becky Frey, Principal Planner
Policy Basis for Amendment	<p>Activation of Redmond’s center is an aspect of placemaking and economic vitality. It provides opportunities for small businesses and for members of the creative sector including but not limited to artists, performers, and relevant support businesses and organizations. Policies and strategies that support the proposed amendments include:</p> <p>EV-19 Enhance local arts, culture, recreation, nightlife, and social amenities that promote Redmond as an attractive place to work and live.</p> <p>EV-22 Support Redmond’s growth as a tourism destination and foster tourism-related initiatives that bring investment and economic benefit.</p> <p>EV-23 Allow for the equitable and multi-purpose use of public spaces and rights-of-way, including commercial uses such as outdoor dining, food/merchant kiosks, food trucks, and event and performance spaces.</p> <p>Planning Commission previously discussed and recommended amendments but adoption of a code portion did not occur (permit related language removed from 21.04 since permit review types are discussed elsewhere).</p>
Relevant Code Portions	<p>21.04.2140 Food Truck and Pop-Up Retail Court</p> <p>21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).</p> <p>21.04.4000 Temporary Uses.</p>

Proposed Amendment Overview

This amendment is intended to encourage the creation of active and lively amenity spaces by removing process and fees on individual users and instead reviewing and approving the uses at the SPE.

This amendment would allow for site plan review of food truck courts and PEAS spaces to identify and pre-approve uses that would typically require the individual business owner to obtain a temp use permit. By eliminating the need for individual vendors to obtain their own temporary use permit it reduces costs significantly and opens doors to smaller vendors, which is especially important for immigrant and other start-up businesses.

In addition, if you have an approved PEAS, no Temp Use or Type II permit is necessary for activation: food truck, kiosks, and pop ups. Admin mod can be used to update for future uses.

Summary of proposed amendments:

<p>21.04.2140. Food Truck and Pop-Up Retail Court</p>	<p>Section B.1. Review Process</p> <ul style="list-style-type: none"> • Clarified review and approval process, including use of admin modification to add court use to previously approved PEAS space. • Added language about temporary uses not needing a temp use permit if reviewed as part of court site plan approval
<p>21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).</p>	<p>E. PEAS Uses.</p> <ul style="list-style-type: none"> • Added language to specifically allow food truck and pop-up retail court as a use in PEAS spaces • Added language about temporary uses not needing a temp use permit if reviewed as part of PEAS site plan approval
<p>21.04.4000 Temporary Uses.</p>	<p>C. Exemptions.</p> <ul style="list-style-type: none"> • Added exemption for temporary uses reviewed and approved as part of PEAS and Courts approval processes.

Rationale

These changes will support small local business and start-ups.

Key Decision Points (as applicable)

Stakeholder Feedback to Date

Interest in food truck court and extremely interested in it being a flex space that makes it easy to rotate users in at low/no cost. Having the space be flexible for uses increases the marketability of the space and helps to justify the investment in the needed infrastructure.

- One commenter requested that in support of tourism and increased use of public spaces and rights-of-way, the amendments need to include in additional infrastructure and parking access to be addressed.
 - Staff response: The code relevant to the proposed amendments previously provided regulations that address infrastructure and parking access to support proposed development of these uses.

PROPOSED AMENDMENTS:

21.04.2140. Food Truck and Pop-Up Retail Court

A. Purpose. Implement the Comprehensive Plan goals for supporting small businesses and complete neighborhoods.

B. Location and Uses.

1. Review Process.

a. A Type II permit is required for new sites not previously approved for PEAS (per 21.36.200).

b. An Administrative Modification can be used to add Court uses to a previously approved PEAS location.

c. If a court is part of new development, it may be consolidated in that permit review process and would follow the required permit type for the underlying application.

2. Food truck courts may be used for pop-up retail, kiosks, and other temporary uses including seasonal sales (pumpkins, trees, etc.).

3. Events, including but not limited to concerts, farmers markets, and flea markets, are allowed if the use is reviewed and approved as part of the court site plan approval.

4. Uses in the court that typically require a temporary use permit (seasonal sales, events, etc.), will not require an individual temporary use permit if the use is reviewed and approved as part of the court site plan approval.

a. The court site plan must include locations for indicated temporary uses, maximum occupancy, and show how the health, safety, and other impacts and considerations are mitigated at the site plan approval.

b. Temporary uses not included as part of the court site plan approval will require a temporary use permit.

21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).

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E. *PEAS Uses.*

1. PEAS may be designed to take advantage of incentive options such as child-friendly amenities and small business support, including but not limited to pop-up retail, kiosks, and performance stage, etc. Recommended child-friendly features include, but are not limited to:

a. Adjacent or nearby public restroom facilities that are open at minimum for the same duration as the amenities. Restroom facilities must provide child changing stations (if

providing restrooms by gender, changing tables must be provided in restrooms for all genders).

b. Seating for parents and caregivers that is integrated into or adjacent to the amenity provided, with the number of seats provided in scale with the occupancy load of the amenity space. (Ord. 3186)

2. PEAS spaces may be used for Food Truck and Pop-Up Retail Court if the site meets the requirement in RZC 21.04.2140 and are included on the PEAS site plan.

a. Court uses can be approved with the site plan for PEAS as a consolidated review.

b. An Administrative Modification can be used to add Court uses to a previously approved PEAS location.

3. Uses in the PEAS space that typically require a temporary use permit (seasonal sales, events, etc.), will not require an individual temporary use permit if the use is reviewed and approved as part of the court site plan approval.

a. The PEAS site plan must include locations for indicated temporary uses, maximum occupancy, and show how the health, safety, and other impacts and considerations are mitigated at the site plan approval.

b. Temporary uses not included as part of the court site plan approval will require a temporary use permit.

21.04.4000 Temporary Uses.

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C. *Exemptions.*

1. The following activities and structures are exempt from requirements to obtain temporary use approval. Substantive requirements applicable to any use identified in this subsection shall still be met. Additional land use approvals or other permits may be required.

a. Manufactured homes, portable units, modular structures, travel trailers when used as a dwelling while a residential building on the same lot is being constructed or when a damaged residential building is being repaired, if adequate sewer and water are available.

...

l. Weekend (Saturday and Sunday) only, warehouse sales in Business Park, Manufacturing Park, and Industry zones, when held no more than once a month in an existing facility.

2. Temporary Uses approved as part of a PEAS (see RZC 21.36.200) or Food Truck and Pop-Up Retail Court (see RZC 21.04.2140) are exempt from a temporary use permit under this section.

REDMOND ZONING CODE

Code Amendment Summary

Amendment name: Fences and Retaining Walls

Subject Matter Expert	<p>Jenny Nelson, Building Plan Review Supervisor, jnelson@redmond.gov</p> <p>Andrea Kares, Plans Examiner, akares@redmond.gov</p> <p>Cindy Wellborn, Senior Stormwater and Utilities Engineer, cwellborn@redmond.gov</p> <p>Matthew Allen, Planner, mallen@redmond.gov</p> <p>Kaila Yun, Assistant Planner, kyun@redmond.gov</p> <p>Tony Regis, Senior Engineer, tregis@redmond.gov</p> <p>Tom Hardy, Senior Environmental Scientist, twhardy@redmond.gov</p> <p>Travis Salley, Planning Manager, tsalley@redmond.gov</p> <p>Andy Chow, Engineering Manager, kachow@redmond.gov</p>
Author	<p>Lauren Alpert, Long Range Planning, lalpert@redmond.gov</p>
Policy Basis for Amendment	<p><i>Consistent and clear language:</i></p> <ul style="list-style-type: none">• <i>between 21.24 and other sections of the code</i>• <i>Fence height</i>• <i>Retaining walls</i>• <i>Deviation process</i>
Relevant Code Portions	<ul style="list-style-type: none">• RZC 21.24,• Appendix 2 - Retaining walls• Ch. 21.64 Critical Areas Regulations Redmond Zoning Code• 21.04 Land Uses and General Provisions• Stormwater-Technical-Notebook-2022-PDF• Fence Tip Sheet

REDMOND ZONING CODE

Code Amendment Summary

Proposed Amendment Overview

This code amendment updates the fence code in RZC 21.24, creates a new code section for retaining walls, RZC 21.25, and removes duplicative language on retaining walls from Appendix 2

Rationale

The purpose of this amendment is to synchronize the zoning code to applicable standards across various codes and consistency with Redmond 2050, manuals, specifications and to evaluate the purpose and intent of regulating fence and retaining wall location, dimensions, permit requirements, and design.

Key Decision Points (as applicable)

- Height of fences
- Tiered retraining walls
- Fence standards in urban centers and neighborhoods

Stakeholder Feedback to Date

- Clarify technical standards: Requests to ensure the code clearly addresses setbacks, property lines, rights-of-way, materials, height, and construction requirements, with attention to adjoining properties.
- Noise-adjacent context: A commenter asks for exceptions for taller fences along major roads (e.g., 140th Ave NE) to help mitigate traffic noise impacts on residential lots.

PROPOSED AMENDMENT:

Chapter 21.24 FENCES

Sections:

- 21.24.010 Purpose.**
- 21.24.020 *Repealed.***
- 21.24.030 Height.**
- 21.24.040 Prohibited Locations.**
- 21.24.050 Electric, Barbed Wire, and Swimming Pool Fences.**
- 21.24.060 Repealed. ~~Additional Residential Neighborhood Requirements.~~**

21.24.010 Purpose.

The purpose of this chapter is to provide for fences that:

~~A. Protect or enhance property and life and that are compatible with residential neighborhoods while protecting the public from hazardous fences or fences that may blight residential neighborhoods;~~

Allow privacy while maintaining a built environment that is cohesive with the surrounding community.

B. Protecting the public from hazardous fences.

~~B. Increase visibility of front yards by using the principles of the Crime Prevention Through Environmental Design (CPTED) Program to increase public safety and to deter crime;~~

C. Promote and enhance the City's neighborhoods as walkable places and reduce impacts on the pedestrian experience that may result from taller fencing;

D. ~~Maintain the open-space character of certain residential neighborhoods and~~ **P**romote public view corridors by encouraging the application of **lower-height fencing.** non-solid styles of fencing, and landscaped screens.

Effective on: 4/16/2011

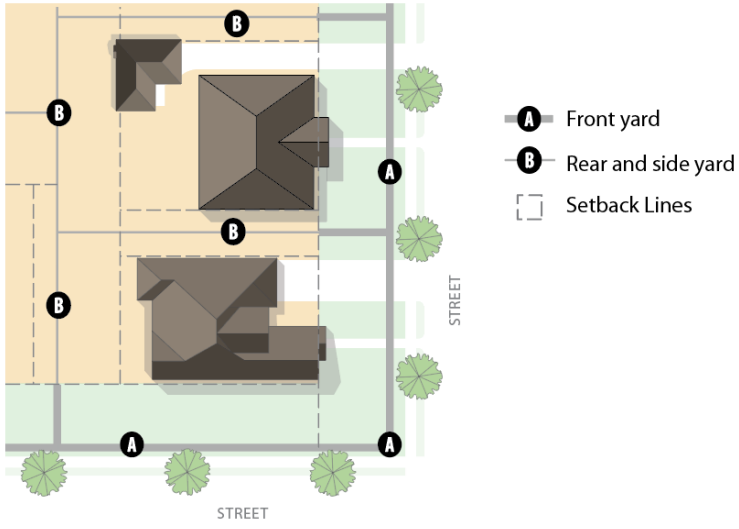
21.24.020 Permits.

Repealed by [Ord. 3153](#).

Effective on: 4/16/2011

21.24.030 Height.

A. **Maximum Height.** The maximum height of fences shall be as follows; provided, that the requirements of RZC [21.52.040](#), *Sight Clearance at Intersections*, are met:

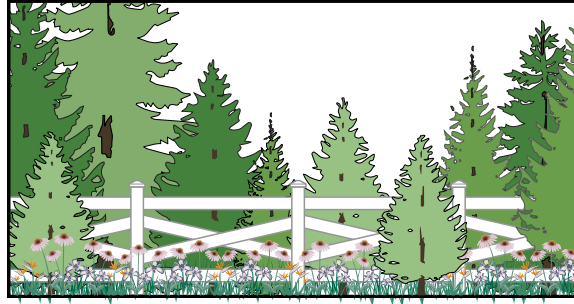
Table 21.24.030.A Maximum Fence Height	
Zones	Permitted Height (1)(2)(3)
UR, RA-5, NR, NMF, and in the <u>Downtown, Overlake, and Marymoor Centers</u>	<div style="text-align: center;">  </div> <p style="color: red; font-size: small;">Six feet anywhere on the lot (see RZC 21.24.060, <i>Additional Residential Neighborhood Requirements</i>, for additional information)</p> <ul style="list-style-type: none"> <li style="margin-bottom: 5px;"> A <u>Walls and fences located in any front yard must be 4 feet or less otherwise</u> <li style="margin-bottom: 5px;"> B <u>6 feet</u>
All other zones	Eight feet anywhere on the lot, subject to landscaping requirements in RZC 21.32 , <i>Landscaping and 21.58 Community Design</i>

**Table 21.24.030.A
Maximum Fence Height**

Zones	Permitted Height (1)(2)(3)
	<p><u>(1) This excludes areas of a lot regulated by RZC 21.52.040 – Sight Clearance at Intersections, where the height limit may be lower.</u></p> <p><u>(2) Maximum fence height may be exceeded without the requirement for a variance when specified in federal or state requirements due to safety and security. Documentation of this requirement shall be provided by the applicant and approved by the Administrator.</u></p> <p><u>(3) When the City’s Building Code has requirements, such as where a guard rail is required to be placed atop a retaining wall or rockery, additional height is permitted but additional height must not exceed the minimum required to meet the building code.</u></p>

Figure 21.24.030B

Examples of Low See-Through Fences



Low, see-through fences (maximum height 42 inches) can add variety and human scale.

B. Fences Adjacent to Rockeries or Retaining Walls.

1. Where a fence and a rockery or retaining wall lying within a building setback area are within five feet of each other, the combined height of the fence and rockery or retaining wall shall not exceed a maximum of eight feet except as provided in subsections **B.2** and **B.3** below.

2. Staff may approve a modification to the combined height limit for fences and rockeries or retaining walls if either:

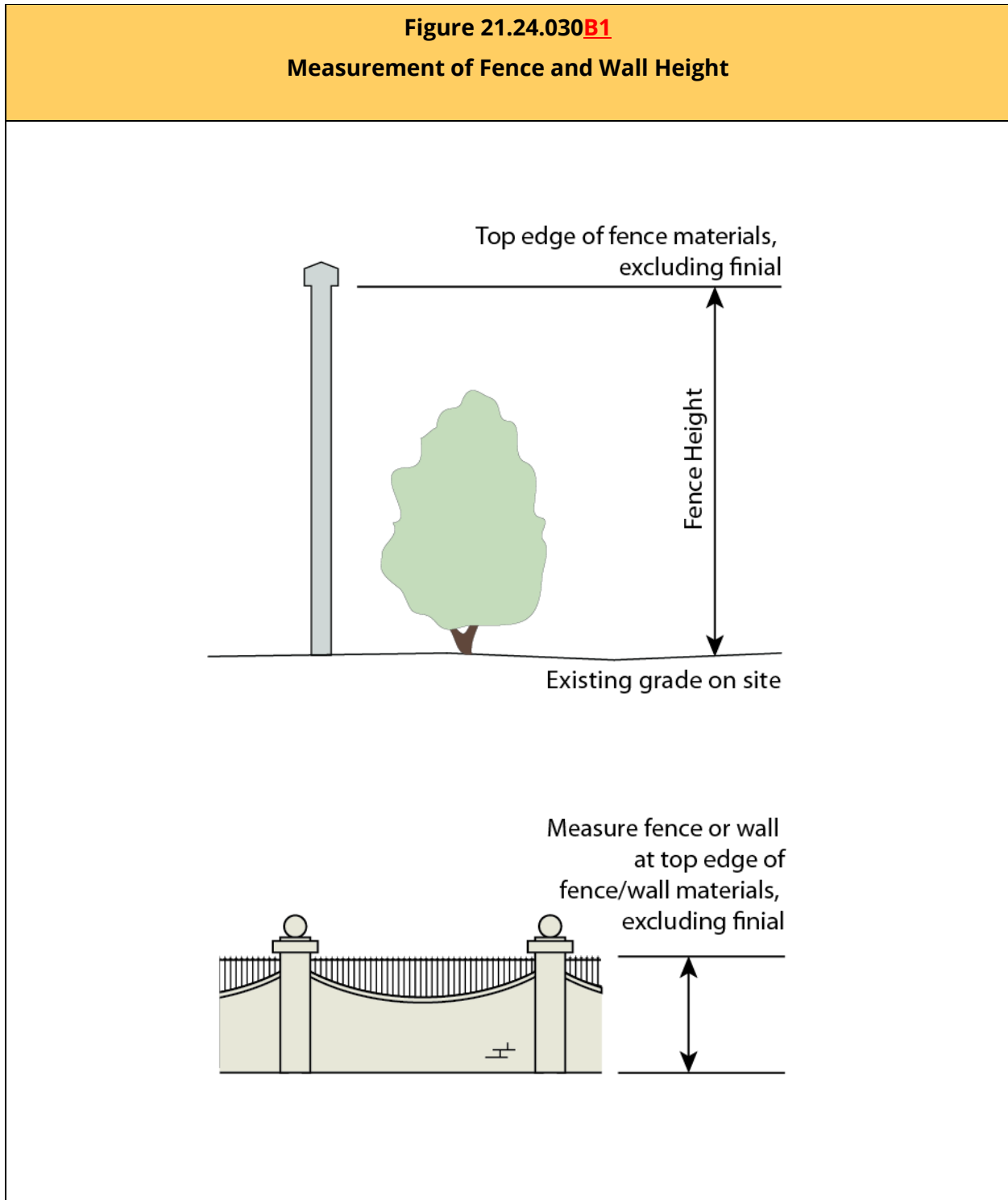
a. The City's Building Code requires additional height, such as where a guard rail is required to be placed atop a retaining wall or rockery; or

b. The design of the rockery or retaining wall includes terraces that are deep enough to incorporate landscaping or other techniques that reduce the visual mass of the wall, and the fence is designed to be no more than 50 percent solid.

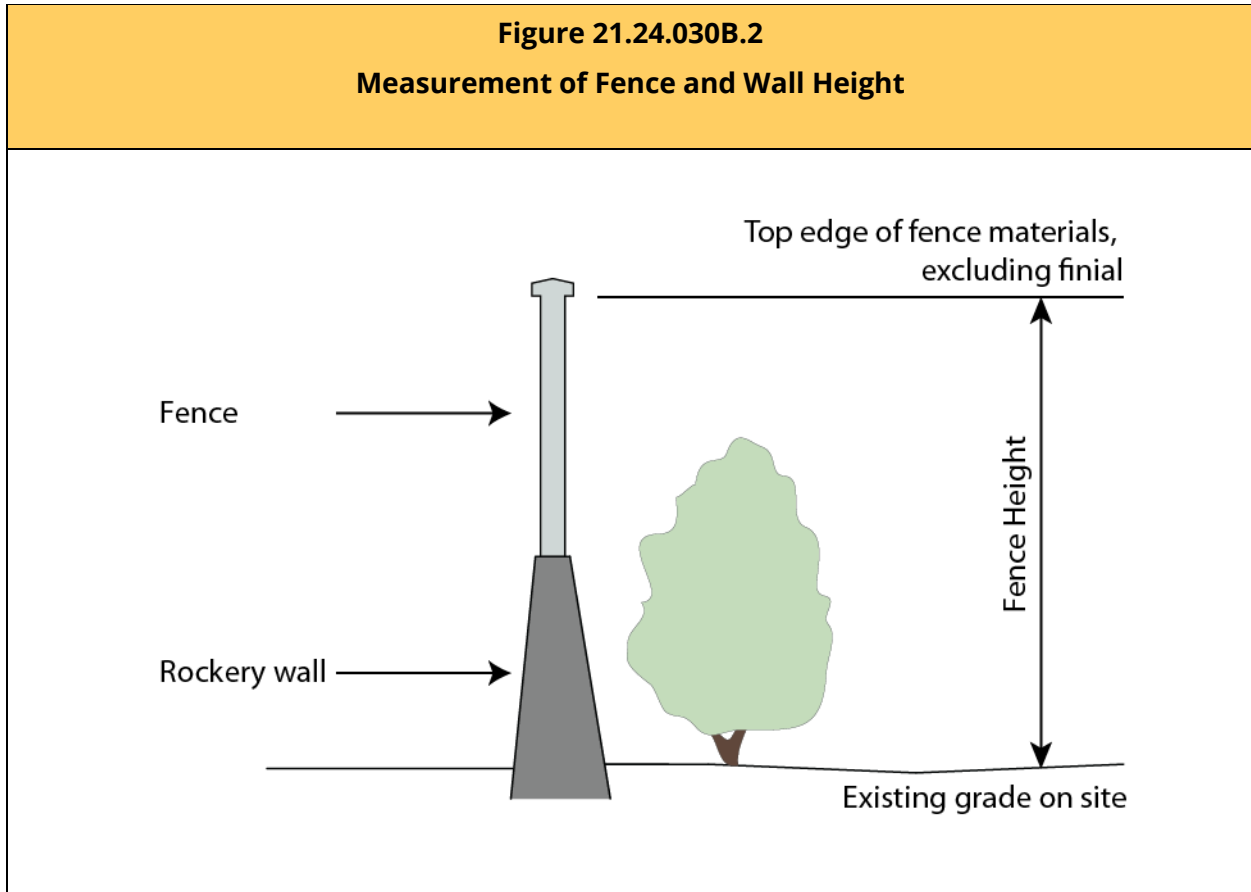
3. The Technical Committee may approve a modification to the combined height limit for fences and rockeries or fences and retaining walls if the modification is necessary because of the size, configuration, topography, or location of the subject property, to provide the property with the use rights and privileges permitted to other properties in the vicinity or zone in which the property is located, and the modification will not be materially detrimental to the public welfare or to abutting properties:

B. Fences combined with Rockeries and Retaining Walls Height. Fence and wall height shall be measured as follows:

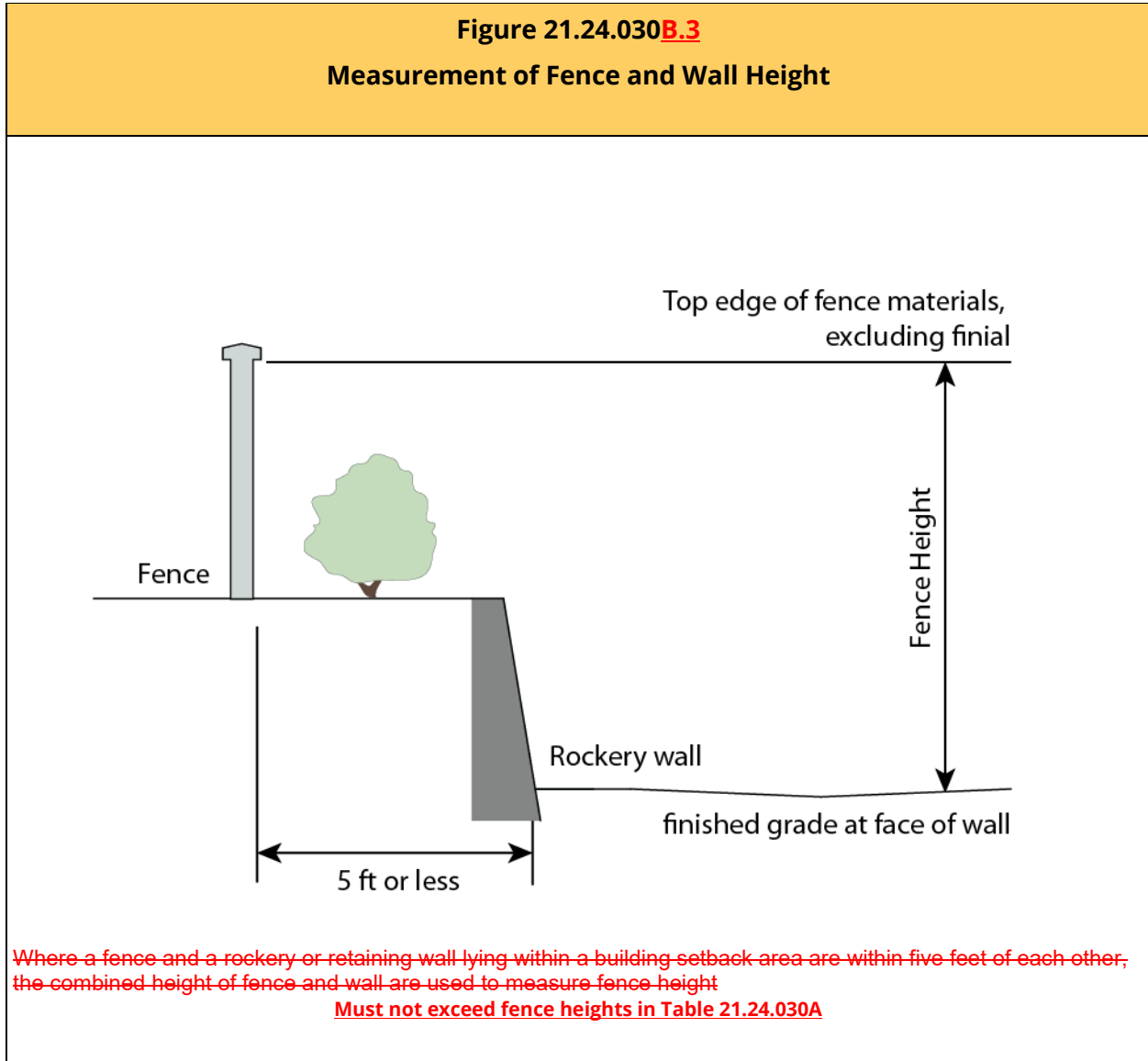
1. Fence height shall be measured as the vertical distance between the existing grade on the site at the base of the fence and the top edge of the slats or other fence material (exclusive of fence posts). See Figure 21.24.030 B1



2. Fence height when fences are on top of a wall/rockery must not exceed fence heights in Table 21.24.030A.



3. A fence and a rockery or retaining wall within five feet of each other, the combined height of the fence and rockery or retaining wall shall not exceed fence heights in Table 21.24.030.A



4. The City's Building Code requires additional height, such as where a guard rail is required to be placed atop a retaining wall or rockery.

2.—The combined height of fencing placed on top of a wall or rockery shall be measured as the vertical distance between the existing grade on the site at the base of the wall and the top edge of the slats or other fence material (exclusive of posts).

3.—Where the grade within six feet of the base of a fence or wall differs from one side of the fence or wall to the other (as when a fence is placed at the top or bottom of a slope or at the top of a rockery or retaining wall), the height shall be measured from the side with the lowest existing grade.

(Ord. 3153)

Effective on: 6/18/2018

21.24.040 Prohibited Locations.

Fences are prohibited in critical areas, critical area buffers, native growth protection areas, designated greenbelts, and designated open space, except as required by RZC [21.64.010.R.2](#).

Effective on: 4/16/2011

21.24.050 Electric, Barbed Wire, and Swimming Pool Fences.

Electric, barbed wire, and swimming pool fences are permitted or required as follows:

Table 21.24.050 Electric, Barbed Wire, and Swimming Pool Fences			
Fence Type	Permitted Zones	Special Requirements	Other Code Requirements
(A) Electric Fences	UR, RA-5 May be used in conjunction with the keeping of large domestic animals where allowed in NR through NMF zones.	A. Permanent signs must be posted every 50 feet stating that the fence is electrified. B. Fences, appliances, equipment, and materials must be listed or labeled by a qualified testing agency and be installed in accord with manufacturer's specifications. C. Except in the UR zone, all electric fences must be set back at least two feet from property lines adjacent to public rights-of-way and NR through NMF zones, and a second and more substantial fence with a mesh size small enough to prevent a child from reaching through, shall be located along the property line.	All electric fences must comply with RMC Chapter 15.12 , <i>Electrical Code</i> .

Table 21.24.050
Electric, Barbed Wire, and Swimming Pool Fences

Fence Type	Permitted Zones	Special Requirements	Other Code Requirements
		D. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).	
(B) Barbed or Razor Wire Fences	UR, RA-5, but not along property lines adjacent to other residential and commercial zones.	A. Commercial storage, utility and public uses may use barbed wire only on top of a fence at least six feet in height. The barbed wire shall not extend more than 18 inches above the top of the fence. B. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).	None
(C) Swimming Pool Fences	All zones	All outdoor swimming pools must be surrounded with a fence at least five feet in height.	All swimming pool fencing must comply with King County Health Department requirements.

Effective on: 6/18/2018

~~21.24.060 — Additional Residential Neighborhood Requirements.~~

~~A. The following additional fence, rockery wall, and retaining wall requirements apply to properties located in the neighborhoods listed. The boundaries of each neighborhood are set forth in the Redmond Comprehensive Plan, Map LU-1. Where a conflict exists between the neighborhood requirements in this section and the other provisions of this chapter, the requirements of this section shall control. Where there is no specific regulation listed for the neighborhood, the other provisions of this chapter control.~~

**Table 21.24.060
Additional Neighborhood Requirements**

Neighborhood	Applicability	Fence or Wall Height	Design Requirements	Other Requirements
Education Hill	Applies to fences and walls in the front yard setback or adjacent to public recreational trails.	42 inches when built in the front setback (See Figure 21.24.060, except where home fronts onto arterial street.)	A. No sight-obscuring fencing materials allowed. B. Fence must be of a non-solid type, such as split rail fencing or split rail fencing combined with dark-colored vinyl or powder-coated chain link fence.	New-gated communities in short subdivisions and subdivisions with security fencing are prohibited.
North Redmond (except Wedge Subarea)	Applies to fences and walls in the front yard setback or adjacent to public view corridors, and public recreational trails.	42 inches in any front setback area, and 42 inches in any street side or rear setback area adjacent to an identified pedestrian or public view corridor. (See Figure 21.24.060)	A. No sight-obscuring fencing materials allowed. B. Fence must be of a non-solid type, such as split rail fencing or split rail fencing combined with dark-colored vinyl or powder-coated chain link fence.	None
North Redmond Wedge Subarea	Applies to the Wedge Subarea defined in the Neighborhoods Element of the Comprehensive Plan.	No special height requirements	Private residential fences may be constructed and maintained along and west of the western edge of the required maintenance easement for retaining systems on the west side of Redmond-Woodinville Road.	
Willows/Rose Hill	Applies to fences in the front yard setback.	42 inches	No special design requirements	New-gated communities in short subdivisions and subdivisions with security fencing are prohibited.

B.—The Administrator may approve alternative materials or a combination of materials for the fences and walls described above when such alternative materials or combinations are demonstrated to better meet the intent of this chapter.

C.—The Administrator may also approve deviations from the maximum fence height requirements set forth in the above table in the North Redmond and Willows/Rose Hill Neighborhoods for fencing associated with swimming pools, landscaping alternatives (such as landscaped berms), or other designs that clearly meet the intent of this chapter.

Effective on: 6/18/2018

CHAPTER 21.25

RETAINING WALLS

21.25.010 PURPOSE

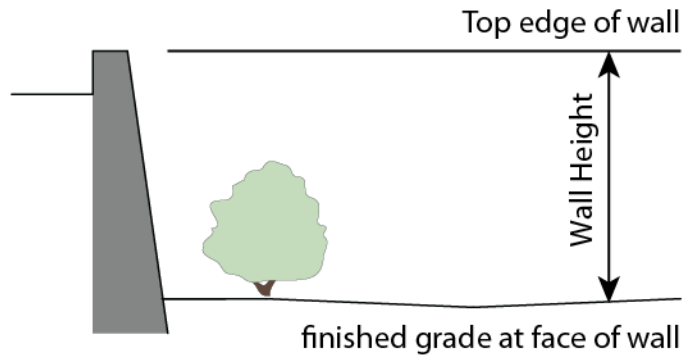
The purpose of this chapter is to provide for retaining walls and rockeries that:

- A. Minimize modification of the existing topography of properties in the City, by minimizing the amount of earth being exported or imported to a site, and to minimize the height of walls related to development.
- B. Minimize the visual impact of retaining walls having excessive heights that may be detrimental to the aesthetics of neighborhoods or nearby properties.
- C. Maintain compatibility with the nearby properties by minimizing changes in topography and excessive excavation.

21.25.100 HEIGHT

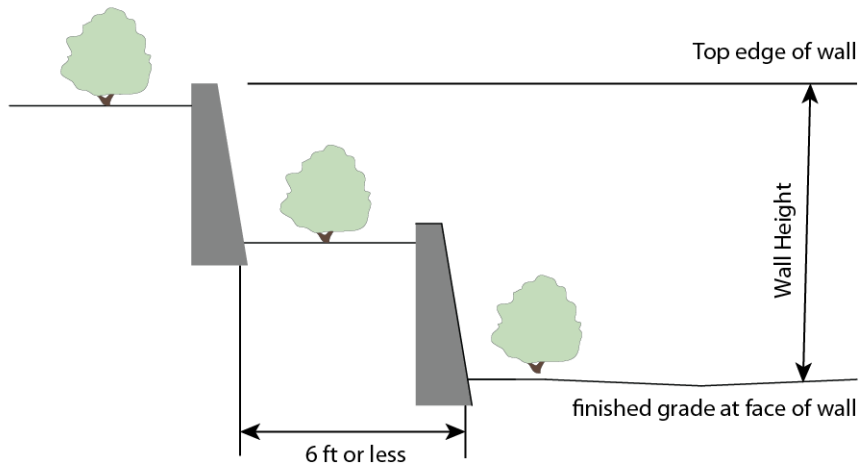
- A. Retaining wall and rockeries shall have a maximum wall height of 8 feet. Deviation requests may be approved subject to provisions of 21.25.300
- B. Measurement of Wall Height. For purposes of this chapter, retaining wall and rockery height shall be measured as follows:
 - 1. Retaining walls and rockeries height shall be measured as the vertical distance between finished grade at the face of wall to the top of the wall.

Figure 21.25.100.B.1. Retaining wall measurement



2. Retaining walls and rockeries with 6 feet or less horizontal separation between tiers, shall be measured as one retaining structure for determining the wall height. Horizontal separation shall be measured as the distance between the face of the lower wall to the face of the upper wall.

Figure 21.25.100.B.2. Measurement for retaining walls closer than 6 ft apart



21.25.200 TERRACED RETAINING WALLS [RESERVED]

21.25.300 DEVIATIONS

A. The Technical Committee may approve a deviation to the height limit for rockeries and retaining walls if the deviation is necessary because of the size, configuration, topography, or location of the subject property, to provide the property with the use rights and privileges permitted to other properties in the vicinity or zone in which the property is located, and the modification will not be materially detrimental to the public welfare or to abutting properties.

B. The deviation will not be granted for the purposes of increasing building area or usable lot space.

21.25.400 PROHIBITED LOCATIONS

A. Retaining walls and rockeries are prohibited in critical areas (except critical aquifer recharge areas), critical area buffers, native growth protection areas, designated greenbelts, and designated open space, and public and private easements except as required by RZC [21.64.010.R.2](#).

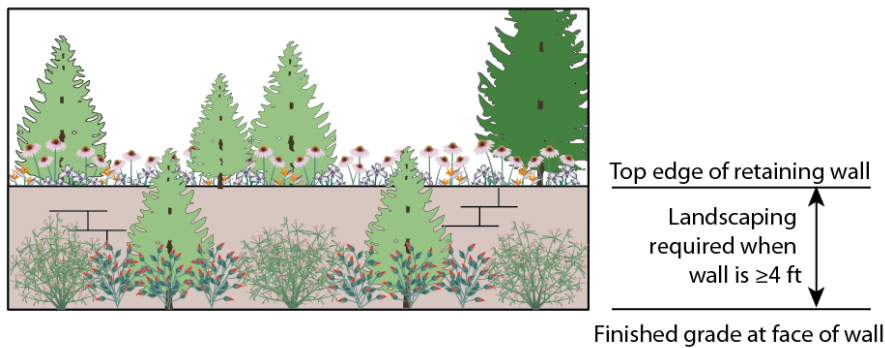
B. Private retaining walls and rockeries and their associated wall drain(s) and backfill shall be entirely within the private property in which they are installed and shall be placed outside of the public right-of-way.

21.25.500 ADDITIONAL REQUIREMENTS

- A. Planner and Engineer approval is required prior to Technical Committee approval.
- B. All retaining walls and rockeries constructed to support land used for new private development shall be placed outside of the public right-of-way and public and private easements.
- C. Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh must not extend into the public right-of-way and public easements. Tiebacks and soils nails are allowed to extend into public right-of-way with an approved Right-of-Way Use Agreement.
- D. Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh extending into private property require a private easement on that property.

- E. Retaining walls within the street section that are necessary for the street, that will be visible to the general public, and above 4 feet in height shall be constructed of either cast-in-place concrete or shotcrete, with a finish that reproduces the look of stone or masonry or having geometric patterns on the wall face. Allowable finish methods will be either stamped finish, sponge finish, troweled patterns, or modular blocks. Wall type and aesthetic pattern shall be approved by the Administrator.
- F. Install rockeries and retaining walls per City Standard Specifications and Standard Details.
- G. All retaining walls and rockeries must also meet the design standards in Section 5.6.7 “Rockeries/Retaining Walls” in the Stormwater Technical Notebook 2025 -- Issue 9A, or its successor.
- H. Retaining walls above 4-feet in height in the lot frontage **and** must have landscaping for visual screening according RZC 21.32 Landscaping with approval by Planning and Engineering.

Figure 21.25.500.H. Retaining wall landscape screening example



Appendix 2

CONSTRUCTION SPECIFICATION AND DESIGN STANDARDS FOR STREETS AND ACCESS

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13. *Mailbox Stand(s) in Residential Areas.*

- a. Mailboxes shall be clustered together in stands when practical and when reasonably convenient to the houses served.
- b. Where appropriate, mailbox stand(s) shall be installed in the sidewalk in accordance with the City of Redmond Standard Details.
- c. The location of the mailbox stand(s) is determined jointly by the City of Redmond together with the United States Postal Service.
- d. Mailbox stand locations should not be placed so vehicles using it would obstruct the required width of an emergency vehicle access road.
- e. Replacement and/or repair of mailbox stands is the responsibility of property owners served by the mailbox stand.

14. *Franchise Utilities.* Non-City-owned franchise utilities are required by City code to relocate existing facilities at their own expense when a conflict results between their facilities and public street improvements. The improvement work must be required by the City as part of an adopted plan or study in order for the relocation work to be the financial responsibility of the utility; otherwise all costs shall be the responsibility of the developer.

~~15. Retaining Walls and Rockeries.~~

- ~~a. All retaining walls and rockeries constructed to support land used for new development shall be placed outside of the public right-of-way and public easements.~~
- ~~b. Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh shall not extend into the public right-of-way and public easements.~~

~~c. Retaining walls that will be visible to the general public and above four feet in height shall be constructed of concrete (cast in place, shotcrete, or modular blocks) with an aesthetic pattern on the wall face. Wall type and aesthetic pattern shall be approved by the Public Works Director or their designee.~~

~~d. Install rockeries per Standard Detail 909 "Rock Wall under 4 feet."~~

~~e. All retaining walls and rockeries must also meet the design standards in Section 5.6.7, "Rockeries/Retaining Walls" in the 2022 Stormwater Technical Notebook, Issue 9.~~

16. *Safety Railings.*

a. *Installation.* Where a sidewalk or other nonmotorized transportation facility is to be constructed above a slope steeper than 3H:1V or adjacent to a rock wall or retaining wall where the lowest finished elevation of the slope, rock wall, or retaining wall is to be 30 inches or more below the finished elevation of the sidewalk or other facility, a safety railing shall be required. Railings shall be erected and adjusted, if necessary, after initially set to assure a continuous line and grade.

b. *Design.* Safety railings shall be constructed per Standard Detail "Typical Pedestrian Railing."

17. *Guard Rails.* For purposes of warrants, design, and location, all guard rails along roadways shall conform to the criteria of Chapter 1610 "Traffic Barriers" of the Washington State Department of Transportation Design Manual.

18. *Survey Control.* Street designs shall reference the City of Redmond's current Vertical and Horizontal Control Systems.

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

Disclaimer: The City Clerk's Office has the official version of the Redmond Zoning Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

[City Website: www.redmond.gov](http://www.redmond.gov)

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

[Hosted by General Code.](#)

REDMOND ZONING CODE

Code Amendment Summary

Implementing HB 1757

Subject Matter Expert	<i>Ian Lefcourte</i>
Author	<i>Ian Lefcourte</i>
Policy Basis for Amendment	<i>HB 1757 of the 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.04.1125

Proposed Amendment Overview

The proposed amendment implements HB 1757 of the 2025 state legislative session. HB 1757 was codified as edits to RCW 35A.21.440. Both laws require that cities extend the allowances for existing buildings to be used for residential purposes in commercial and mixed-use zones, to existing buildings in residential zones. Further, a city may not require a change of use permit for the conversion of an existing building to residential purposes.

Rationale

Compliance with state law.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

Comment that energy code should allow up to 2,000 Watt solar panels directly plugged into a wall outlet, similar to allowances in other states (Utah) and countries (Germany).

PROPOSED AMENDMENT:

21.04.1125 Conversions of Existing Buildings to Residential Uses.

A. **Purpose.** The purpose of the conversion provisions is to facilitate the conversion of existing buildings ~~that are zoned for in~~ commercial, ~~or~~ mixed-use, ~~or residential zones,~~ ~~uses to residential uses,~~ for the purpose of creating new housing units in existing buildings. These provisions support serving the City's housing needs and compliance with state requirements. The intent of these provisions is to fully comply with state requirements (RCW [35A.21.440](#), [43.21C.450](#), and [19.27A.270](#)) related to conversions of existing buildings to residential uses.

B. **Applicability.** Existing buildings constructed for commercial or mixed-use uses. For the purpose of this section, “existing building” means a building that received a certificate of occupancy at least three years prior to the permit application to add housing units. “Existing building” has the same meaning as explained in RCW [35A.21.440](#), and as thereafter amended.

C. **Special Allowances.** For compliance with state requirements, for applications related to the conversion of existing buildings that are constructed for commercial or mixed-use uses to residential uses, the City review process shall not restrict or impose the following:

1. A restriction on housing unit density that prevents the addition of housing units at a density up to 50 percent more than what is allowed in the underlying zone if constructed entirely within an existing building envelope in a building located within a zone that permits multifamily housing; provided, that generally applicable health and safety standards, including but not limited to building code standards and fire and life safety standards, can be met within the building;
2. Impose parking requirements on the addition of dwelling units or living units added within an existing building; however, cities may require the retention of existing parking that is required to satisfy existing City residential parking requirements and for nonresidential uses that remain after the new units are added;
3. With the exception of emergency housing and transitional housing uses, impose permitting requirements on the use of an existing building for residential purposes beyond those requirements generally applicable to all residential development within the building’s zone, [including requiring a change of use permit](#);
4. Impose design standard requirements, including setbacks, lot coverage, and floor area ratio requirements, on the use of an existing building for residential purposes beyond those requirements generally applicable to all residential development within the building’s zone;
5. Impose exterior design or architectural requirements on the residential use of an existing building beyond those necessary for health and safety of the use of the interior of the building or to preserve character-defining streetscapes, unless the building is a designated landmark or is within a historic district established through a local preservation ordinance;
6. Prohibit the addition of housing units in any specific part of a building except ground floor commercial or retail that is required by RZC standards, unless the addition of the units would violate applicable building codes or health and safety standards;
7. Require unchanged portions of an existing building [that have been](#) used for residential [or previously permit-approved conditioned space](#) purposes to meet the current energy code solely because of the addition of new dwelling units within the building; ~~however, if any portion of an~~ [When any other](#) existing building is converted to new dwelling units, [changed portions of](#) each of those new units must meet the requirements of the current energy code; [except if:](#)

[a. The square footage of new dwelling units does not exceed 2,500 square feet or 50 percent of the total building square footage, whichever is greater; or](#)

[b. The building owner submits documentation, in a form acceptable to the code city, showing the building's residential units' projected energy use intensity is less than or equal to the energy use intensity target in accordance with the clean buildings performance standard in RCW 19.27A.210; or](#)

[c. In all areas zoned for residential housing, an additional housing unit is created within an existing home;](#)

8. Deny a building permit application for the addition of housing units within an existing building due to nonconformity regarding parking, height, setbacks, elevator size for gurney transport, or

modulation, unless the Administrator makes written findings that the nonconformity is causing a significant detriment to the surrounding area; or

9. Require a transportation concurrency study under RCW [36.70A.070](#) or an environmental study under RCW Chapter [43.21C](#) based on the addition of residential units within an existing building.

D. ***Life Safety Standards.*** Nothing in this section shall require the City to approve a building permit application for the addition of housing units constructed entirely within an existing building envelope in a building located within a zone that permits multifamily housing in cases in which the building cannot satisfy life safety standards.

REDMOND ZONING CODE

Code Amendment Summary

Lot Splitting

Subject Matter Expert	<i>Josh Mueller, Matthew Allen</i>
Author	<i>Glenn Coil</i>
Policy Basis for Amendment	<i>HB 1096 - 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.74 Land Division, 21.76 Review Procedures, and 21.78 Definitions

Proposed Amendment Overview

The proposed amendment implements HB 1096 concerning lot splitting. It would make the final plat process entirely administrative.

Rationale

Consistency with state law: [HB 1096](#)

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

The amendment should include the reasoning for "Administrative" addition and how it differs from Subdivisions and short subdivisions lot split.

PROPOSED AMENDMENT:

Add new section to RZC 21.74 on Lot Split

Add Lot Split to 21.76 Permit Type and Procedures

Add Lot Split to Table 21.76.050B

Add new definition to RZC 21.78 – Lot Split - "Lot split" means the administrative process of dividing an existing lot into two lots for the purpose of sale, lease, or transfer of ownership pursuant to this section. (from HB 1096)

21.74.010.B.1

1. Compliance. All division and redivision of land into lots, tracts, parcels, sites, or divisions for the purpose of sale, lease, or transfer of ownership shall comply with the requirements of this chapter except where specifically exempted herein. Subdivisions, short subdivisions, [administrative lot splits](#), binding site plans, boundary line adjustments, unit lot subdivisions, plat alterations, and plat vacations are all considered divisions or redivisions of land for purposes of this chapter.

21.74.020.N [new subsection]

N. Administrative Lot Split Standards.

Eligibility standards unique to Administrative Lot Splits are found in 21.74.030.N.

21.74.030.N [new subsection]

N. Administrative Lot Split Procedures

1. Approval Process. Administrative Lot Splits must follow the procedures established in RZC 21.76.05.F, for a Type I review, and criteria established by RCW 58.17.145.
2. Decision by the Administrator. The Administrative Lot Split may be approved by the Administrator provided the following criteria is met:
 - a. Exactly one newly created lot results from the split.
 - b. Both the parent lot and the newly created lot meet the minimum lot size of the applicable zone (see RZC Article II).
 - c. The parent lot was not itself created by an administrative lot split under this section.
 - d. The parent lot is in a zone that allows residential use.
 - e. If demolition/alteration would displace an existing residential tenant renter, the application must include a displacement mitigation strategy (e.g., relocation assistance).
 - f. Prior to recording, access and utility rights are granted or conveyed as necessary to serve the maximum number of dwellings allowed, acknowledging that rights may be reduced at building-permit stage if fewer units are built.
 - g. The newly created lot meets minimum density requirements if located in a zone with a minimum density requirement.
 - h. The lot is buildable under all applicable regulation. Lots rendered unbuildable by critical areas, shoreline, stormwater, setbacks, impervious surface, or building coverage standards are not eligible for administrative lot split.
 - i. If the split would create a lot size that would allow further land division, the split is not eligible under this section but could be pursued through another applicable land-division processes under RZC 21.74.
 - j. Any construction on the newly created lot is subject to all existing state and local laws including those specified in this section. Nothing in this section modifies the requirements for approval of residential building permits in chapter 19.27 RCW.
 - k. Where an application does not meet the eligibility criteria of this section, the applicant may seek approval under other land division processes under RZC 21.74.
3. Recording. All administrative lot splits shall be recorded in compliance with the following:
 - a. All Administrative Lot Splits must be recorded surveys consistent with the requirements of RCW Chapter 58.09 and WAC Chapter 332-130, with a notation that future Administrative Lot Splits on either lot are prohibited.
 - b. Fees and Recording Procedure. Prior to recording, the applicant shall submit the original short subdivision drawings to the City for signatures.
 - c. Recording Required. No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision

improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090.F, Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.

21.76.050.C

In Table 21.76.050B, add row for "Administrative Lot Split" where Process Type is "I".

21.76.060.D.4

Appeal. Type I decisions may be appealed to the Hearing Examiner as provided in RZC 21.76.060.I, Appeals to Hearing Examiner on Type I and II Permits. All decisions are final upon expiration of the appeal period or, if appealed, upon the date of issuance of the Hearing Examiner's final decision on the appeal. Appeal decisions of the Hearing Examiner may be appealed to the King County Superior Court as provided RZC 21.76.060.M. [There are no administrative appeals of Type I Administrative Lot Split decisions pursuant to RCW 58.17.145.](#)

21.76.070.# [new subsection]

#. Administrative Lot Splits. Decision criteria for administrative lot splits are found in RZC Article V.

21.76.090.C.1.b

- b. Approval of a Type I, II, or III application shall expire two years from the date approval was final unless:
- i. A complete building permit application is filed before the end of the two-year term. In such cases, the vested status of the Type I, II, or III permit or approval shall be automatically extended for the time period during which the building permit application is pending prior to issuance; provided, that if the building permit application expires pursuant to RMC 15.08.050, Amendments to the International Building Code, the vested status of a Type I, II, or III permit or approval shall also expire;
 - ii. For [administrative lot splits](#), short plats and binding site plans, the [lot split survey](#), final plat or approved binding site plan is recorded;

<<no change to the rest of 21.76.090.C.1.b>>

21.78.210

Lot Split. The administrative process of dividing an existing lot into two lots for the purpose of sale, lease, or transfer of ownership pursuant to RCW 58.17.145 and as hereafter amended.

REDMOND ZONING CODE

Code Amendment Summary

Unit Lot Subdivisions

Subject Matter Expert	<i>Josh Mueller, Guilherme Motta</i>
Author	<i>Glenn Coil</i>
Policy Basis for Amendment	<i>SB 5559 of the 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.74 Land Division, 21.76 Review Procedures, 21.78 Definitions

Proposed Amendment Overview

The proposed amendment implements SB 5559 concerning unit lot subdivisions. It also would make final plat approval administrative.

Rationale

Consistency with state law - [SB 5559](#)

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

PROPOSED AMENDMENT:

21.74.030 Decision Criteria and Procedures.

A. Application Submittal Requirements.

1. *Scope.* This section sets forth the requirements that must be met in order for applications for approvals governed by this chapter to be considered complete.
2. *Preliminary Subdivisions.* In order to be considered complete, each application for preliminary subdivision approval shall contain the following:

- a. A completed general application form and project contact form;
- b. The required application fees;
- c. A small-scale vicinity map (suitable for public notice purposes);
- d. A completed SEPA/CAO fee worksheet;
- e. A CAO report, if required in RZC Chapter 21.64, Critical Areas Regulations;
- f. For large sites, key plat map showing the entire site on one large sheet;
- g. A set of preliminary plat plans showing the proposed layout of all lots, tracts, parcels, and streets;
- h. A preliminary stormwater report;
- i. A SEPA application form, together with a completed City of Redmond SEPA checklist;
- j. A traffic study, if required by the [City Public Works Department](#);
- k. A title report or plat certificate for all parcels involved;
- l. Density calculations indicating maximum and minimum density requirements for the proposal and including density bonus calculations, if applicable;
- m. A transportation certificate of concurrency or, if no such certificate has been issued at the time of application, a transportation concurrency application that contains all information required for a transportation concurrency determination under RZC 21.52.010, Transportation Concurrency;
- n. A reduced site plan showing proposed lot layout (suitable for public notice purposes); and
- o. A tree preservation plan if trees are proposed to be removed as part of the proposal.

D. *Short Subdivision Procedures.*

1. *Approval Process.* Short subdivisions shall follow the procedures established in RZC 21.76.050.G, for a Type II review.

2. *Decision by the Technical Committee.* Each final decision of the Technical Committee shall be in writing and shall include findings and conclusions based on the record to support the decision. The decision made by the Technical Committee shall be given the effect of an administrative decision and may be appealed in accordance with RZC 21.76.060.E, Technical Committee Decisions on Type II Reviews.

3. *Effect of Approval.* Approval of the short subdivision shall constitute authorization for the applicant to develop the short subdivision facilities and improvements, upon review and approval of construction drawings by the [City Public Works Department](#). All such facilities and improvements shall be completed or have a performance assurance posted to assure completion as provided in RZC 21.76.090.F, Performance Assurance, prior to recording of the short subdivision. All development of a short subdivision shall be subject to any conditions imposed by the City on the short subdivision approval.

4. Short subdivision approval shall expire pursuant to the following:

a. Two years from the date of the Technical Committee notice of decision if the short plat has not been recorded. A single one-year extension may be granted by the Technical Committee if the applicant has attempted in good faith to submit the final short plat within the two-year period; provided, however, that the applicant must file a written request for extension at least 30 days prior to expiration of the two-year period.

5. *Recording.* All short subdivisions shall be recorded in compliance with the following:

a. *Fees and Recording Procedure.* Prior to recording, the applicant shall submit the original short subdivision drawings to the [City Public Works Engineering Department](#) for signatures.

b. *Recording Required.* No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090.F, Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.

6. *Restriction on Further Division.* Land within an approved and recorded short subdivision may not be further subdivided within a period of five years from the date of final approval

if such further division would result in more than nine lots within the original short subdivision boundaries. Any division that would result in more than nine lots within the original short subdivision within the five-year period may be accomplished only by following the process for preliminary and final subdivision approval set forth in RZC 21.74.030.E, Preliminary Subdivision Procedures, and RZC 21.74.030.G, Final Subdivision Procedures.

E. Preliminary Subdivision Procedures.

1. *Approval Process.* Preliminary subdivisions shall follow the procedures established in RZC 21.76.050.H, Type III Review.

2. *Effect of Preliminary Subdivision Approval.* Approval of the preliminary subdivision shall constitute authorization for the applicant to develop the subdivision facilities and improvements upon review and approval of construction drawings by ~~the City~~ **the Public Works Department**. All development shall be subject to any conditions imposed by the Hearing Examiner.

3. *Time Limits – Approval Within 90 Days.* A preliminary subdivision shall be approved, approved with conditions, denied, or returned to the applicant for modification or correction within 90 days from the date of filing of a complete application unless the applicant agrees to an extension of the time period in writing; provided, that should an environmental impact statement (EIS) be required per RCW 43.21C.030, Guidelines for State Agencies, Local Governments, the 90-day period shall not include the time spent in preparing and circulating the EIS by the City. A preliminary subdivision application shall not be deemed “filed” until all of the requirements for a complete application established by RZC 21.74.030.A, Application Submittal Requirements, have been met.

4. *Limitation on Preliminary Approval.*

a. Final approval of a subdivision must be acquired within seven years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2014, and within five years of the date of preliminary plat approval if the date of preliminary plat approval is on or after January 1, 2015, after which time the preliminary plat approval is void.

b. Final approval of a subdivision must be acquired within 10 years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2007,

and not subject to the requirements of RCW Chapter 90.58, the Shoreline Management Act, after which time the preliminary plat approval is void.

c. The Hearing Examiner may grant an extension of the time periods set forth in RZC 21.74.030.E.4.a and E.4.b for one year if the applicant has attempted in good faith to submit the final plat within the required time period; provided, however, the applicant must file a written request with the Planning Department requesting the extension at least 30 days before expiration of the required time period.

G. Final Subdivision Procedures.

1. *Time Limits.* A final plat application shall be approved, denied, or returned to the applicant for modification or correction within 30 days from the date of filing unless the applicant consents to an extension of such time period.

2. *Review by City Engineer.* ~~A The City Engineer or a~~ licensed professional engineer acting on behalf of the City shall review the survey data, layout of lot lines, streets, alleys and other rights-of-way, design of bridges, and utility systems improvements, including storm drainage, water, and sanitary sewer.

3. *Findings by City Engineer.* ~~A The City Engineer or other~~ professional engineer acting on behalf of the City shall convey their findings to the Technical Committee ~~City Council~~. The engineer shall assure that:

a. The proposed final plat meets all standards established by state law and this section relating to the final plat's drawings and subdivision improvements;

b. The proposed final plat bears the certificates and statements of approval required by this section;

c. A current title insurance report furnished by the subdivider confirms the title of the land in the proposed subdivision is vested in the name of the owners whose signatures appear on the final plat;

d. The legal description of the plat boundary on the current title insurance report agrees with the legal description on the final plat;

e. The facilities and improvements required to be provided by the subdivider have been completed or, alternatively, that the subdivider has provided a surety in an

amount commensurate with improvements remaining to be completed, as provided in RZC 21.76.090.F, Performance Assurance;

f. The surveyor has certified that all survey monument lot corners are in place and visible; and

g. The final plat contains a dedication to the public of all common improvements, including but not limited to streets, roads, sewage disposal systems, storm drainage systems, and water supply systems which were a condition of approval. The intention to dedicate shall be evidenced by the owner's presentment of a final plat showing the dedication, and the acceptance by the City shall be evidenced by the approval of the final plat.

4. *Review* – Administrative Approval ~~City Council~~. The Technical Committee ~~City Council~~ shall review the final plat ~~at a public meeting~~, according to the decision criteria for final plats set forth in RZC 21.74.030.C, Decision Criteria for Approval of Final Subdivisions. ~~No public hearing shall be required. Notice of the public meeting at which the final plat will be considered will be mailed to the applicant and to any person who was a party of record to the preliminary plat proceedings at least 10 days in advance of the meeting.~~ If the ~~City Council~~ Technical Committee approves the final plat, the Administrator, Public Works Director, and City Engineer ~~Mayor~~ shall be authorized to inscribe and execute the written approval on the face of the plat map. If the Technical Committee ~~City Council~~ denies the final plat, the final plat will be returned to the applicant with reasons for denial and conditions for compliance.

5. *Recording*. All final plats shall be recorded in compliance with the following:

a. *Fees and Performance Assurance*. Prior to recording, the applicant shall submit the original final plat drawings to the ~~Public Works Department~~ City together with the plat checking fees. Unless all required improvements have been constructed prior to final plat approval, the applicant shall also submit all required performance assurances to guarantee completion of the improvements as required by RZC 21.76.090.F, Performance Assurance.

b. *Recording Required*. No final plat shall be recorded unless approved as provided in this section. The original of an approved final plat shall be filed for record with the King County Department of Records and Elections.

c. *Time Limit.* All final plats shall be recorded within 120 days after [Technical Committee](#) final approval ~~is granted by the City~~. Approval shall expire if the final plat is not recorded within this period.

6. *Valid Land Use.* As required by RCW 58.17.170, Written Approval of Subdivision, a subdivision shall be governed by the terms of the approval of the final plat, and any lots created shall be a valid land use for a period of not less than five years from date of filing, unless the ~~City Council~~ [Technical Committee](#) finds that a change in conditions in the subdivision creates a serious threat to the public health or safety.

H. **Unit Lot Subdivisions.**

1. *Applicability.* The provisions of this section apply exclusively to the unit lot subdivision of land for [existing or new](#) attached [or detached](#) dwelling units, [in which no dwelling units are stacked on another dwelling unit or other use. The purpose is to allow for the creation of lots for the individual ownership of these types of housing units while applying only those site development standards applicable to the parent lot as a whole.](#) ~~that have land use approval through RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); and RZC 21.76.070.P, Master Planned Development.~~

2. *Approval Process.* A unit lot subdivision [for new developments](#) shall follow the procedures established in RZC 21.76.050.G, Type II Review, ~~if nine or fewer unit lots are proposed. Preliminary unit lot subdivisions shall follow the procedures established in RZC 21.76.050.H, Type III Review, if 10 or more unit lots are proposed.~~ Final unit lot subdivisions of 10 or more lots shall follow the procedures established in RZC 21.74.030.G, Final Subdivision Procedures, for final plats. [Existing developed lots, where structures comply with all standards applicable to the parent lot, shall follow the procedures established in RZC 21.76.050.F, Type I Review.](#)

a. [The approval procedures shall not require any public pre-decision meeting or hearing, nor any design review other than administrative design review.](#)

3. *Compliance With Prior Approvals.* Sites developed or proposed to be developed with single-family attached [or detached](#) dwelling units may be subdivided into individual unit lots as provided herein. The development as a whole shall conform to the regulations of the zone that the site is located in and to the plans that were granted approval through provisions of this code, ~~either: RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); or RZC 21.76.070.P, Master Planned Development.~~

[a. Portions of the parent site not subdivided for individual unit lots shall be owned in common by the owners of the individual unit lots, by a homeowners' association comprised of the owners of the individual unit lots located within the parent site, or by a community land trust.](#)

4. Development on individual unit lots is not required to conform with all development standards that typically apply to individual lots as long as the parent lot conforms to all such development standards. Each unit lot shall comply with applicable building codes. Fire protection for the buildings shall be based on the aggregate square footage on the parent lot.

5. Internal vehicular courts and driveways providing vehicular access to unit lots in the subdivision from public streets shall not be considered public or private streets when considering unit lot subdivisions.

6. Subsequent ~~platting~~ subdivision actions, additions, or modification to the structure(s) may not create or increase any nonconformity of the parent lot as a whole, and shall conform to the approved unit lot housing development project or to the land use and development standards in effect at the time of the proposed actions, additions, or modifications.

~~7. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space, such as common courtyard open space; exterior building facades and roofs; and other similar features, shall be recorded with the King County Department of Records and Elections.~~

8. Within the parent lot, required parking for a dwelling unit may be provided on a different unit lot than the lot with the dwelling unit, as long as the right to use the parking is formalized by an easement recorded with the King County Department of Records and Elections.

9. The minimum residential density required for unit lot subdivision in the Downtown Core zone shall be 35 dwelling units per acre. There shall be no minimum residential density requirements for unit lot subdivisions elsewhere in the City unless required by the zone in which the site is located.

10. Notes shall be placed on the face of the plat or short plat as recorded with the King County Department of Records and Elections to acknowledge the following:

a. Approval of the design and layout of the units on each of the lots housing development project was granted based on detailed ~~by the~~ review of that specific project the development, as a whole, on the parent lot including specific reference to the applicable permit or file number for that specific. The title of the plat shall include the phrase "Unit Lot Subdivision". ~~project by RZC 21.76.070.Y, Site Plan Entitlement, RZC Chapter 21.67, Green Building Program (GBP); or RZC 21.76.070.P, Master Planned Development.~~

b. Development, redevelopment, or rehabilitation of structures on each unit lot is subject to review and approval of plans that are consistent with the design of the surrounding structures on the parent lot as approved by the City through subject file number as stated in RZC 21.74.030.H.10.a.

- c. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space, such as common courtyard open space; exterior building facades and roofs; and other similar features. ~~shall be recorded with the King County Department of Records and Elections.~~
- d. Additional development of the individual lots may be limited as a result of the application of development standards to the parent site.

J. *Subdivision Alterations.*

1. *Scope.* This section establishes the procedures to be used for subdivision alterations under RCW 58.17.215 through 58.17.218.
2. *Approval Process.* Subdivision alterations shall follow the procedures established in RZC 21.76.050.J, Type V Review.
3. *Application Requirements.* An application for alteration of a subdivision shall meet the submittal requirements established by the Administrator, and shall contain the signatures of those persons having an ownership interest in the majority of the lots, tracts, parcels, sites, or divisions in the subject subdivision or portion to be altered, and other application submittal materials as required. If the subdivision is subject to restrictive covenants which were filed at the time of the approval of the subdivision, and the alteration would result in the violation of a covenant, the application shall contain an agreement signed by all parties subject to the covenants; provided, that the parties agree to terminate or alter the relevant covenants to accomplish the purpose of the alteration.
4. *Hearing Required.* The City Council shall conduct a public hearing on the application for a subdivision alteration.
5. *Decision Criteria.* The City Council shall approve the application for alteration of the subdivision or approve the application with conditions if it determines that the public use and interest will be served by the alteration. The City Council shall deny the application for alteration if it finds that the public use and interest will not be served by the alteration.
6. After approval of the alteration, the applicant shall submit to the City a revised drawing of the approved alteration of the subdivision, which after signature of the approving authority shall be filed with the King County Department of Records and Elections to

become the lawful plat of the property. The revised drawing shall be surveyed and prepared by a Washington State-licensed land surveyor.

7. The procedures set forth in RZC 21.74.030.J.1 through J.3 apply to subdivisions that have been recorded. A subdivision that has not yet been recorded and that has not expired may be altered upon approval by the Administrator as long as the alteration is consistent with the final plat approval granted by the City Council. In the event that the alteration is not consistent with that approval, alteration may be approved only by repeating the final plat approval process.

8. Administrative Easement Release. Notwithstanding the requirements of J.4 (public hearing) and J.5 (Council decision), the City may release an easement administratively if:

a. The easement is no longer needed for public use;

b. The City is the sole beneficiary of the easement; and

c. The release does not adversely affect public health, safety, or welfare.

The release shall be signed by the Mayor or their designee and documented with a revised plat or exhibit filed with the King County Recorder's Office or its successor agency.

K. Final Subdivision and Short Subdivision Corrections.

1. *Public Dedication – Not Involved.* Amendments, alterations, modifications, and changes to recorded final subdivisions and short subdivisions that do not affect a public easement or other public dedication of land shall be accomplished only by one of the following methods:

- a. File a new plat for the lots in question by following the full subdivision procedures of this chapter; or
- b. File a short plat for lots in question by following the procedures of this chapter; or
- c. File an application for an administrative modification or boundary line adjustment.

2. *Public Dedication – Involved.* Amendments, alterations, modifications, and changes to recorded final plats and short plats that do affect a public easement or other public

dedication of land shall be accomplished by following the procedures of RZC [21.74.030.I](#), Subdivision Vacations, or RZC [21.74.030.J](#), Subdivision Alterations.

3. Administrative Public Easement Release. The City may administratively release a public easement that is no longer needed for public use. The Mayor or their designee is authorized to sign the release. The release requires:

a. Verification by the City that the easement is no longer required for public utilities, access, drainage, or other public purposes.

b. Submission of a revised surveyed plat or easement exhibit, prepared by a licensed Washington State surveyor, showing the easement removed.

c. Recording of a revised plat/exhibit with the King County Recorder's Office or its successor agency.

This process does not require a City Council hearing but may include notice to adjacent property owners at the discretion of the Administrator.

21.78.250 P Definitions

Parent Lot. A residential lot that is subdivided into unit lots through the unit lot subdivision process.

21.78.300 U Definitions

Unit lot. A subdivided lot within a residential development as created from a parent lot and approved through the unit lot subdivision process.

Unit Lot Subdivision. ~~A division or redivision of land in which one or more boundaries of the individual lots coincide with the interior walls of a structure which separate individual attached single-family dwelling units.~~ A subdivision or short subdivision proposed as part of a residential development project that meets the development standards applicable to the parent lot at the time the application is vested, but which may result in development on one or more individual unit lots becoming nonconforming as to specified land use and development standards based on the analysis of the individual unit lot.

21.76.050B Classification of Permits and Decisions

**Table 21.76.050B
Classification of Permits and Decisions**

Permit Type	Process Type	RMC Section (if applicable)
Unit Lot Subdivision	I or II	

REDMOND ZONING CODE

Code Amendment Summary

Implementing SB 5509 for Childcare Zoning

Subject Matter Expert	<i>Kim Dietz, Jenny Nelson</i>
Author	<i>Kim Dietz, Jenny Nelson</i>
Policy Basis for Amendment	<i>SB 5509 of the 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.04

Proposed Amendment Overview

The proposed amendment implements SB 5509 concerning childcare zoning. State law limits restrictions cities can place on the location of childcare centers. The proposed amendments would allow daycare centers in the NR, NMF, NMU, and RA-5 zones as required in state law.

Rationale

Compliance with state law. Staff recommends addressing the portions of SB 5509 addressing industrial and light industrial zones when guidance from the Department of Commerce is available.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

REDMOND ZONING CODE

Code Amendment Summary

PROPOSED AMENDMENT:

21.04.0200 Nonresidential Use Table.

Nonresidential Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Education, Public, Health, and Other Institutions																					
Day care center	P L 13/ C	P L 13/ C	P L 13	P	P	P	P	P	P	P	P	P	P	P	P	L 15	N	N	P N	N	A-CUP is required in NR and NMF. See RZC 21.04.2080.

Notes and Limitations

1 Shall not be materially detrimental in terms of noise, truck traffic, vibrations, odors, and other potential operational impacts with neighborhood units or nearby mixed-use/residential developments. Application of this note is limited in the MMC and MMM zoning districts to new structures permitted after June 17, 2017.

2 For properties in a CARA this use may be restricted or prohibited. See RZC [21.64.050](#).

3 Uses Not Permitted.

a. Gasoline service;

- b. Outdoor automobile sales, rental or service;
- c. Rental storage and mini-warehouses;
- d. Warehouse and storage services;
- e. Outdoor storage.

4 Limited to less than 75,000 square feet gross floor area in a single use.

5 Membership wholesale/retail warehouse limited to showroom only with a maximum size of 75,000 square feet gross floor area.

6 Administrative office/business functions only.

7 Is limited to:

- a. Athletic, sports, and play fields.
- b. Marine recreation.
- c. Commercial swimming pools.
- d. Education facilities allowed in MP zones outside of MP Overlay but limited to technical, trade, and other specialty schools only.
- e. Animal kennels.
- f. Real estate services limited to mini-warehouse/self-storage only.
- g. Professional services limited to research and development services and other uses that support another permitted use within the MP zone only.
- h. Administrative services limited to corporate headquarters and regional offices associated with manufacturing and wholesale trade uses within an MP zone.
- i. Athletic club or fitness center.
- j. Repair and rental of goods.

8 Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.

9 Permitted only abutting Lake Sammamish. Excludes medical airlift.

10 Limited to mixed-use developments. Not permitted as a stand-alone use.

11 All commercial livestock, dairy and fowl enterprises limited to lots 35,000 square feet in size or larger, and must meet Seattle-King County Health Department regulations and the regulations of Redmond’s Municipal Code. Personal, noncommercial livestock, dairy, and fowl activities are considered an accessory use and are allowed; provided, that all Health Department and Municipal Code requirements are met.

12 Limited to lots 35,000 square feet or larger.

~~**13** Day care uses are only permitted in a building or building complex used for other uses, such as a school, church, meeting hall, or some other building used for more than one purpose.~~

14 Shall not be located on a parcel that abuts a Neighborhood Residential or Neighborhood Multifamily zone.

15 Only allowed in the MP Overlay (see note 7D for educational facilities).

16 Limited to MP Overlay only: pet and animal sales or services (except veterinary), ambulatory and outpatient health care services, health and personal care, and finance and insurance.

17 Shall be located in multi-tenant buildings or a single building in a multibuilding, multi-tenant complex.

18 Fifty-person seating capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100-person seating capacity, so long as the seating area does not occupy more than 25 percent of combined gross floor area. The seating limit does not apply when the use is secondary to a winery or brewery, but the 25 percent limit continues to apply.

19 Hours of operation limited to:

a. 6:00 a.m. – 12:00 p.m. in the MMM and MP zoning districts.

b. 6:00 a.m. – 10:00 p.m. in the BP and I zoning districts.

20 Not permitted north of NE 90th Street and west of Willows Road.

21 Finance and insurance, convenience use, and personal services uses:

a. Permitted in Willows/Rose Hill Neighborhood north of NE 95th Street only.

b. Must be closed a minimum of four hours in any 24-hour period.

c. Minimum size per tenant is 1,000 square feet gfa.

d. Maximum size per tenant is 20,000 square feet gfa.

e. Shall be secondary use in multi-tenant building; shall not be located in separate building containing only convenience uses.

22 Maximum size is 30,000 square feet gfa in Willows/Rose Hill Neighborhood north of NE 95th Street.

23 For automobile sales, service, or repair:

a. May occupy up to 25 percent of the combined gross floor area.

b. Vehicle display area shall be outside of required parking and landscape areas.

c. Vehicles shall be stored on paved surfaces.

d. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.

e. Vehicle repair shall be conducted indoors.

24 Outdoor loudspeaker systems are prohibited.

25 Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.

26 Limited to government and administration uses only.

21.04.2080 Day Care Centers.

A. ~~Purpose. This section provides development criteria for commercial day care centers in residential zones.~~ **Reserved.**

B. ~~Development Standards:~~

1. ~~Commercial Day Care Centers (Residential Zones):~~

a. ~~Day care centers shall comply with all building, fire, safety, and health codes, and all applicable development standards.~~

b. ~~Day care centers shall obtain a business license and maintain the use license as long as the use operates.~~

c. ~~Day care centers shall obtain all required state approvals.~~

~~d. In the RA-5 zone, stand-alone day care centers are prohibited.~~

~~e. Day care centers shall not be located closer than 300 feet from another existing day care operation in residential zones.~~

~~f. The minimum lot size shall be 20,000 square feet in all residential zones.~~

~~g. Play equipment used in the day care operations shall be placed no closer than 10 feet from any property line.~~

~~h. Off-street parking for each employee shall be provided.~~

~~i. Building design, site plans and landscaping shall be of a character which is appropriate for the area.~~

~~j. Day care centers may be approved in new or existing churches and other places of worship, and no additional approval will be required, provided all other requirements of this section are met.~~

~~k. Day care centers located in residential zones shall operate within the hours of 5:00 a.m. to 10:00 p.m.~~

21.78 Definitions.

~~Day Care Center. An agency which regularly provides temporary care for a group of children between the ages of six weeks to 12 years for periods less than 24 hours in a residence or structure other than the parent's home on a regular recurring basis for pay or other valuable consideration, including but not limited to the furnishing of shelter, sustenance, supervision, education and other supportive services. The term is not intended to include babysitting services of a casual, nonrecurring nature. "Day Care Center", "Child day care center" and "child care center" mean an agency that regularly provides early childhood education and early learning services for a group of children for periods of less than 24 hours, as defined by RCW 43.216.010 and hereafter amended.~~

REDMOND ZONING CODE

Code Amendment Summary

Implementing SB 5184 and Parking Provisions of HB 1183

Subject Matter Expert	<i>Jeff Churchill</i>
Author	<i>Jeff Churchill</i>
Policy Basis for Amendment	<i>SB 5184 of the 2025 state legislative session.</i> <i>Portions of HB 1183 of the 2025 state legislative session.</i>
Relevant Code Portions	21.40.010.C, 21.40.010.D

Proposed Amendment Overview

The proposed amendment implements SB 5814 of the 2025 state legislative session and the portions of HB 1183 of the same session related to parking. SB 5184 was codified as RCW 35A.21.445. The portion of HB 1183 related to parking was codified as RCW 36.70A.817. Both laws restrict how cities can regulate off-street parking.

The proposed amendment also codifies an administrative interpretation for measuring the distance to a frequent transit stop.

Rationale

Compliance with state law and clear regulations.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

Concern about sight-obstructing vegetation in parking lots and near crosswalks.

PROPOSED AMENDMENT:

C. **Administration.** In the administration of this section, the following rules shall be used:

1. *Nonconforming Parking.*

a. A development that met the parking requirements in effect at the time it was approved but that does not have sufficient parking spaces to meet the current requirements of this chapter, may continue to operate with the parking deficiency as long as no enlargement is made that would require additional parking spaces;

- b. When a development with nonconforming parking is enlarged so as to require additional parking spaces, the requirements of this chapter shall apply only to the enlargement;
 - c. When a preexisting building with nonconforming parking is remodeled or rehabilitated but not enlarged, the existing use of the building may continue without providing additional parking. In the event that the land use is increased by an addition of building square footage, the minimum level of parking required, including bicycle parking required by this chapter, consistent with the increased land use affected by the change must be provided, or an approved Mobility Management Program, as provided in RZC 21.52.020, Mobility Management Program, must be implemented for the site that effectively reduces parking demand;
 - d. When additional uses are placed on the same lot with the nonconforming parking or an enlarged lot of which the lot with nonconforming parking is a part, the requirements of this chapter shall apply only to the additional use; and
 - e. *Parking in Downtown, Overlake, and Marymoor Village.*
 - i. Developments with nonconforming parking shall not be required to provide additional parking spaces when a change of use occurs, either from non-residential to residential or non-residential to another non-residential use, or minor improvements are performed, provided that the change of use or minor improvement do not enlarge the structure or increase the amount of nonconformity.
 - ii. Developments, sites, and structures where a portion of the site and/or structures have been obtained under threat of condemnation shall not be required to provide additional parking spaces than that which was sufficient to meet the requirements in place during the most recent development or construction of the site.
2. *Separate Parking Facilities.* A parking facility that is required for one establishment shall not be considered as part of the parking facility required for any other enterprise, except for cooperative parking as provided in RZC 21.40.010.F, General Parking Requirements.
3. *Site Plan Entitlement Required.* All proposed parking facilities are subject to the site plan entitlement process of RZC 21.76.070.Y, Site Plan Entitlement.
4. *Car-Sharing Parking.* In all zones except Neighborhood Residential, required parking spaces may be occupied by car-sharing vehicles.

D. Required Off-Street Parking.

- 1. The minimum required and maximum permitted number of off-street parking spaces for each land use is noted in the Parking Ratio Column of each zone. Where calculations of parking requirements result in fractional amounts, they shall be rounded up if 0.5 or over.

Table 21.40.010D. Required Off-Street Parking

Use Class	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed)		
	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile [#] of Frequent Transit, Not in a TOD Focus Area	All Other Locations
Residential ¹			
Dwelling unit, detached	Dwelling unit (0, –)	Dwelling unit (0, –)	Dwelling unit (1.0, –)
Dwelling unit, attached	Dwelling unit (0, –)	Dwelling unit (0, –)	Dwelling unit (1.0, –)

Accessory dwelling unit	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Tiny home	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Cottage	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Dwelling unit, multifamily	Dwelling unit (0, 1.0)	Dwelling unit (0.5, 1.25)	Dwelling unit (0.5, 2.0)
Mixed-use residential structure	Dwelling unit (0, 1.0)	Dwelling unit (0.5, 1.25)	Dwelling unit (0.5, 2.0)
Permanent supportive housing, transitional housing	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0.5, -)

Group Home/Congregate Housing

Dormitory or residential suite	Bed (0, 1.0)	Bed (0, 1.0)	Bed (0, 1.0)
Adult family home	Dwelling unit (0, 2.0)	Dwelling unit (0, 2.0)	Dwelling unit (1.0, 2.0)
Long-term care facility	Patient bed (0, 0.25)	Patient bed (0, 0.25)	Patient bed (0.25)
Residential care facility	Patient bed (0, 0.25)	Patient bed (0, 0.25)	Patient bed (0.25)
Retirement residence	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.0)	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.0)	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.25)
Emergency housing or emergency shelter	Bed (0, 1.0)	Bed (0, 1.0)	Bed (0, 1.0)

Lodging

Bed and breakfast inn or boarding house	Rental room (0, 1.0)	Rental room (0, 1.0)	Rental room (1.0)
Hotel or motel	Rental room (0, 1.0)	Rental room (0, 1.0)	Rental room (1.0)

General Sales or Service

Retail sales	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Cannabis retail sales	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Business and service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)

Food and beverage	1,000 sq. ft. gfa (0, 5.0) No requirement for kiosks and vending carts	1,000 sq. ft. gfa (0, 7.5) No requirement for kiosks and vending carts	1,000 sq. ft. gfa (0, 9.0)
Drive-up stand	No requirement	No requirement	No requirement
Animal kennel/shelter	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
All other general sales or service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)

Arts, Entertainment, and Recreation

Arts, entertainment, recreation, and assembly	1,000 sq. ft. gfa (1.0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)
Golf course			Adequate to accommodate typical use
Natural and other recreational parks	1,000 sq. ft. land area (0, adequate to accommodate typical use)	1,000 sq. ft. land area (0, adequate to accommodate typical use)	1,000 sq. ft. land area (0, adequate to accommodate typical use)
Adult entertainment facilities	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Water enjoyment use	No requirement	No requirement	No requirement
Piers, docks, floats, and other water-oriented accessory structures	No requirement	No requirement	No requirement

Education, Public, Health, and Other Institutions

Education, government, health care and other institutions	1,000 sq. ft. gfa (0, adequate to accommodate typical use)	1,000 sq. ft. gfa (0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)
Day care center	Employee on maximum shift (0, 1.0)	Employee on maximum shift (0-5 0, 1.0)	Employee on maximum shift (0-5 0, 1.0)
Family day care provider	No requirement	No requirement	No requirement
Faith-based and funerary	Assembly uses: 1,000 sq. ft. gfa (5.0, 10.0) or fixed seats (0.1, 0.2)	Assembly uses: 1,000 sq. ft. gfa (5.0, 10.0) or fixed seats (0.1, 0.2)	Assembly uses: 1,000 sq. ft. gfa (7.5, 10.0) or fixed seats (0.2)

	All other uses: 1,000 sq. ft. gfa (1.0, 3.0)	All other uses: 1,000 sq. ft. gfa (2.0, 3.0)	All other uses: 1,000 sq. ft. gfa (2.0, 5.0)
Secure community transition facility	Adequate to accommodate typical use	Adequate to accommodate typical use	Adequate to accommodate typical use
All other uses	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)

Manufacturing and Wholesale Trade

Manufacturing and wholesale trade	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Artisanal manufacturing, retail sales, and service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Cannabis processing	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
All other uses	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)

Transportation, Communication, and Utilities

All uses except those below	1,000 sq. ft. fga (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)	1,000 sq. ft. gfa (2.0, 5.0)
Rapid charging station; local utilities; regional utilities; wireless communication facilities; automobile parking facilities; heliport; float plane facility	No requirement	No requirement	No requirement

Agriculture

All uses	No requirement	No requirement	No requirement
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Other

Construction-related business	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Mining and extraction establishment	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Wetland mitigation banking	No requirement	No requirement	No requirement

[# Distance to frequent transit is measured as the walking distance from the nearest property edge to the nearest station or stop with frequent transit](#)

1 There is no minimum off-street parking requirement for middle housing located within one-half mile of a major transit stop as defined in RCW 36.70A.030 or its successor.

There is no minimum off-street parking requirement for the following uses or structure types in accordance with RCW 35A.21.445 and RCW 36.70A.817 or their successors:

- a. Single-family or middle housing residences under 1,200 square feet.
- b. Affordable housing as defined in RCW 36.70A.030 or its successor.
- c. Senior housing (defined as retirement residence in RZC 21.78.270).
- d. Ground-level non-residential spaces in mixed-use buildings.
- e. Buildings that meet passive house requirements as defined in RCW 36.70A.817 or its successor.
- f. Modular construction as defined in RCW 36.70A.817 or its successor.
- g. Mass timber construction as defined in RCW 36.70A.817 and RCW 19.27.570 or their successors.

2. All multifamily and nonresidential development over 1,000 square feet of gross floor area must include at least two accessible parking spaces, even if doing so would exceed the required off-street parking minimums or maximums or exceed Americans with Disabilities Act (ADA) requirements. In the case where an accessible space would exceed ADA requirements, the Code Administrator may approve designating adjacent on-street parking as a designated accessible space in lieu of providing an on-site space. Existing on-street spaces that are designated as accessible can be counted toward the requirements of this subsection. The Code Administrator may waive the requirements to provide accessible parking in excess of ADA requirements if the Code Administrator determines that requiring the spaces would (a) not meet the nexus and rough proportionality tests as described in RZC 21.17.010.B.2, or (b) substantially impact the feasibility of the project.

3. The Administrator may approve alternative minimum parking requirements for specific uses on specific development sites where the land use permit applicant demonstrates, through a parking study prepared by a qualified expert, that the alternative requirement will provide sufficient parking to serve the specific use without adversely impacting other uses and streets in the vicinity. The Administrator may require the recording of a covenant or other instrument restricting the use of the property to the specific use for which the alternative minimum parking requirement was approved. Where a parking study does not demonstrate that available parking stalls will adequately serve the proposed use, reductions below the minimum requirement may be approved if a mobility management program that effectively reduces parking demand as provided in RZC 21.52.020, Mobility Management Program, is approved and recorded with the property.

The Technical Committee may require alternative parking programs if there is a need to reduce overall parking to alleviate significant adverse environmental impacts.

4. Required parking may be provided off site within 600 feet of the site, unless otherwise approved by the Administrator, when secured by an easement.

REDMOND ZONING CODE

Code Amendment Summary

Implementing SB 5611 for Permitting Timelines and Binding Site Plans

Subject Matter Expert	<i>David Lee</i>
Author	<i>Lauren Alpert</i>
Policy Basis for Amendment	<i>SB 5611 of the 2025 state legislative session.</i>
Relevant Code Portions	21.74.030.L

Proposed Amendment Overview

The proposed amendment implements SB 5611 concerning permitting timelines and binding site plans.

Rationale

The provisions of SB 5611 that require changes to the Redmond Zoning Code are provisions that allow the binding site plan process to be used for multifamily developments. This proposal implements that change in state law.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

PROPOSED AMENDMENT:

L. Binding Site Plans.

1. Scope. This subsection establishes the procedures to be used for the division of land using the binding site plan process pursuant to RCW 58.17.035. [For purposes of RZC 21.74.030.L, commercially zoned property includes property that is zoned to permit or conditionally permit any multifamily residential uses.](#) Division of land using the binding site plan process is limited to:

- a. Divisions for the sale or lease of commercial or industrial zoned property;
- b. Divisions for the purpose of lease when no residential structures other than mobile homes or travel trailers are permitted to be placed on the land; and

c. Divisions of land into lots or tracts made under the provisions of the Horizontal Properties Regimes Act (RCW Chapter 64.32) or the Condominium Act (RCW Chapter 64.34).

2. Approval Process. Binding site plans shall follow the procedures established in RZC 21.76.050.G, Type II Review.

3. Drawing Requirements. Binding site plans shall be drawn at a scale no smaller than one inch equals 50 feet, unless a different scale is approved by the Administrator, and shall include:

- a. The design of any lots and building envelopes and the areas designated for landscaping and vehicle use;
- b. The areas and locations of all streets, roads, improvements, utilities, easements, open spaces, critical areas, and any other matters specified by the development regulations;
- c. Inscriptions or attachments setting forth such appropriate limitations and conditions for the use of the land as are established by the City of Redmond; and
- d. Provisions requiring that any development shall comply with the approved site plan.

4. Post-Approval Requirements. The following requirements shall apply to proposals submitted under this subsection:

- a. Approved binding site plans shall be submitted for recording with the King County Department of Records and Elections;
- b. All provisions, conditions, and requirements of the binding site plan shall be legally enforceable on the purchaser or any person acquiring a lease or other ownership interest of any lot, parcel, or tract created pursuant to the binding site plan. A sale, transfer, or lease of any lot, tract, or parcel that does not conform to the requirements of the binding site plan approval shall be considered a violation of this chapter.
- c. All development shall be in conformity with the approved binding site plan and any existing or subsequent applicable permit approval. Each binding site plan document shall reference the requirement for compliance with any existing or subsequent permit approval.
- d. Amendments to an approved binding site plan shall follow the process established in RZC 21.76.090.D, Administrative Modifications. Vacations of an approved binding site plan shall be made through the subdivision vacation process; and
- e. Approved binding site plans may contain any easements, restrictions, covenants, or conditions as would a subdivision approved by the City.

REDMOND ZONING CODE

Code Amendment Summary

Co-Living Residential Suites Regulatory Gaps

Subject Matter Expert	<i>Ian Lefcourte</i>
Author	<i>Ian Lefcourte</i>
Policy Basis for Amendment	<i>N/A. Changes are clean-ups / alignment with Redmond 2050.</i>
Relevant Code Portions	RZC 21.04.0100. RESIDENTIAL USE TABLE RZC 21.08.200 DEVELOPMENT STANDARDS RZC 21.78. DEFINITIONS

Proposed Amendment Overview

Amendments are proposed in the residential use table and definitions section concerning residential suites to ensure alignment with Redmond 2050 policy direction.

- RZC 21.78:
 - Strike a portion of the dwelling unit definition.
 - Revise "Residential Suite" definition to:
 - Include synonyms: co-living, single-room occupancy, efficiency suite, etc.
 - Align with RCW definition: Residential Suite housing is a residential development with sleeping units that are independently rented and provide living and sleeping space, in which residents share kitchen facilities with residents of other units in the building.
 - Add text that Residential Suites "count as" dwelling units for the purposes of affordable housing requirements (RZC 21.20 and RMC 3.38)
- RZC 21.04.0100. RESIDENTIAL USE TABLE:
 - Revise "Residential Suite" footnote for the NR zone that RS only allowed if 100% of units in the development are Residential Suites.
- RZC 21.08.200. DEVELOPMENT STANDARDS
 - Clarifies how dormitory and residential suite developments are regulated, for development standards and maximum structure square footage in the Neighborhood Residential zone.

Rationale

The amendments are intended to:

- Ensure that residential suites continue to comply with affordable housing regulations
- Ensure that residential suites are not created in name only as a way of circumventing maximum square footage per lot regulations in the Neighborhood Residential zone.
- Ensure consistency in how residential suites are referenced across the zoning code.
- Clarify development standards for dormitory and residential suite uses in Neighborhood Residential zone.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

PROPOSED AMENDMENT:

21.04.0100. RESIDENTIAL USE TABLE

Revise table note 8:

8. Dormitories: limited to developments with six or more dormitory rooms. Residential Suites: Limited to developments with six or more residential suite dwelling units per lot. Not permitted for developments with less than six dwelling residential suite units.

Table 21.08.200.B. Neighborhood and Mixed-Use Development Standards

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR ¹⁰	NMF	NMU	CMU	UMU	

Add new table note 9, applicable to the Neighborhood Residential zone.

9. Developments of Dormitory or Residential Suite land uses, in the Neighborhood Residential zone, are not regulated by the maximum dwelling units per lot metrics. The development must comply with all other Neighborhood Residential development standards (e.g., building height, maximum impervious surface, etc.).

Table 21.08.200C. Maximum Total Gross Floor Area for All Structures Within the Lot

Standards
<p>The maximum for the total square footage for all structures within the lot shall be determined by the quantity of dwelling units provided on the lot. Below grade floor area shall count toward maximum total gross floor area.</p> <p><u>Developments of the Dormitory or Residential Suite land uses, in the Neighborhood Residential zone, are exempt from the per-dwelling unit regulations of Table 21.08.200C. Maximum Total Gross Floor Area for All</u></p>

Standards

Structures Within the Lot. Instead, the maximum for the total square footage for all structures within the lot for Dormitory or Co-Living developments is 15,000 square feet.

Provisions for the measuring of gross floor area for all structures within the Neighborhood Residential zone are described in RZC 21.16.200, Building Measurements and Placement Standards.

Total Number of Dwelling Units for All Structures on Lot	Maximum Square Footage for Total Structures
1	4,500
2	6,000
3	7,500
4	9,000
5	10,500
6	12,000
7	13,500
8	15,000

21.78 Definitions:

Dwelling Unit. A single unit providing complete, independent living facilities for not more than one family and permitted roomers and boarders, including permanent provisions for living, sleeping, eating, cooking, and sanitation. ~~An efficiency unit with access to a shared kitchen on the same floor shared by no more than eight units that do not have private kitchens is considered to be a dwelling unit.~~ A mobile home, manufactured home, modular home, middle housing home, apartment, condominium, single-family detached house, accessory dwelling unit, or tiny home is considered to be a dwelling unit.

Residential Suite. ~~A dwelling unit that is limited in size and shares common facilities such as a kitchen.~~ A residential development with sleeping units that are independently rented and lockable and provide living

and sleeping space, and residents share kitchen facilities with other sleeping units in the building. This definition is inclusive of other names to refer to residential suite housing including, but not limited to, congregate living facilities, single room occupancy, rooming house, boarding house, lodging house, co-living housing, efficiency unit, and eco-suite. Residential suite units are considered “dwelling units” for the purposes of affordable housing provisions of RMC 3.38 and RZC 21.20.

REDMOND ZONING CODE

Code Amendment Summary

Affordability Substitutions

Subject Matter Expert	<i>Ian Lefcourte</i>
Author	<i>Ian Lefcourte</i>
Policy Basis for Amendment	<i>N/A. Changes are clean-ups / alignment with Redmond 2050.</i>
Relevant Code Portions	RZC 21.20

Proposed Amendment Overview

The amendment adds a general substitution provision back to RZC 21.20 that was removed in Redmond 2050. The substitution allowed applicants to provide one 50% AMI affordable housing unit in lieu of providing two 80% AMI affordable housing units. This general substitution provision was removed because the initial Redmond 2050 project approach for RZC 21.20 was for each subarea or zone to be updated with bespoke affordability requirements. However, the project approach was revised such that certain subareas did not receive bespoke affordability requirement updates. As such, a general substitution provision needs to be added back to the code.

Rationale

Alignment with Redmond 2050.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

WORKING AMENDMENT:

21.20.030 General Requirements and Incentives.

E. ~~Reserved.~~ Substitutions of 50 percent AMI units. Unless superseded by other provisions in RZC 21.20, Affordable Housing, developments may provide 50 percent AMI affordable housing units to satisfy affordable housing unit requirements of 80 percent AMI affordable housing units. Each 50 percent AMI affordable housing unit provided counts as two 80 percent AMI affordable housing units for the purpose of satisfying the affordable unit requirements associated with that development.

REDMOND ZONING CODE

Code Amendment Summary

Miscellaneous Corrections in RZC Article I

Subject Matter Expert	<i>Jeff Churchill, Kimberly Dietz, Beckye Frey, Ian Lefcourte</i>
Author	<i>Jeff Churchill</i>
Policy Basis for Amendment	<i>PI-17: clear regulations that avoid duplication and inconsistency.</i>
Relevant Code Portions	RZC Table 21.08.200.B, Table 21.08.300.A, Table 21.10.200, Table 21.13.200.D, Table 21.04.0200, Table 21.12.500

Proposed Amendment Overview

The proposed amendment corrects several errors, inconsistencies, or implementation issues identified after the adoption of the Redmond 2050 Comprehensive Plan and related updates to development regulations. The amendment addresses only RZC Article I and includes:

- Neighborhood Residential zone garage setbacks.
- Neighborhood zones lot standards.
- Maximum building height examples.
- Kennels in the Manufacturing Park zone.
- Minimum height in Overlake.
- Clarification on incentive points for Overlake

Rationale

Clear and consistent regulations. Consistency with the Redmond 2050 Comprehensive Plan.

Neighborhood Residential Zone Garage Setbacks

First, the purpose of the code is to prevent parked vehicles from encroaching into sidewalks or rights of way. This issue is an issue for any of these five zones where driveways are likely to occur and there are residents making use of the sidewalks and rights of way. Second, and related, the City has an obligation under the Americans with Disabilities Act to maintain accessible sidewalks. Vehicles that overhang the sidewalk impair sidewalk accessibility.

Neighborhood Zones Lot Standards

Some lot standards were erroneously omitted from the November 2024 amendments to the June 2025 amendments. Proposed amendments add the relevant lot standards back into the code.

Maximum Building Height Examples

The math in the examples is incorrect and needs to be corrected.

Kennels in MP Zone

Kennels were previously permitted in the MP zone. When uses were “rolled-up” into broader use categories, kennels were inadvertently excluded from being permitted in the MP zone. This proposal corrects that error.

Minimum Building Height in Overlake

Most buildings in Overlake are subject to a minimum building height requirement. There are exemptions for covered entryway features, and there are averaging provisions that apply to single buildings and multibuilding sites. Accessory structures are often small and ancillary to overall site design. Exempting them makes practical sense and does not impede advancing Redmond 2050 goals for density in Overlake.

Clarification on Incentive Points for Overlake

The Overlake points to FAR conversion is not as clear in the code as the new table for the other zones. To provide clarity and transparency, proposing an edit to the Overlake conversion tables. Also providing a minor edit that clarifies which table applies to OUMF zone, based on developer feedback.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

EXISTING CODE:

<see proposed amendments section below>

AMENDMENTS SUMMARY:

Chapter	Topic/Purpose of Edit	Description of Edit
21.04 Land Uses and General Provisions	Corrections (a typo and a few limitations from previous code that should have made the conversion but didn't) and clarifications	<ul style="list-style-type: none">• Table 21.04.0200, correct Animal Kennel note in I zone from L-15 to <u>L-1</u>• Table 21.04.0200, add note <u>7 E</u> to MP zone column in row titled “Education, government, health care and other institution”• Table 21.04.0200 add to 7j: <u>(unless permitted as a supplementary use per 21.04.2220.J)</u>• Table 21.04.0200 add cross references to parking facility: <u>See also RZC 21.40 and RZC 21.58.5310. In shorelines see RZC 21.68.140.</u>• Table 21.04.0200 add note <u>27: Not allowed within 500 ft of Neighborhood zones</u>• Table 21.04.0200 add L 27 reference to UMU and BP zones
	Clarify that garage door setbacks apply throughout	Move Note 2 reference in Table 21.08.300.A from zone cell to row header cell (apply to all zones)

21.08 Neighborhood and Mixed-Use Zones		
	Reinstate minimum lot sizes and frontage requirements	Add regulations to development standards Table 21.08.200.B related to minimum lot sizes and minimum frontages
21.10 Downtown Zones	Correction to building height exemption example	Fix typo in Table 21.10.200, Note 4
21.12 Overlake Zones	Exemptions for accessory buildings and temporary structures	Add notes to minimum building height and minimum first floor clearance requirements to allow exemptions: <ul style="list-style-type: none"> • Table 21.12.500, Note 2 and 5 that temporary and accessory structures are exempt.
21.13 Marymoor Village Zones	Correction to building height exemption example	Fix typo in Table 21.13.200.D, Note 4
21.55 Development Incentives	Clarifications (no change to current processes)	<ul style="list-style-type: none"> • Edit to tables Table 21.13.4100.B and 4100.C to show 0.02 FAR per point • Minor edit to make clear which table applied to OUMF.

PROPOSED AMENDMENTS:

21.04.0200 Nonresidential Use Table.

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
General Sales or Service																					
Retail sales	N	N	L 1, 2	L 2	L 2	L 1, 2	L 2	L 2, 7J	L 1, 2, 3e	L 2	L 2	L 1, 2	L 1, 2	L 1, 2, 3A, 3B, 3C	L 2, 20 / C	L 2, 15, 16 / C	L 2, 14, 23, 24, 25	N	N	N	Gasoline sales require a CUP. For kiosks and other temporary uses see RZC 21.04.4000 For animal sales, see RZC 21.04.2040 For vehicle sales, see RZC 21.04.2220
Cannabis retail sales	N	N	N	P	P	N	N	N	P	P	P	P	P	N	P	L 15	N	N	N	N	See RZC 21.04.2070
Business and service	N	N	L 1	P	P	P	P	L 7J	P	P	P	L 3E / C	L 3E	L 1, 3A, 3B, 3C, 3E	L 21	L 2, 7F, 7G, 7H, 16	L 2, 23	N	N	N	A CUP is required for auto rental and animal sales and services
Food and beverage	N	N	L 1	P	P	P	P	L 1, 17, 18, 19a	P	P	P	L 4	P	L 1, 4	L 17, 18, 19b	L 10, 17, 18, 19a	L 17, 18, 19b / C	N	N	N	For food carts, food trucks, and other temporary uses see RZC 21.04.4000
Food truck, pop-up retail court	N	L 1	L 1	P	P	P	P	N	P	P	N	P	P	N	P	P	P	N	N	N	See RZC 21.04.2140
Drive-up stand	N	N	N	P	P	P	P	P	P	P	P	P	P	N	P	P	N	N	N	N	See RZC 21.04.2090
Animal kennel/shelter	N	N	N	P	L 1	L 1	L 1	N	L 1	L 1	L 1	L 1	L 1	N	N	L 1, 16	N	L 15	C	N	See RZC 21.04.2040
Arts, Entertainment, and Recreation																					
Arts, entertainment, recreation, and assembly	L 1, 7a, 7b, 7c / C	L 1, 7a, 7b, 7c / C	L 1 / C	P	P	P	P	C	P	P	P	P	P	L 1, 7 / C	L 22	P	N	C	C	C	A CUP is required for athletic, sports, and play fields, marine recreation, and commercial swimming pools. See RZC 21.04.2210 and 21.04.2050 For special regulation for uses in the UR zone see RZC 21.04.2210

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Golf course	L 2 / C	L 2 / C	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2 / C	L 2 / C	N	See RZC 21.04.2210
Natural and other recreational park	P / C	P / C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P / C	C	A CUP is required for commercial facilities. See RZC 21.04.2210
Adult entertainment facilities	N	N	N	N	C	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	See RZC 21.04.2030
Education, Public, Health, and Other Institutions																					
Education, government, health care and other institution	L 1 / C	L 1 / C	L 1 / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	L 2, 7D, 7E, 16 15 / C	N	N	L 26 / C	N	A CUP is required for educational facilities with capacity > 150 full-time-equivalent students. A CUP is required in the RA-5 zoning district.
Day care center	L 13 / C	L 13 / C	L 13	P	P	P	P	P	P	P	P	P	P	P	P	L 15	N	N	N	N	A CUP is required in NR and NMF. See RZC 21.04.2080
Family day care provider	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N	N	P	P	See RZC 21.04.1150
Faith-based	P / C	P / C	N	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	N	N	N	N	A CUP is required for uses with over 250 seats. See RZC 21.04.2130
Funeralary	P / C	P / C	N	N	P	N	P	P	P / C	P / C	P / C	P / C	P / C	N	N	P / C	N	N	N	N	A CUP is required for uses with over 250 seats. See RZC 21.04.2130
Secure community transition facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	See RZC 21.76.070.M
Manufacturing and Wholesale Trade																					
Manufacturing and wholesale trade	N	N	N	N	L 2	N	L 1, 2	L 1, 2	N	N	N	L 3D	L 3D	N	L 2	L 2	L 2	N	N	N	See RZC 21.04.2170
Artisanal manufacturing, retail sales, and service	N	N	L 1	L 1	P	L 1	P	P	L 1	L 1	L 1	L 1, 3E	L 1, 3E	N	P	L 2	L 2	N	N	N	

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Cannabis processing	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	See RZC 21.04.2070
Transportation, Communication, and Utilities																					
Postal services	N	N	N	N	N	N	N	P	P	P	P	P	P	N	N	P	N	N	N	N	
Automobile parking facility	N	N	N	N	L 27	N	P	N	N	P	P	N	N	N	L 27 P	N	N	N	N	N	See RZC 21.40 and RZC 21.58.5310. In shorelines see RZC 21.68.140.
Truck and freight transportation	N	N	N	N	N	N	N	P	N	N	N	N	N	N	N	L 2	L 2	N	N	N	See RZC 21.04.2220
Towing operators and auto impoundment yards	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	L 2	N	N	N	See RZC 21.04.2220
Road, ground passenger, and transit transportation	N	N	N	N	P	L 1	L 1	P	N	P	P	P	P	N	P	P	P	N	N	N	
Rail transportation	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	N	N	
Helicopter	L 9 / C	L 9 / C	N	N	P	N	C	C	N	N	N	N	N	N	C	C	C	N	N	N	
Rapid charging station	N	N	N	P	P	L 14	P	P	P	P	P	L 1	L 1	L 1	L 14	L 14	L 14	N	N	N	
Wireless communication facilities	P	P	L 1 / C	P	P	L 1 / C	P	P	L 1 / C	P	P	L 1 / C	L 1 / C	P	P	P	P	N	P	P	See RZC 21.04.2230. A CUP is required for large satellite dishes; amateur radio tower; antenna array, base station, and support structures
Local utilities	P	P	L 1 / C	L 1 / C	P	L 1 / C	L 1 / C	L 1 / C	P	P	P	P / C	P / C	P / C	P	P	P	N	P	P	A CUP is required if 40 feet in height or greater
Regional utilities	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	P / C	P / C	P / C	P	P	P	N	C	C	A CUP is required if 40 feet in height or greater
Solid waste transfer and recycling	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	L 2	N	N	N	

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Hazardous waste treatment and storage, incidental	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	L 2	L 2	N	N	N	See RZC 21.04.2160
Hazardous waste treatment or storage, primary	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2 / C	L 2	N	N	N	See RZC 21.04.2160
Water extraction well	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	N	N	
Agriculture																					
Animal production	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 11	L 11	N	See RZC 21.04.2040
Crop production	P	P	P	N	N	P	N	N	P	N	N	P	P	P	N	N	N	P	P	N	
Cannabis production	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	See RZC 21.04.2070
Equestrian facility	L 12 /C	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	See RZC 21.04.2040
Roadside produce stand	P	P	P	P	P	P	P	N	P	P	P	P	P	N	N	N	N	P	P	N	
Other																					
Construction-related business	N	N	N	N	N	N	N	P	N	N	N	L 3D, 3E, 6	L 3D, 3E, 6	N	P	L 2	L 2	N	N	N	
Mining and extraction establishment	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2/C	N	N	N	See RZC 21.04.2180
Wetland mitigation banking	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	P	

Notes and Limitations

1 Shall not be materially detrimental in terms of noise, truck traffic, vibrations, odors, and other potential operational impacts with neighborhood units or nearby mixed-use/residential developments. Application of this note is limited in the MMC and MMM zoning districts to new structures permitted after June 17, 2017.

2 For properties in a CARA this use may be restricted or prohibited. See RZC 21.64.050.

3 Uses Not Permitted:

- a. Gasoline service;
- b. Outdoor automobile sales, rental or service;
- c. Rental storage and mini-warehouses;
- d. Warehouse and storage services;

- e. Outdoor storage.
- 4** Limited to less than 75,000 square feet gross floor area in a single use.
- 5** Membership wholesale/retail warehouse limited to showroom only with a maximum size of 75,000 square feet gross floor area.
- 6** Administrative office/business functions only.
- 7** Is limited to:
 - a. Athletic, sports, and play fields.
 - b. Marine recreation.
 - c. Commercial swimming pools.
 - d. Education facilities allowed in MP zones outside of MP Overlay but limited to technical, trade, and other specialty schools only.
 - e. Animal kennels.
 - f. Real estate services limited to mini-warehouse/self-storage only.
 - g. Professional services limited to research and development services and other uses that support another permitted use within the MP zone only.
 - h. Administrative services limited to corporate headquarters and regional offices associated with manufacturing and wholesale trade uses within an MP zone.
 - i. Athletic club or fitness center.
 - j. Repair and rental of goods ([unless permitted as a supplementary use per 21.04.2220.J](#))
- 8** Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.
- 9** Permitted only abutting Lake Sammamish. Excludes medical airlift.
- 10** Limited to mixed-use developments. Not permitted as a stand-alone use.
- 11** All commercial livestock, dairy and fowl enterprises limited to lots 35,000 square feet in size or larger, and must meet Seattle-King County Health Department regulations and the regulations of Redmond's Municipal Code. Personal, noncommercial livestock, dairy, and fowl activities are considered an accessory use and are allowed; provided, that all Health Department and Municipal Code requirements are met.
- 12** Limited to lots 35,000 square feet or larger.
- 13** Day care uses are only permitted in a building or building complex used for other uses, such as a school, church, meeting hall, or some other building used for more than one purpose.
- 14** Shall not be located on a parcel that abuts a Neighborhood Residential or Neighborhood Multifamily zone.
- 15** Only allowed in the MP Overlay (see note 7D for educational facilities).
- 16** [The following uses are limited](#) ~~Limited~~ to MP Overlay only: pet and animal sales or services (except veterinary), ambulatory and outpatient health care services, health and personal care, and finance and insurance.
- 17** Shall be located in multi-tenant buildings or a single building in a multibuilding, multi-tenant complex.

- 18** Fifty-person seating capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100-person seating capacity, so long as the seating area does not occupy more than 25 percent of combined gross floor area. The seating limit does not apply when the use is secondary to a winery or brewery, but the 25 percent limit continues to apply.
- 19** Hours of operation limited to:
 - a. 6:00 a.m. – 12:00 p.m. in the MMM and MP zoning districts.
 - b. 6:00 a.m. – 10:00 p.m. in the BP and I zoning districts.
- 20** Not permitted north of NE 90th Street and west of Willows Road.
- 21** Finance and insurance, convenience use, and personal services uses:
 - a. Permitted in Willows/Rose Hill Neighborhood north of NE 95th Street only.
 - b. Must be closed a minimum of four hours in any 24-hour period.
 - c. Minimum size per tenant is 1,000 square feet gfa.
 - d. Maximum size per tenant is 20,000 square feet gfa.
 - e. Shall be secondary use in multi-tenant building; shall not be located in separate building containing only convenience uses.
- 22** Maximum size is 30,000 square feet gfa in Willows/Rose Hill Neighborhood north of NE 95th Street.
- 23** For automobile sales, service, or repair:
 - a. May occupy up to 25 percent of the combined gross floor area.
 - b. Vehicle display area shall be outside of required parking and landscape areas.
 - c. Vehicles shall be stored on paved surfaces.
 - d. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.
 - e. Vehicle repair shall be conducted indoors.
- 24** Outdoor loudspeaker systems are prohibited.
- 25** Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.
- 26** Limited to government and administration uses only.
- 27** [Not allowed within 500 ft of Neighborhood zones.](#)

21.08.200 Development Standards.

A. All legal lots in Citywide Mixed-Use zones are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings, provided all other applicable site requirements are met.

B. Table 21.08.200.B contains the basic zoning regulations that apply to development within the Neighborhood and Mixed-Use zones.

Table 21.08.200.B. Neighborhood and Mixed-Use Development Standards

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR	NMF	NMU	CMU	UMU	
Base Maximum Dwelling Units Per Lot (w/o one on-site affordable housing unit)	6	N/A	N/A	N/A	N/A	
Base Maximum Dwelling Units Per Lot (with one on-site affordable housing unit)	8	N/A	N/A	N/A	N/A	RZC 21.20.060.A.1 , at least one affordable unit, affordable to households earning up to 80 percent AMI, must be provided on site on the same lot.
Base Maximum FAR (w/o Incentives)	N/A	1.1 ¹	0.6 ¹	2.0 ¹	4.5 ¹	
Maximum FAR with incentives (outside TOD Focus Area / inside TOD Focus Area)	N/A	1.5 / N/A	1.0 ² / N/A	3.0 / N/A	6.5 / 8.0	Portions of UMU zones qualify for Marymoor Village TOD incentives. See RZC Chapters 21.05 and 21.55 .
Commercial Square Feet	N/A	N/A	Min. 500 sq. ft.	N/A	No Net Loss ³	
Ground Floor Ceiling Height (minimum)	N/A	N/A	N/A	16 ft. ^{4,5}	20 ft. ^{4,5}	Applicable to nonresidential and mixed-use projects.
Base Maximum Height (w/o Incentives)	38 ft.	60 ft.	38 ft.	45 ft. ⁶	60 FT ⁶	<ul style="list-style-type: none"> • See RZC Chapter 21.58 for design standards options impacting maximum building height. • Portions of UMU zones qualify for Marymoor Village TOD incentives. See RZC Chapters 21.05 and 21.55. • See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.58.5200, Towers, for additional regulations regarding building heights and floorplates.
Maximum Height with Incentives (outside TOD Focus Area / inside TOD Focus Area)	N/A	N/A	N/A	65 ft. / N/A ⁶	85 ft. / 144 ft. ⁶	
Maximum Impervious Surface	70% ⁷	75% ⁷	70% ⁷	70% ⁷	75% ⁷	
Lot Coverage	50% / 60% ⁸	60%	60%	65%	70%	
Average Minimum Lot Size	3,000 sq. ft.	n/a	3,000 sq. ft.	n/a	n/a	
Lot Frontage Minimum	20 ft.	30 ft.	20 ft.	n/a	n/a	
Minimum Open Space	20%	20%	n/a	n/a	n/a	Measured as percent of total lot area

NOTES:

¹ The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded. Where

publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC 21.36.400, the FAR for those spaces may be excluded

from maximum FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC 21.36.400, plaza and open space design criteria.

2 Maximum FAR can be increased through incentives if the property contains one or more housing units. Incentives are not available for properties that do not contain housing. See RZC Chapter [21.55](#).

3 New development must retain or replace existing commercial square footage (excluding hotel and lodging uses). Development may reallocate or modify areas allocated to commercial uses, subject to a minimum floor area and active pedestrian uses requirements to be negotiated as a condition to any development agreement.

4 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways; and
- d. Parcels zoned UMU within the Marymoor Village Center shall have a minimum 16-foot ground floor ceiling height to be consistent with the adjacent Marymoor Core zone.

5 A minimum of 50 percent of the first floor nonresidential space must meet the minimum ceiling height. First floor nonresidential spaces shall have a ceiling height of 16 feet minimum for the entire first floor.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first floor ceiling height greater than 10 feet to meet minimum ground floor

ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if first floor is 20 feet, the maximum building height increases by 10 feet (20 - 10 = 10 foot increase in max building height).

6 Properties in the CARA

a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).

b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all of the following criteria are met:

- i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
- ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
- iii. The additional height on street frontages meets a 20 foot step-back to limit impacts to the pedestrian realm.

7 Other regulations will impact the impervious surface area and may result in less than the maximum impervious area. These include but are not limited to critical areas requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

8 Lot coverage for structures maximum will be 60 percent of total area for lots which meet the following requirements:

- a. The lot is 18,000 square feet or less; and
- b. The lot contains at least three dwelling units.

21.08.300 Street Typology and Relationship to Buildings.

A. *Building and Street Relationships.*

1. The table below sets standards that contribute to an attractive public realm.

2. Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit shelters, and slope stability structures are permitted in setback areas; provided, that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.

3. Administrative design flexibility for setbacks is allowed for site-specific conditions that limit the ability to place the building at the street level, including but not limited to topography, easements, SR 520 ROW, or trails.

Table 21.08.300.A. Neighborhood and Mixed-Use Building Placement Standards

Development Standards	Neighborhood Zones			Citywide Mixed Use		References
	NR	NMF	NMU	CMU	UMU	
Front Setback Min.	10 feet	30 feet	10 feet	10 feet	10 feet	NMU reduced front setback for commercial spaces (2 feet)
Side (Street) Setback Min.	10 feet ¹	15 feet	10 feet	10 feet	10 feet	
Side (Interior) Setback Min.	3 feet ¹	15 feet	3 feet	10 feet	10 feet	
Rear Setback Min.	5 feet	10 feet	5 feet	10 feet	10 feet	
Garage Setback from main building frontage, Min. ²	N/A	N/A	3 feet ²	N/A	N/A	
Alley Setback Min.	2 feet	4 feet	2 feet	N/A	N/A	
Lake Sammamish Setback Min.	35 feet	35 feet	35 feet	N/A	N/A	
Building Separation Min.	5 feet ¹	15 feet	5 feet	N/A	N/A	

NOTES:

1 Zero lot line exception: Standards may vary for developments that comply with the zero lot line regulations in RZC 21.16.200.D.

2 If a residential garage door or carport faces the street front, the minimum driveway depth outside the building – measured from the outer

edge of the existing or ultimate sidewalk, or from the right-of-way line, whichever is closer to the building – shall be at least 18 feet, to prevent vehicle parking on the driveway from overhanging into the sidewalk or right-of-way area.

21.10.200 Downtown Development Standards.

- A. All legal lots are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings provided all other applicable site requirements are met.
- B. Table 21.10.200 contains the basic zoning regulations that apply to development within the Town Center (TWNC), Downtown Core (DTE), and Downtown Edge (DTE) zoning districts.

Table 21.10.200. Downtown Development Standards

Development Standards	Downtown Zones			Notes
	TWNC	DTC	DTE	
Base Max FAR (w/o incentives)	5.0 ¹	4.5 ¹	3.0 ¹	
Max FAR w/ incentives (outside TOD focus area/inside TOD focus area)	6.5 / 8.0 ¹	6.5 / 8.0 ¹	3.75 ¹ / N/A	Additional floor area can be earned with incentives (see RZC Chapter 21.55) and through the transfer of development rights program (see RZC Chapter 21.48).
Base Max Height (w/o incentives)	60 ft. ²	60 ft. ²	45 ft. ²	• See RZC Chapter 21.58 for building design options with building height impacts.
Max Height with Incentives (outside TOD Focus Area 144 / inside TOD Focus Area)	85 ft. / 144 ft. ^{2,3,4,5}	85 ft. / 144 ft. ^{2,3,4,5}	60 ft. ^{2,3,4,5} / N/A	• See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.58.5200 , Towers, for additional regulations regarding building heights and floorplates.
Ground Floor Ceiling Height (minimum) in TOD Focus Area	16 ft. ^{3,4}	16 ft. ^{3,4}	16 ft. ^{3,4}	Applicable to nonresidential and mixed-use projects.
Lot Coverage	100% ⁶	100% ⁶	100% ⁶	

Notes:

1 Floor Area Ratio: The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases, provided the maximum FAR is not exceeded.

2 Building Height

- a. Building height is limited to three stories for parcels fronting Leary Way from NE 80th Steet to a half-block south of NE 76th Street.

b. Additional height can be earned with incentives (see RZC Chapter [21.55](#)) and through the transfer of development rights program (see RZC Chapter [21.48](#)).

c. Additional height can be earned by utilizing specified architectural techniques in RZC Chapter [21.58](#) or via incentives in RZC Chapter [21.55](#).

d. The height limit in the Shoreline Jurisdiction (SMP) is 35 feet (see RZC [21.68.020](#)).

3 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and

- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

4 A minimum of 50 percent of the first floor nonresidential space must meet the minimum ceiling height of 16 feet.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first-floor ceiling height greater than 10 feet to meet minimum ground-floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if first floor is 16 feet, the maximum building height increases by ~~six~~ **10** feet (16 - 10 = six foot increase in maximum building height).

5 Properties in the CARA

- a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to

types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).

- b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all of the following criteria are met:

- i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
- ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
- iii. The additional height on street frontages meets a 20-foot step-back to limit impacts to the pedestrian realm.

6 Other regulations will impact the maximum lot coverage and may result in less than the maximum, including critical area requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

21.12.500 Overlake Development Standards.

The following table contains the basic zoning regulations that apply to development within the Overlake Village (OV), Overlake Business and Advanced Technology (OBAT), and Overlake Urban Multifamily (OUMF) zones:

Table 21.12.500. Overlake Development Standards

Development Standards	Overlake Zoning Districts			Notes
	OV	OBAT	OUMF	
Base FAR ¹ (w/o Incentives)	5	3	3	
Maximum FAR With Incentives	FAR maximum waived when maximizing incentive program	Outside TOD Focus Area: maximum 9.5 FAR Inside TOD Focus Area: FAR maximum waived when maximizing incentive program		See RZC 21.12.600 for incentive related adjustments to FAR ³
Minimum Height	4 stories or 45 feet, whichever is less ²	In TOD Focus Area: 4 stories or 45 feet whichever is less ² Elsewhere: 3 stories or 35 feet, whichever is less ²	3 stories or 35 feet, whichever is less ²	
Base Maximum Height (w/o Incentives)	Mixed-use: 14 stories or 150 feet, whichever is less ^{3,4} Nonresidential: 8 stories or 120 feet, whichever is less ^{3,4}	Mixed-use: 14 stories or 150 feet, whichever is less ^{3,4} Nonresidential: 8 stories or 120 feet, whichever is less ^{3,4}	8 stories or 85 feet, whichever is less ³	
Maximum Height With Incentives	300 feet ^{4b}	Outside TOD Focus Area: 230 feet ⁴ Inside TOD Focus Area: 300 feet ^{4b}	160 feet ⁴	See RZC 21.12.600 for incentive related adjustments to building height.

Development Standards	Overlake Zoning Districts			Notes
	OV	OBAT	OUMF	
Ground Floor Ceiling Height (minimum) in TOD Focus Area	16 feet ^{5,6}	16 feet ^{5,6}	14 feet ⁵	Ground floor ceiling height not applicable outside of TOD Focus Area
Maximum Impervious Surface	100% ⁷	80%	60%	

Notes:

1 The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded and no building is less than the minimum building height. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC 21.12.600.D.5 (see note 1 for Table 21.12.600.D.5.a), the FAR for those spaces may be excluded from maximum FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC 21.36.400 open space design requirements.

2 Minimum building height:

a. Portions of a building may be lower than the minimum building height providing that 80 percent of the building meets or exceeds minimum building height. Covered entryway features, including port-cochere pick-up and drop-off zones, are exempt from minimum building height requirements.

b. Accessory and temporary building are exempt.

3 Maximum height is limited to three stories or 35 feet, whichever is less, within 150 feet of adjacent Neighborhood Residential zoning districts or equivalent zoning district outside of Redmond.

4 Building Height Exemptions:

- a. Maximum building height does not include mechanical equipment (see RZC 21.60.040.B.7.c for rooftop screen design standards).
- b. Where rooftop amenities are offered, including restaurants, observation areas, childcare and activity spaces, and services for tenants and/or are publicly accessible, those amenity spaces may exceed the maximum building height by one story or 14 feet, whichever is greater, but may not exceed 30 stories.

c. Maximum building height may be exceeded for ground floor ceiling heights in greater than the minimum required (see note 6b below).

5 Exemptions From Ground Floor Ceiling Height Requirements:

- a. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter 21.20; and
- b. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

c. Accessory and temporary building are exempt.

6 A minimum of 50 percent of the first-floor space must meet the minimum ceiling height. At no point do the first-floor nonresidential spaces have a ceiling height of less than 14 feet.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or midblock connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first-floor ceiling height greater than 14 feet, the additional ground floor ceiling height may increase the maximum building height (example: if first floor is 20 feet, the maximum building height increases by six feet (20 - 14 = 6)).

7 Other regulations will impact the impervious surface area and may result in less than 100 percent, including open space and landscaping requirements, parking, midblock connections, utility easements, stormwater management, etc. To meet stormwater management, you are required to evaluate the infiltration capacity of the soil and design building infrastructure to accommodate full infiltration of roof areas where feasible.

21.13.200 Marymoor Village Development Regulations.

A. All legal lots are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings, provided all other applicable site requirements are met.

B. Each zone has a minimum FAR; the minimum FAR is the minimum required FAR for a development proposal requiring a land use permit, excluding administrative modifications. In no case shall proposed FAR exceed the maximum combined FAR.

C. Master plans are required for all developments encompassing at least three acres and are optional for sites under three acres.

D. The following table contains the basic zoning regulations that apply to development within the Marymoor Core (MMC), Marymoor Edge (MME), and Marymoor Manufacturing (MMM) zoning districts.

Table 21.13.200.D. Marymoor Village Development Standards

Development Standards	Marymoor Village Districts			Notes
	MMC	MME	MMM	
Min. FAR	1.5	1.5	0.5	
Max. FAR (no incentives / with incentives)	3.0 / 8.0 ¹	2.54 / 8.0 ¹	1.4 / 2.0 ¹	See RZC Chapter 21.55 for incentive adjustments to FAR
Max. Height (no incentives / with incentives)	45 ft. / 144 ft. ²	38 ft. / 144 ft. ²	38 ft / 45 ft ²	<ul style="list-style-type: none"> • See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.13.300.E, upper story step-backs, and RZC 21.58.5200, Towers, for additional regulations regarding building heights and floorplates. • Development above six stories does not qualify for the Marymoor Village Infill Exemption (see RZC 21.70.095).
Ground Floor Ceiling Height (min.) in TOD Focus Area	16 ft ^{3,4}	16 ft ^{3,4}	16 ft ^{3,4}	<ul style="list-style-type: none"> • Applicable to nonresidential and mixed-use projects. • See RZC 21.13.300.D, Ground Floor Uses.
Max. Impervious Surface	75% ⁵	70% ⁵	70% ⁵	
Min. Land Dedication for Stormwater Infiltration	7%	7%	7%	
Max. Lot Coverage	70%	65%	55%	

Notes:

¹ FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC [21.36.200](#), the FAR for those spaces may be excluded from max FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC Chapter [21.36](#), Open Space.

2 Properties in the CARA

- a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).
- b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building

height may be exceeded by up to 12 feet if all the following criteria are met:

- i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
- ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
- iii. The additional height on street frontages meets a 20-foot step-back to limit impacts to the pedestrian realm.

3 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter 21.20; and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

...

21.55.4100 Overlake Bonuses.

A. Thresholds for bonuses earned are discounted for the first five years after adoption to help facilitate the transition to mass timber and tower developments, as well as accelerating the implementation of the Redmond 2050 vision established in the Redmond Comprehensive Plan. The maximum bonus is achievable at 200 points during this initial phase but will be raised incrementally over time to no more than 400 points.

B. **Outside the Overlake TOD Focus Area and or in OUMF Zone.** Bonuses earned outside the TOD Focus Area and or in the OUMF zone have the following threshold and maximums. Where points earned are fractional, they shall be rounded to the nearest whole number to determine bonuses earned.

4 A minimum of 50 percent of the first-floor nonresidential space must meet the minimum ceiling height of 16 feet.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first-floor ceiling height greater than 10 feet to meet minimum ground-floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if the first floor is ~~20~~ [16](#) feet, the maximum building height increases by ~~six~~ [40](#) feet (16 - 10 = 6 foot increase in max building height).

5 Other regulations will impact the impervious surface area and may result in less than the maximum impervious area. These include but are not limited to critical areas requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

Table 21.55.4100.B. Bonuses in Overlake, Outside of TOD Focus Area ~~and-or~~ in OUMF Zone

Points Earned	FAR Earned	Max Building Height	
		OBAT (mixed-use/ non-residential)	OUMF
1 – 50	Per calculation <u>0.02</u>	160 ft./135 ft.	100 ft.
51 – 100	Per calculation <u>0.02</u>	175 ft./150 ft.	115 ft.
101 – 150	Per calculation <u>0.02</u>	190 ft./165 ft.	130 ft.
151 – 200	Per calculation <u>0.02</u>	210 ft./180 ft.	145 ft.
Over 200 points	<u>0.02</u> , Max FAR of 9.5	230 ft./200 ft.	160 ft.

C. Inside the Overlake TOD Focus Area.

Table 21.55.4100.C. Bonuses in Overlake, Inside the TOD Focus Area

Points Earned	FAR Earned	Max Building Height	Other Bonus Earned
1 – 50	Per calculation <u>0.02</u>	180 ft.	
51 – 100	Per calculation <u>0.02</u>	200 ft.	
101 – 150	Per calculation <u>0.02</u>	240 ft.	Projects earning over 100 points may combine the transfer of development rights program with the incentive program
151 – 200	Per calculation <u>0.02</u>	280 ft.	
Over 200 points	No FAR restrictions	300 ft.	If top floor is amenity space, may exceed 320 ft. by one additional story (see note 4 of Table 21.55.500), not to exceed 30 stories

REDMOND ZONING CODE

Code Amendment Summary

Miscellaneous Corrections in RZC Article II

Subject Matter Expert	<i>Jeff Churchill, Ian Lefcourte</i>
Author	<i>Jeff Churchill</i>
Policy Basis for Amendment	<i>PI-17: clear regulations that avoid duplication and inconsistency.</i> <i>HO-1</i>
Relevant Code Portions	21.04.1110.C, RZC 21.20.020, 21.20.030.L, 21.48.010, 21.55.4100.B

Proposed Amendment Overview

The proposed amendment updates various provisions in RZC Article II for consistency with the Redmond 2050 Comprehensive Plan and related development regulations. The amendment addresses:

- Exempting manufactured homes sited within manufactured home parks from affordable housing requirements.
- Allowing accessory dwelling units to satisfy affordable housing requirements.
- Correcting various outdated provisions in the transfer of development rights program

Rationale

Manufactured Homes sited within Manufactured Home Parks

Redmond currently has 3 manufactured home parks. It is unlikely that more manufactured home parks will be created in Redmond. Manufactured homes represent one of the rare homeownership opportunities that serves lower-income households. The proposal removes the burden of creating cost-controlled, income-restricted for manufactured home parks.

Accessory Dwelling Units

RZC 21.20, correctly, allows ADUs to satisfy affordability. RZC 21.04.1110.C.5, incorrectly, prohibits ADUs to satisfy affordability. Rationale of amendment is to amend 21.04 to allow ADUs to satisfy affordability.

Transfer of Development Rights

- Pre-Redmond 2050 language about the relationship between TDR's and affordable housing remains and should be repealed for consistency.
- TDR's can be used to gain more than one additional story in certain circumstances. The existing language for this is unclear and suggests that the value of TDR's doubles in these areas, which is not the intention nor how the program has been administered. The proposal clarifies this language.
- For most areas, TDR bonuses can be combined with bonuses earned through the development incentive program in RZC Chapter 21.55. However, this allowance was inadvertently omitted for areas in Overlake outside the TOD focus area. The proposal corrects that.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

Comment that collaboration and communication are more democratic than attempting to impose will.

PROPOSED AMENDMENT:

21.20.020 Applicability.

A. This chapter applies to:

1. All new residential and mixed-use developments, except manufactured homes parks and manufactured homes sited within manufactured home parks; ...

RZC 21.20.030.L

L. Accessory Dwelling Units (ADUs) may be used to meet the requirements of this section in the Neighborhood Zones, provided that the ADU is at least 900 square feet: and all other applicable RZC 21.20 requirements are satisfied, including an affordable housing agreement as described in RZC 21.20.080.

RZC 21.04.1110.C

~~5. **Affordability Requirement.** ADUs shall not be used to meet any requirement to provide affordable dwelling units per RZC Chapter 21.20, Affordable Housing.~~

~~6-~~5. Applicable Codes - ADUs. The portion of the dwelling in which the accessory dwelling unit is proposed must comply with all standards for health and safety contained in all applicable codes, with the exception of the ceiling height requirements of the International Building Code. The Building Official may waive the ceiling height requirements of this chapter if it is determined that the structure was built in compliance with past building code requirements.

RZC 21.48.010 Transfer of Development Rights Program.

A. **Purpose.** The purpose of Redmond's Transfer of Development Rights (TDR) Program is to advance Comprehensive Plan goals and policies that address the protection of environmentally critical areas, historic resources (including archeological resources), and open spaces, ~~and the ability to provide affordable housing,~~ by transferring the right to develop on the land needing protection to land more suitable for urban development.

~~<<administrative note: no changes to subsection B>>~~

C. **Sending Area Properties.**

1. Land is eligible if it complies with all of the criteria for at least one of the eligibility categories as described in Table 21.48.010A, Eligibility Categories and Criteria, and with all of the criteria in RZC 21.48.010.C.2.

Table 21.48.010A Eligibility Categories and Criteria	
Eligibility Category	Eligibility Criteria
Urban Recreation	A. Located in the UR zone; and B. Wholly undeveloped or in agricultural or recreational use.
Historic	A. Listed on the Redmond Historic Resource Register; or B. Otherwise eligible under RZC Chapter 21.30, Historic and Archeological Resources.
Environmentally Critical Area	A. Located in one or more of the following areas: 1. Species Protection Area; 2. Category I or Category II wetland or wetland buffer; 3. Class I or Class II stream or stream buffer; 4. Landslide hazard area or buffer; 5. Contiguous forest community characterized by a qualified arborist or ecologist as: a. Having three layers of vegetation – canopy, subcanopy/shrub, and herb – dominated by native species; and b. Having at least 20 percent of canopy trees estimated to be at least 50 years of age; and c. Measuring at least one acre; and B. Wholly undeveloped, or partially undeveloped or vacant, where the Administrator determines that eligible environmentally critical areas listed in (A) above could be maintained without compromising the ecological functions and values of those critical areas.
Affordable Housing	A. Complies with RZC 21.48.010.G, Affordable Housing Bonus.

2. The following criteria must also be met:

- a. The land's development rights or development capacity shall not have been exhausted, sold, or transferred; or limited by easements, deed restrictions, equitable servitudes, or similar measures to any of the following:
 - i. Agriculture, recreation, open space; or
 - ii. Preservation of environmentally critical areas and their buffers, as described in Table 21.48.010A, through means including, but not limited to, a Native Growth Protection Area or open space easement.
- b. The land shall not have been granted a reasonable use exception under RZC 21.76.070.U, Reasonable Use Exception (Critical Areas/Hazardous Liquid Pipelines, etc.). Nothing in this chapter shall require that a reasonable use exception granted under the reasonable use provision equal the economic value of the TDRs granted under this chapter.

c. The land shall not be part of any property the Comprehensive Plan designates for use as a collector, arterial street, or highway.

<<administrative note: no changes to subsections D-E>>

F. Use of Development Rights.

1. Each development right may be used as a right for any one of the following, subject to the limitations of this chapter and other zoning code chapters:

- a. To authorize an additional 8,712 square feet of gross floor area;
- b. To increase the maximum impervious surface or maximum lot coverage by 8,712 square feet; provided, that the total increase does not exceed 10 percent of the allowed maximum square footage for the site; or
- c. To increase the height of a structure, including above-ground structured parking, by one story across each 8,712-square-foot increment of gross floor area or parking floor plate, ~~except as permitted in RZC 21.48.010.F.2 or by two stories in a TOD focus area. In no case shall total building height be greater than two stories above the height allowed by the underlying zone except as permitted as part of the Overlake incentive package (RZC Chapter 21.55); the~~ The height bonus shall not apply to structures within the shoreline jurisdiction or within the Downtown height limit overlay areas. (Table 21.10.200, note 2).

2. In TOD focus areas (see RZC Chapter 21.05), maximum height may be increased by up to two stories above the height allowed by the underlying zone using development rights. Additional height can also be earned by combining development rights with the incentives available in RZC Chapter 21.55.

3 ~~2~~. A fraction of a development right shall be entitled to the corresponding fraction of any of the above.

4 ~~3~~. A land use application using transferred development rights shall contain a statement describing the amount of the development rights proposed to be used and how the development rights are proposed to be used.

RZC 21.55.4100.B

B. *Outside the Overlake TOD Focus Area and in OUMF Zone.* Bonuses earned outside the TOD Focus Area and in the OUMF zone have the following threshold and maximums. Where points earned are fractional, they shall be rounded to the nearest whole number to determine bonuses earned.

Table 21.55.4100.B. Bonuses in Overlake, Outside of TOD Focus Area and in OUMF Zone

Points Earned	FAR	Max Building Height		Other Bonuses Earned
		OBAT (mixed-use/non-residential)	OUMF	
1 – 50	Per calculation	160 ft./135 ft.	100 ft.	
51 – 100	Per calculation	175 ft./150 ft.	115 ft.	
101 – 150	Per calculation	190 ft./165 ft.	130 ft.	<u>Projects earning over 100 points may combine the transfer of development rights program with the incentive program</u>

Points Earned	FAR	Max Building Height		Other Bonuses Earned
		OBAT (mixed-use/non-residential)	OUMF	
151 – 200	Per calculation	210 ft./180 ft.	145 ft.	
Over 200 points	Max FAR of 9.5	230 ft./200 ft.	160 ft.	

Item	Discussion Notes	Issue Status
<p>1. Fences: repairing and replacing non-conforming fences.</p> <p>Weston, Coleman, Public Comments</p>	<p><u>Commission Discussion</u></p> <p>Commissioners and community members asked about how repair and replacement of legal non-conforming fences would work. Would it make a difference if the legal non-conforming fence was on property owned by King County?</p> <p><u>2/25</u>: Chair Weston asked for information about what fence regulations apply to fences in the shoreline jurisdiction.</p> <p><u>Staff Comments</u></p> <p>A legal non-conforming use or structure is something that met all requirements at the time it was established/constructed but does not meet current requirements. For example, a building might be built when the setback requirement was 3 feet but the requirement later changed to 5 feet. That building would be considered a legal non-conforming structure.</p> <p>Legal conforming uses and structures are regulated in <u>RZC 21.04.5000</u>. Maintenance is addressed in RZC 21.04.5000.F, Maintenance. The code says, "Ordinary and routine maintenance and repair of a legal nonconforming structure and structures containing a nonconforming use, such as painting or plumbing repair, shall be permitted as necessary to ensure the protection of general health, safety, and welfare. All legal nonconforming uses and structures are subject to all applicable property maintenance and substandard building laws."</p> <p>Additional relevant sections are: RZC 21.04.5000.I, Alteration or Expansion of a Nonconformance. In general, this section says that the degree of nonconformity cannot be increased. It also says that legal nonconforming structures must be brought into compliance with the RZC when alteration or expansion of the structure takes place, and the following takes place within any three-year period:</p> <ol style="list-style-type: none"> a. The gross floor area of the structure is increased by 100 percent or more; or b. The costs stated on all approved building permit applications for the structure equal or exceed the value of the existing structure at the beginning of that three-year period. 	<p>Opened 2/11/2026</p> <p>Closed 3/11/2026</p>

Item	Discussion Notes	Issue Status
	<p>RZC 21.04.5000.G, Abandonment of Rights to Nonconformities. In general, this section says that the right to continue a legal nonconforming structure is lost when the structure is demolished or rebuilt.</p> <p>Legal nonconforming structures can be repaired or restored in extraordinary circumstances such as following an earthquake, fire, explosion, vandalism, etc., with limitations. (RZC 21.04.5000.H, Restoration)</p> <p>Community members spoke of a specific fence along the Sammamish River. The same regulations would apply whether the fence is on private property, City-owned property, or County-owned property, because all the property is within Redmond city limits and subject to the Redmond Zoning Code.</p> <p><u>3/11</u>: Fences are prohibited in stream buffers in the shoreline jurisdiction (RZC 21.68.100). The Sammamish River stream buffer south of the Puget Sound Energy trail is 150 feet (RZC 21.68.060.A.1). Stream buffers are measured perpendicular to the ordinary high water mark (RZC 21.64.020.B.2). A legal non-conforming fence in a stream buffer in the shoreline jurisdiction would be subject to the provisions described above. An unpermitted fence in a stream buffer in the shoreline jurisdiction would be a code violation. Redmond’s code enforcement approach is to work collaboratively with property owners to reach compliance.</p>	
2.	<p>Fences: materials.</p> <p>Weston, Coleman</p> <p>Commission Discussion</p> <p>Barbed wire fence topping is not permitted along residential areas. Can we exclude these fence toppings when they are adjacent to parks, and public spaces? How will this be addressed if a fence exists with this or similar treatment? How can you bring the fence into compliance with the current RZC?</p> <p>Staff Comments</p> <p>If the Planning Commission wishes to further restrict locations for barbed or razor wire fences, staff recommends amending Table 21.24.050 - Electric, Barbed Wire, and Swimming Pool Fences as shown below. “Parks, Open Space, Trails and Gardens” is defined in RZC 21.78.250 as “A variety of outdoor recreation areas including wildlife refuges; wetland, stream, and wildlife mitigation areas; arboretums; pea patches; and play areas. This definition excludes: Athletic, Sports, and Play Fields; and Marine Recreation.”</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>

Item	Discussion Notes		Issue Status								
	<p>Excerpt from Table 21.24.050</p> <table border="1" data-bbox="493 350 1791 792"> <thead> <tr> <th data-bbox="493 350 604 464">Fence Type</th> <th data-bbox="604 350 856 464">Permitted Zones</th> <th data-bbox="856 350 1541 464">Special Requirements</th> <th data-bbox="1541 350 1791 464">Other Code Requirements</th> </tr> </thead> <tbody> <tr> <td data-bbox="493 464 604 792">(B) Barbed or Razor Wire Fences</td> <td data-bbox="604 464 856 792">UR, RA-5, but not along property lines adjacent to other residential and commercial zones, and parks, open space, trails and gardens.</td> <td data-bbox="856 464 1541 792"> <p>A. Commercial storage, utility and public uses may use barbed wire only on top of a fence at least six feet in height. The barbed wire shall not extend more than 18 inches above the top of the fence.</p> <p>B. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).</p> </td> <td data-bbox="1541 464 1791 792">None</td> </tr> </tbody> </table> <p>Issue #1 addresses nonconforming structures.</p>		Fence Type	Permitted Zones	Special Requirements	Other Code Requirements	(B) Barbed or Razor Wire Fences	UR, RA-5, but not along property lines adjacent to other residential and commercial zones, and parks, open space, trails and gardens.	<p>A. Commercial storage, utility and public uses may use barbed wire only on top of a fence at least six feet in height. The barbed wire shall not extend more than 18 inches above the top of the fence.</p> <p>B. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).</p>	None	
Fence Type	Permitted Zones	Special Requirements	Other Code Requirements								
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3.	<p>Incentive Package</p> <p>Aparna</p>	<p>Commission Discussion</p> <p>Commissioner asked if the Overlake Incentive table was in effect and why changes are part of this package.</p> <p>Staff Comments</p> <p>The Overlake Incentive table is adopted and in effect. The point values that equate to FAR and height are in the incentive calculator but not published in the code. The calculator values were included for the incentive tables for Marymoor and Downtown, but not Overlake. This update adds the calculator and values to the code for consistency and transparency. It makes no substantive change to the Overlake incentive program.</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>								
4.	<p>Public Feedback</p> <p>Gagner</p>	<p>Commission Discussion</p> <p>Commissioner would like to review community feedback on this package.</p>	<p>Opened 2/11/2026</p> <p>Closed</p>								

Item	Discussion Notes	Issue Status
	<p><u>Staff Comments</u></p> <p>The feedback summary is available to review and has posted on the zoning amendments webpage.</p>	3/11/2026
5.	<p>Daycare</p> <p>Weston, Coleman</p> <p><u>Commission Discussion</u></p> <p>Commissioners asked for the rationale to not allow daycares closer than 300 feet apart. It appears to be the only old requirement that wasn't removed. The Commissioner's preference is that the City not restrict daycare density. There are some concerns about removing this due to potential traffic impacts.</p> <p><u>Staff Comments</u></p> <p>Engrossed Substitute Senate Bill (ESSB) 5509 stipulates that cities may impose reasonable restrictions on the permits for child care centers, with the example of pickup and drop-off areas. Otherwise, ESSB 5509 preempts city regulations by requiring the outright permission of child care centers in all zones except industrial zoning, light industrial zones, and open space zones.</p> <p>The recommended amendments strike a previous restriction that limited the centers from locating closer than 300 feet from an existing operation in residential zones.</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>
6.	<p>Co-living</p> <p>Copley</p> <p><u>Commission Discussion</u></p> <p>Additional discussion on the co-living clean-up, and the ambiguity on the co-living requirements. What if any were the unintended uses?</p> <p><u>Staff Comments</u></p> <p>The purpose of the proposed amendments is to:</p> <ul style="list-style-type: none"> • Ensuring that residential suites are complying with affordable housing regulations as intended. • Ensure that applicants are not claiming co-living space to circumvent maximum square footage per lot regulations. • Improve consistency in how these types of units are referenced across the RZC. • Clarify development standards for dormitories and residential suites in the Neighborhood Residential zone. <p>More information is on page 72 of the Technical Committee Report</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>

Item	Discussion Notes	Issue Status
7.	<p>Parking</p> <p>Weston</p> <p><u>Commission Discussion</u></p> <p>Alternative parking minimums are allowed if an applicant has a parking study prepared by a qualified expert. What is considered a qualified expert? Are we allowed to specify what sort of expert does the study? Pleased with the direction that Redmond is moving to reduce surface parking and is concerned that there is an alternative minimum path.</p> <p><u>Staff response</u></p> <p>A qualified expert is typically a parking consultant or traffic engineer consultant. As part of the development review process, the consultant shares their credentials, experience, and knowledge in conducting the study.</p> <p>The alternative minimum process is not new, and staff have not experienced challenges in determining who is a qualified expert in parking studies. Staff expect the use of this tool to continue to decrease as minimum parking requirements are decreased or eliminated.</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>
8.	<p>Uses</p> <p>Weston</p> <p><u>Commission Discussion</u></p> <p>Questions and clarifications on a variety of uses:</p> <ul style="list-style-type: none"> • Are religious uses qualified in the category of Arts, Entertainment, Recreation and Assembly? • Are non-profits considered in the category of Arts, Entertainment, Recreation and Assembly? • What are cooking classes considered? Does it differ if it's offered by a non-profit or in a retail space? • What do we consider Indoor or outdoor mini golf? Does it differ if they are selling alcohol and/or food? • What do we consider arena soccer? • What do we consider a dance school that also sells equipment on site? • What do we consider adult only recreation like axe throwing? • Is alcohol covered under general sales and services or if only cannabis is in the exclusion? • Are there medical services that are not considered in general sales and services, specifically surgery or MRI equipment, or if chemical storage is on site if that would remove it from that category? • Do animals impact these uses for example, animal shelter, veterinary, puppy training classes, doggy daycare or cat café? 	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>

Item	Discussion Notes	Issue Status
	<p><u>Staff Response</u></p> <p>Redmond’s use categories are based on the Land Base Classification System (LBCS) - Function Dimension (pg. 26) that groups land-based classifications for basic organization of similar uses. This standardized system offers flexibility in codified allowed uses - broader categories are used when possible to avoid inadvertent omission of specific uses. Definitions of allowed use categories, often a copy of the LBCS Function, are found in RZC 21.78.</p> <p>Staff also review the North American Industry Classification System (NAICS) codes as part of the business licensing process. By cross-reference NAICS with LBCS, staff confirm allowed uses by zoning zoning district.</p> <p>Redmond also developed a Business Use Look Up Tool to help the community and staff answer use-related questions. A video series was also launched to assist businesses in preparing to locate or relocate their business in Redmond. This series walks through individual steps in detail, including how to assess the permission or limitation of a business and its typical activities.</p> <p>Regarding the uses mentioned above, the following provides the relevant allowed use:</p> <ul style="list-style-type: none"> • Are religious uses qualified in the category of Arts, Entertainment, Recreation and Assembly? <ul style="list-style-type: none"> ○ Faith-based uses are an individual category • Are non-profits considered in the category of Arts, Entertainment, Recreation and Assembly? <ul style="list-style-type: none"> ○ The distinction between for-profit and non-profit was previously removed from the RZC as the underlying business activities dictate the predominant use. Thus, different non-profit organizations would fit into different use categories. • What are cooking classes considered? Does it differ if it is offered by a non-profit or in a retail space? <ul style="list-style-type: none"> ○ Cooking classes, as a stand alone business, would be categorized as technical, trade, and or other specialty school, a subcategory of Educational uses. If the classes were secondary to a primary use such as cooking supply sales, grocery store, or a catering business, that business structure would used to identify the relevant allow use. • What do we consider indoor or outdoor mini golf? Does it differ if they are selling alcohol and/or food? <ul style="list-style-type: none"> ○ The primary use would be assessed. If mini-golf is the primary use, it would align with the arts, entertainment, recreation, and assembly use category. • What do we consider arena soccer? 	

Item	Discussion Notes	Issue Status
	<ul style="list-style-type: none"> ○ With soccer being the primary use, the arts, entertainment, recreation, and assembly category would apply. ● What do we consider a dance school that also sells equipment on site? <ul style="list-style-type: none"> ○ Dance schools are a technical, trade, and specialty school based on the use category including fine arts and performance arts schools. A clarification is also recommended to include performing arts studios. ● What do we consider adult only recreation like axe throwing? <ul style="list-style-type: none"> ○ Axe throwing would be consider arts, entertainment, recreation, and assembly. ● Is alcohol covered under general sales and services or if only cannabis is in the exclusion? <ul style="list-style-type: none"> ○ Alcohol sales, as a bar or drinking place, are categorized under food and beverage. Cannabis is regulated as a separate use for alignment with state regulations. ● Are there medical services that are not considered in general sales and services, specifically surgery or MRI equipment, or if chemical storage is on site if that would remove it from that category? <ul style="list-style-type: none"> ○ Medical services are categorized under education, government, health care, and other institutions. ● Do animals impact these uses for example, animal shelter, veterinary, puppy training classes, doggy daycare or cat café? <ul style="list-style-type: none"> ○ The RZC includes several uses involving animals: <ul style="list-style-type: none"> ▪ Animal Kennel/Shelter use including indoor and outdoor facilities where animals may be housed for more than 24 hours. ▪ Pet and Animal Sales and Services (except Veterinary) such as retail sales, sales of pet supplies, grooming, boarding, caretaking, and training. ▪ Business and services which includes veterinary as a professional service. ▪ A cat café would be assessed as a café, as the primary use. 	
9.	<p>Diagrams and Graphics</p> <p>Aparna</p> <p>Commission Discussion</p> <p>Can we develop more diagrams on how lots can be split? Can we have a visual guide?</p> <p>Staff Response</p> <p>Two good resources exist that explain different methods for subdividing property.</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>

Item	Discussion Notes	Issue Status
	<ol style="list-style-type: none"> 1. The Municipal Research and Services Center (MRSC) provides a helpful overview of subdivision methods. 2. The Washington State Department of Commerce publishes A Short Course On Local Planning Resource Guide (see section 5.B beginning on page 120). <p>Staff will take the recommendation to develop diagrams under advisement. They may be appropriate as part of a tip sheet or user guide that accompanies the zoning code.</p>	
10.	<p>Fences</p> <p>Public Comment</p> <p>Fences, concerns about legal non-conforming fences along water shoreline and along Sammamish River Trail</p> <p>Fence is 50+ years old, is there clear direction on legacy fences, and how we can deal with that, and repair fences, doesn't increase legal-nonconforming especially along Sammamish River Trail</p> <p><u>Staff Response</u></p> <p>Please see Issue #1.</p>	<p>Opened 2/11/2026</p> <p>Closed 2/25/2026</p>

Appendix B – Public Hearing Notice

NOTICE OF PUBLIC HEARING CITY OF REDMOND

Redmond Zoning Code Amendment: 2025 Legislative Conformance, Business Improvement, and Fences (LAND-2026-00016, SEPA-2026-00015)

The City of Redmond Planning Commission will hold a Public Hearing at Redmond City Hall Council Chambers, 15670 NE 85th Street, Redmond, Washington on **February 25, 2026 at 7 p.m.** or as soon thereafter, on:

SUBJECT: The code package has three categories: legislative conformance, business improvement, and fences. In 2025 the state legislature enacted several new laws affecting local development regulations. This amendment package will result in updates to the Redmond Zoning Code to address new state laws. It will also address several clean-ups related to Redmond 2050. Legislative conformance package updates the following code chapters: RZC 21.04, 21.08, 21.10, 21.12, 21.13, 21.20, 21.40, 21.48.010, 21.55, 21.74, 21.76, 21.78.

Annually, staff prepares a package of code amendments proposed to improve business use of these regulations. These updates include amendments to the following chapters: RZC 21.04, 21.36, and 21.76.

The fence updates are intended to synchronize and add clarity to fence requirements, and to evaluate the purpose and intent of regulating fence and retaining wall location, dimensions, permit requirements, and design. The following code chapters are proposed to be amended: RZC 21.24 and 21.25 (new chapter).

REQUESTED ACTION: Planning Commission recommendation on the proposed amendment to the Redmond Zoning Code

PUBLIC PARTICIPATION: Join in-person at City Hall, watch live at redmond.gov/RCTV, Comcast channel 21, Ziplly channel 34, on [facebook.com/CityofRedmond](https://www.facebook.com/CityofRedmond), or listen live by phone by calling 510-335-7371.

Public comment can be provided in-person or by phone during the meeting by providing a name and phone number to PlanningCommission@redmond.gov no later than 5 p.m. on the day of the hearing.

Written public comments should be submitted prior to the hearing by email to PlanningCommission@redmond.gov no later than 5 p.m. on the hearing date. Comments may also be sent by mail to: Planning Commission, MS: 4SPL, P.O. Box 97010, Redmond, Washington, 98073-9710.

A copy of the proposal is available at redmond.gov/1480. If you have any comments, questions, or would like to be a Party-of-Record on this proposal, please contact Lauren Alpert, Senior Planner, 425-556-2460, lalpert@redmond.gov.

If you are hearing or visually impaired, please notify Planning Department staff at 425-556-2441 one week in advance of the hearing to arrange for assistance.

LEGAL NOTICE: February 4, 2026



MEETING MINUTES

REDMOND PLANNING COMMISSION MEETING

Wednesday, February 25, 2026 – 7:00 p.m.

1. Call to Order & Roll Call – 7:00 p.m.

- Commissioners Present: Chair Susan Weston, Vice-Chair Jeannine Woodyear, Commissioners Tara Van Niman (virtual), and Aparna Varadharajan (virtual)
- Commissioners Absent: Commissioners Adam Coleman and Denice Gagner (Excused)
- Staff Present: Jeff Churchill, Glenn Coil, Kim Dietz, and Chris Wyatt
- Recording Secretary: Carolyn Garza, LLC

2. Approval of the Agenda

- *Motion to approve the Agenda by Vice-Chair Woodyear, seconded by Commissioner Copley. The Motion passed.*

3. Approval of Meeting Minutes & Summaries

- *Motion by Commissioner Copley to approve the February 11, 2026 Meeting Summary. Motion seconded by Vice-Chair Woodyear. The Motion passed unanimously.*

4. Items from the Audience (General)

- **David Morton**, Redmond 98053, asked that there be a recommendation for PFAS soil and groundwater testing at the DTG recycle site, formerly All Wood

Redmond Planning Commission Meeting Minutes
February 25, 2026

Recycling, before any ground disturbance occurs as part of the Evans Creek Relocation Project and explained reasons.

- **Andrew Brown**, Redmond 98052, stated having sent a Power Point presentation to the Commission regarding tree-felling and light pollution, explained some of the content, and asked that a thorough review of actions occur to protect environmentally sensitive areas along the river.

5. 2026 Code Amendment Series: Business Improvement, Fences, and Legislative Conformance - Public Hearing and Study Session

Planning Manager Churchill presented the topic.

Public Hearing

- **Andrew Brown**, Redmond 98052, stated that a part of the previously mentioned Power Point presentation sent to the Commission is regarding non-conforming fences and explained some of the content and possible solutions.
- **David Morton**, Redmond 98053, asked, regarding Business Improvement amendments, how *Business Open* signage required during sidewalk closures by a contractor can be enforced and for details regarding proposed updates to home-based business allowances; that regarding Fences, stated clarity is still needed; and regarding Legislative Conformance, that removing arbitrary location barriers is positive and that parking changes in real neighborhoods should be examined as minimum requirements are reduced. Public facing materials should remain accessible and easy to understand for residents.

Chair Weston closed the verbal portion of the Public Hearing.

Study Session

Planning Manager Churchill presented the Issues Matrix.

Regarding Issue one, Non-Conforming Fences, Chair Weston asked for more clarification regarding special rules for fences in shoreline areas. The Issue remained open.

Regarding Issue two, Fence Materials, Chair Weston supported the new language and closed the issue.

Regarding Issue three, Commissioner Aparna stated the issue could be closed.

Regarding Issue four, Community Feedback, Chair Weston stated that the issue should remain open for Commissioner Gagner, but that a closure via email might occur before the next meeting.

Regarding Issue five, Daycares, Principal Planner Dietz explained Senate Bill 5509, Chair Weston related historical information in Redmond and stated that the issue could be closed on the behalf of Commissioner Coleman.

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Regarding Issue six, Co-Living, Commissioner Copley stated that the issue could be closed.

Regarding Issue seven, Alternative Parking Minimums, Chair Weston stated that the issue could be closed and that the clarification was appreciated.

Regarding Issue eight, Allowed Uses, Chair Weston stated that the issue could be closed.

Regarding Issue nine, Sub-dividing Property, Commissioner Aparna stated that the issue could be closed. Chair Weston stated that tip sheets or user guides are very useful. Planning Manager Churchill replied that out-of-date guides are to be updated.

Regarding Issue ten, a Public Comment regarding Fences from the last meeting, Chair Weston stated that the issue could be closed.

Commissioner Van Niman asked Chair Weston, regarding Issue ten, if there is a gap in obtaining answers for both staff and the Public Commenter. Chair Weston replied that when zoning code is not quickly clear, something needs to be addressed. Commissioner Van Niman asked for further clarification and Chair Weston stated that Issue one remains open for more clarity.

Planning Manager Churchill asked for clarification that Issue two should be closed, and Chair Weston replied that with the new text the issue is appropriate to close.

Planning Manager Churchill stated that the Amendments will be revisited on March 11, 2026.

6. Staff & Commissioner Updates

Senior Planner Coil stated that the next Planning Commission meeting is on March 11, 2026.

Commissioner Copley stated having spoken with a resident regarding Housing and that broadcasting opportunities to build more types of housing is positive.

Chair Weston stated that the Cascade Water Alliances Water System Plan was approved. The Mayor and the Cascade Water Alliance Board Representative have been reached out to know when Council will receive a briefing, and the Planning Commission are welcome to individually attend the public meeting.

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Chair Weston stated that regarding an email comment received about Housing Displacement, there is a Housing Action Plan and Human Services Strategic Plan on the Redmond website that will benefit from community feedback. If someone is concerned regarding individual displacement, staff has suggested working with ARCH, King County, 211, and the King County Housing Authority for specialized expertise.

7. Adjourn

- *Motion to adjourn at 7:44 p.m. by Commissioner Copley. Motion seconded by Vice-Chair Woodyear. The Motion passed.*

Minutes approved on:

March 11, 2026

Planning Commission Chair

Signed by:

Susan Weston

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From: Andrew Brown <andyb12@mac.com>

Sent: Tuesday, February 24, 2026 4:52 PM

To: Planning Commission <planningcommission@redmond.gov>

Subject: Follow up to public comments at February 11th Commission meeting

External Email Warning! Use caution before clicking links or opening attachments.

Thanks for all the time and effort commissioners and staff put into ensuring our community is well managed.

At the planning meeting on 2/11/2026 that provided an update on fence codes to better align with Redmond 2050, my neighbor Andrew Kennelly and I made comments about the situation our neighborhood is currently facing as we try to repair a decades old fence that defines the western edge of our association property. The issue being our western border is adjacent to the Sammamish River Trail. The city has asked that we provide evidence of when the fence was installed and its permit prior to giving direction as to what repairs we can do to the fence. This fence was in place long before these properties were developed when this land was used for blueberries or other farming. It is not reasonable to put the onus on an HOA, formed probably decades after the fence was first installed, to find original documentation if it even exists. And what would the purpose of this be? The fence is legally non-conforming. We already know that. We wish to improve the fence and the environment around it by replacing the bent posts, rusted mesh and barbed wire with either new metal posts or a cedar post fence. The fence footprint and other design elements would be similar to our existing fence. These actions would in-fact reduce the non-conformance of our existing fence and most certainly enhance the aesthetics of the fence to all those who use the trail as well as the residents. We'd like some help in trying to find a common sense path forward to getting the required city approval to repair the fence. There are miles of non-conforming fences along the trail, some of which have clearly been improved. So there is a precedent for allowing us to implement these improvements to our fence. We also ask that such fences be given due consideration in any fence code updates being considered as part of Redmond 2050.

The second issue that I brought up at the meeting was the increase in noise and light pollution from lite industrial park buildings along the eastern bank of the river that are

located next to sensitive environmental zones. Landmark trees were recently cut down illegally (without permits) and this has caused a further increase in noise and light pollution. As Redmond City pursues the 2050 Comprehensive plan attention must be given to these increasing sources of pollution that impact the natural environment for our wildlife as well as being disturbing to residents in nearby neighborhoods. I attach some pictures to highlight my issue.

A before and after image showing the cutting down of one of multiple landmark trees that were felled on this day. This was done without permits. The city compliance officers arrived too late to prevent the trees from being felled. The company was issued a warning, retroactively given permits, and had to plant a few saplings. This makes no sense and does not address the environmental damage caused by this illegal tree felling. I also attach an image of how that tree looks today surrounded by garbage. This is adjacent to the environmentally sensitive zone along the river.

As to the light pollution it can clearly be seen in the other images. These were taken from the eastern side of the river facing west. The light from the buildings is so bright it causes shadows on the opposite side of the river. The full extent of the light pollution can be seen in the last picture. On the right hand side of the image is an orange glow that is from residential lights on the east side of the river and barely illuminates the trees in the homes backyard. The bright white light from the buildings on the west side of the river on the other hand indiscriminately illuminates the buildings, trees, trail, and the natural habitat on both sides of the river.

We need to stop illegal felling of trees and destruction of the natural habitat along our sensitive environmental areas such as the banks of the river. Stricter regulations and enforcement are clearly required. In addition, and as a direct consequence of tree felling, we need stringent codes to govern light pollution from buildings that indiscriminately illuminate large tracts of land including these environmentally sensitive areas, and even reaching the trail on the opposite side of the river.

Sincerely,
Andrew Brown, Redmond City Resident.









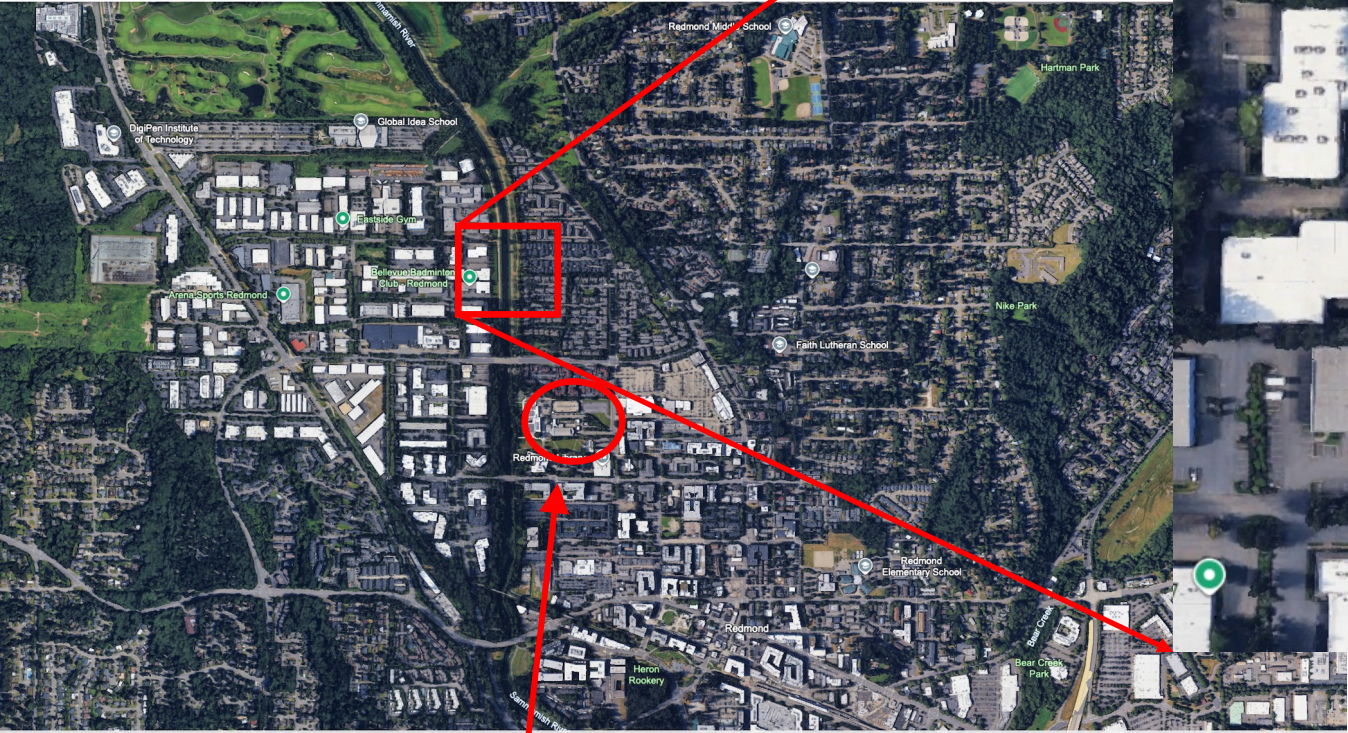




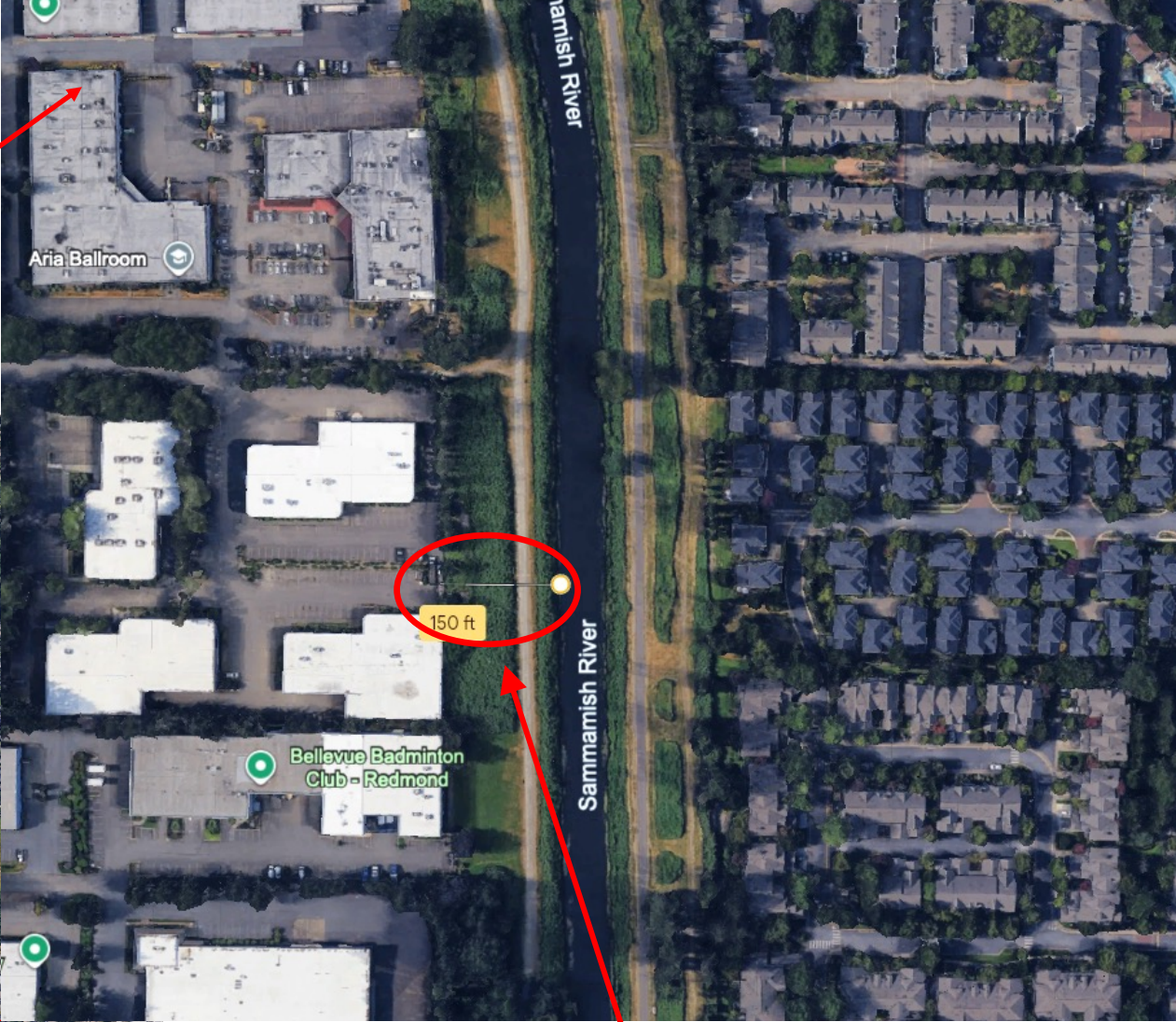
City of Redmond Planning
Commission Meeting
2/25/2026

Illegal Tree Felling
Noise and Light Pollution
Fence Permitting

Location: Downtown Redmond



Redmond Community Center



SMA governs land within 200 feet of shoreline
- specifically includes Tree Protection

In Washington State, the [Shoreline Management Act](#) (SMA) generally governs land within **200 feet** of the Ordinary High Water Mark (OHWM) of designated shorelines, including marine waters, streams....

There are three basic SMA policy areas: shoreline use, environmental protection, and public access.

- Shoreline Use – to control pollution and prevent damage to the natural environment.
- Environmental Protection - to protect shoreline natural resources including the land, vegetation, wildlife, and aquatic habitats against adverse environmental effects. All allowed uses are required to offset these impacts as much as possible and preserve the natural character and aesthetics of the shoreline.
- Public Access - SMPs include a public access element, including provisions for public access to publicly owned areas. The SMA also implements the common law Public Trust Doctrine. This doctrine conveys that the waters of the state are a public resource for the purposes of navigation, conducting commerce, fishing, recreation, and similar uses. The Public Trust Doctrine is not invalidated by private ownership of the underlying land.

21.68.110 Tree Protection, Landscaping, and Screening Within Shorelines.

A. **Tree Protection.** In addition to RZC [21.32](#), *Landscaping*, and RZC [21.72](#), *Tree Preservation*, all [development](#) within the [Shoreline](#) Jurisdiction [shall](#) comply with the additional [tree](#) protection, landscaping, and screening requirements of this section. **Where there is a conflict between regulations, the more restrictive regulation shall apply.**

1. *Tree Protection Requirements.* To maintain the [ecological functions](#) that [trees](#) provide to the [shoreline](#) environment, including air quality, wildlife habitat, temperature and [glare](#) attenuation, and [aquifer](#) recharge, [significant trees shall](#) be retained as follows:

- a. Consistent with 21.72.060, *Tree Protection Standards*, a minimum of 35 percent of the existing [significant trees shall](#) be preserved on-site. (b) Within the waterfront [building setback](#), [significant trees shall](#) be retained, except where the [tree](#) is dead, diseased, dying, or hazardous. (c) Within the [shoreline buffer](#), [trees shall](#) be removed only where allowed under RZC [21.64.010.Q](#), *Buffer Areas*, and [21.64.020.B](#), *Stream Buffers*. (d) Within the [Shoreline](#) Jurisdiction, [significant trees shall](#) not be removed or topped for the purpose of creating views. Nondestructive thinning of lateral branches to enhance views is allowed.

Non-permitted felling of landmark trees within 200 feet of shoreline on 9/4/2025 – a once beautiful tree now an abandoned stump and a garbage pile



Is this what our laws protecting the environment are supposed to achieve?

Google Earth 2024 image shows impact of foliage destruction - as do images of resulting light pollution



Noise pollution also increases as no barrier to dampen the sound from the industrial park

Picture taken on 9/5/2025 from east side of river

Habitat destruction, and light/noise pollution are directly related



Excessive limb removal (this is not thinning!)



Uncontrolled light cast shadows 400 feet away on the opposite side of the trail

The excessive and misguided use of artificial light at night, acts as a severe environmental threat by disrupting ecosystems, altering animal, flora and fauna behaviors, and wasting energy.



Picture taken on 2/11/2026 at 8.30pm on the trail following the last Commission meeting



Uncontrolled light from business park illuminates both sides of river



Light from residences 447

All this is allowed with no permit, but not a simple fence repair/replacement?

Which is more environmentally friendly and aesthetically appropriate for Redmond?

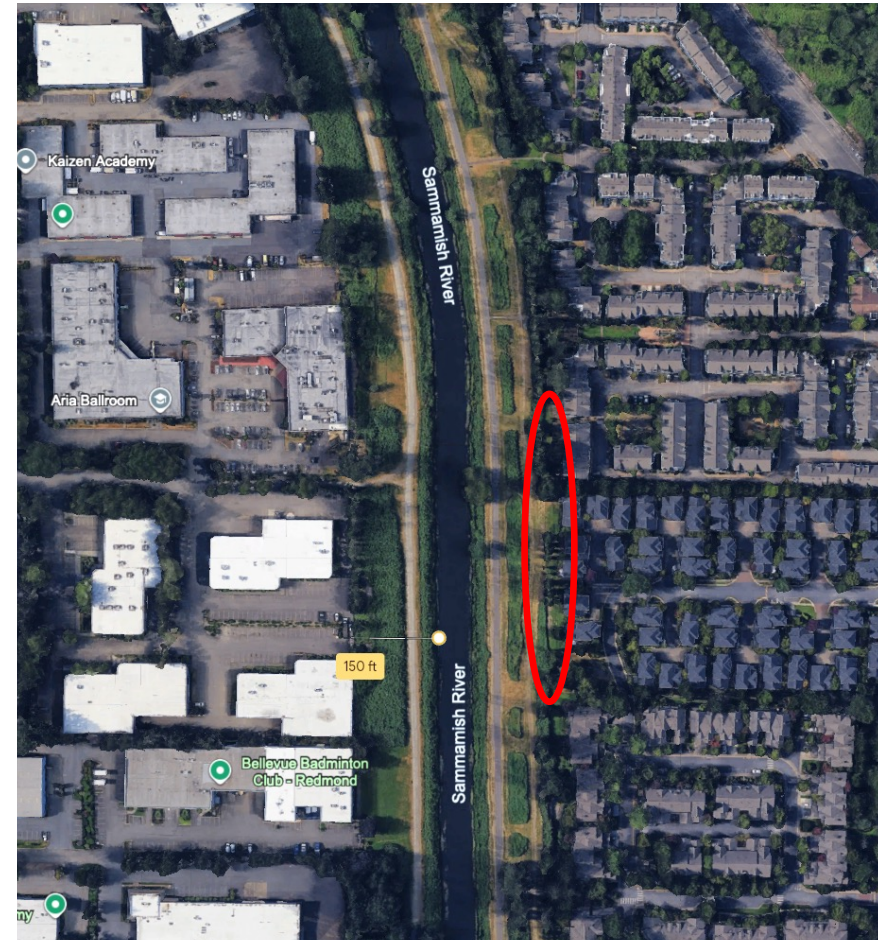
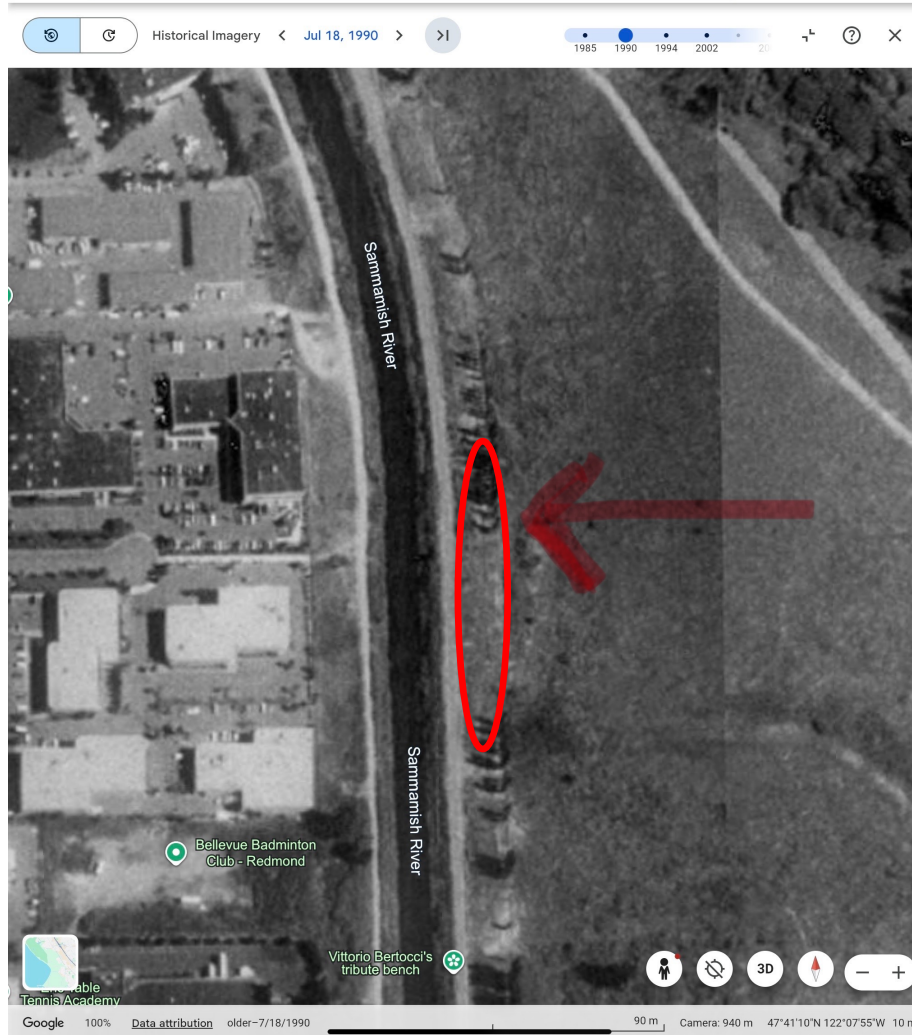


Metal posts and barbed wire



or cedar frame?

Google Earth view: 1990 versus today – existing legacy fence has been in place for ~40+ years



Windwood Village

Poplar trees and legacy fence can be clearly seen extending up and down the trail

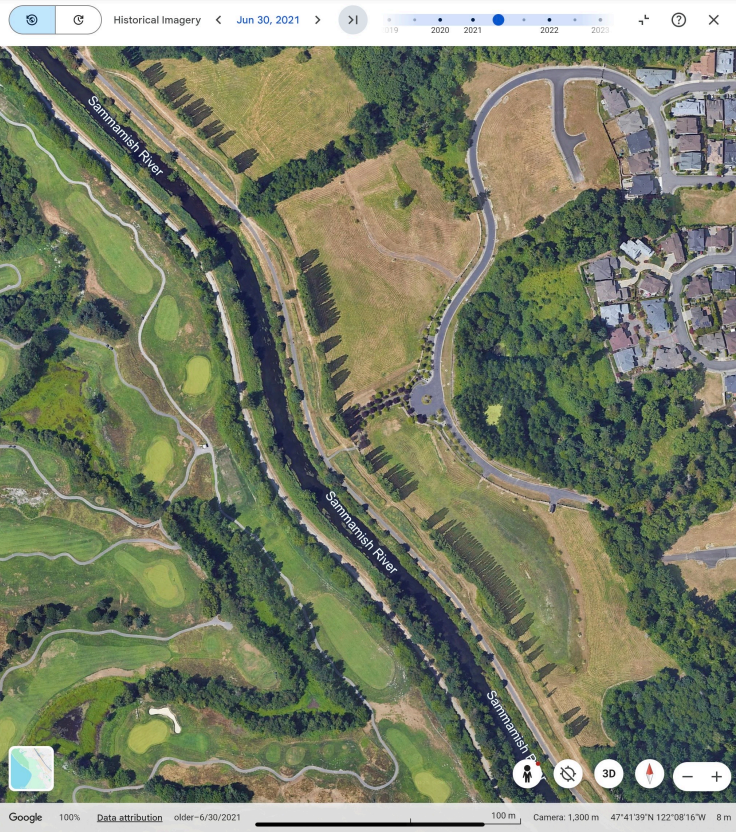
Google Earth shows legacy fence existed at Mondavio Verona prior to 1990 - replaced 2012



1990: Legacy fence and trees visible along the trail



2012: New fence built extending up and down the trail replacing legacy fence



2021: Trail, trees, and new fence clearly visible

City has asked us to find a >40-year-old fence permit
- these structures have already replaced sections of
the same legacy fence on the trail



Commission Request

- A thorough review of actions to protect the environmentally sensitive areas along the river is urgently required
- Consequences for those who cut down protected vegetation, especially landmark trees.
 - The habitat for animals along the river has been destroyed by these actions and will take decades to regrow.
 - Issuing a warning and retroactive permits makes absolutely no sense for breaking the law. The trees are gone with irreparable environmental damage.
- In addition to destroying natural habitat, tree and foliage removal causes increased noise and light pollution
- Uncontrolled artificial light pollution, especially in environmentally sensitive areas, needs to be addressed
- Common sense needs to apply to the replacement of ageing fences
 - Precedence exists from other fence repairs
 - We have been made aware of a “No permit required” approval for fence repair. Is this available and how would I secure this?

Written testimony from David Morton

I'd like to speak on the proposed [2026 Code Amendment Series](#). I want to raise a few questions and make observations across the three amendment categories that I hope the Commission will consider as this process moves forward.

On the **business improvement** amendments, I appreciate the City's ongoing effort to reduce friction for local businesses. The proposed requirement to post "[Businesses Open](#)" signage [during sidewalk closures](#) seems like a practical, low-cost measure that protects small businesses during construction disruptions. I'd like to understand, however, how the City intends to enforce this requirement and what remedies are available if a contractor fails to comply. I'd also welcome more detail on the proposed [updates to home-based business allowances](#).

On **fences**, I think the Commission is right to seek clarity here. Several questions came up during the February 11 study session regarding [legal nonconforming fences](#), and I share those concerns. Many residents have older fences that predate current code requirements, and it would be helpful to have plain-language guidance — perhaps a simple FAQ or summary sheet — about what homeowners can and cannot do when repairing or replacing a fence that doesn't meet current standards. I'd also encourage the Commission to carefully examine the proposed restrictions on [barbed and razor wire](#) near [parks and open spaces](#), given how many trails and natural areas exist in Redmond where neighbors and families regularly walk.

On **legislative conformance**, I'm glad to see the City aligning with state law by [removing the 300-foot spacing restriction on childcare centers](#). Access to childcare is a significant challenge in our region, and removing arbitrary locational barriers is a step in the right direction. And I hope the Commission will closely monitor how parking changes interact with real-world conditions in neighborhoods, particularly as minimum requirements are reduced.

My overall ask is simply this: as these amendments move toward a City Council recommendation, I hope staff will continue making the public-facing materials accessible and easy to understand for everyday residents. Thank you for your service and your thoughtful attention to these proposals.



TECHNICAL COMMITTEE REPORT AND RECOMMENDATION TO THE PLANNING COMMISSION

February 4, 2026

Project File Number:	LAND-2026-00015; SEPA-2026-00016	
Proposal Name:	2025 Legislative Conformance, Business Improvement, and Fences Zoning Code Amendments	
Applicant:	City of Redmond	
Staff Contacts:	Lauren Alpert, Senior Planner	425-556-2460
	Kim Dietz, Principal Planner	425-556-2492
	Jeff Churchill, Long Range Planning Manager	425-556-2415

TECHNICAL COMMITTEE COMPLIANCE REVIEW AND RECOMMENDATION

Technical Committee shall make a recommendation to the Planning Commission for all Type VI reviews (RZC 21.76.060.E). The Technical Committee’s recommendation shall be based on the decision criteria set forth in the Redmond Zoning Code. Review Criteria:

- A. *RZC 21.76.070.AE Zoning Code Amendment -Text*

REDMOND ZONING CODE TEXT AMENDMENT SUMMARY

These zoning code text amendments are organized in three different categories: 2025 legislative conformance, business code improvements, and fences.

2025 Legislative Conformance

In 2025 the state legislature enacted several new laws affecting local development regulations. This amendment package will result in updates to the Redmond Zoning Code to address new state laws. It will also address several clean-ups related to Redmond 2050. Topics include subdivision regulations, zoning for child care centers, parking, permitting timelines, building conversions, and miscellaneous corrections.

Business Code Improvements

The City's Economic Development team monitors business interaction with our development regulations. Annually, staff prepares a package of code amendments proposed to improve business use of these regulations. The 2025-2026 package includes:

- Ensuring commercial floor area is provided in mixed-use developments by removing opportunity for deviation from adopted code requirements;

2025 Legislative Conformance, Business Improvement, and Fences Zoning Code Amendments

- Requiring placement of "Businesses Open" where pedestrian access to businesses are impacted by sidewalk closures;
- Simplifying and clarifying opportunities for Food Truck and Pop-Up Retail Courts and for Publicly Accessible Enhanced Amenity Spaces (PEAS); and
- Improving definitions of allowed business uses.

Fences and Retaining Walls

The fence updates are intended to synchronize and add clarity to fence requirements, and to evaluate the purpose and intent of regulating fence and retaining wall location, dimensions, permit requirements, and design.

The proposed zoning code amendments are included in Attachment B.

RZC 21.76.070.AE - TEXT AMENDMENT CRITERIA	MEETS/ DOES NOT MEET
All amendments to the RZC processed under this section shall be in conformance with the Comprehensive Plan.	MEETS

STATE ENVIRONMENTAL POLICY ACT (SEPA)

The lead agency for this proposal has determined that the requirements of environmental analysis, protection, and mitigation measures have been adequately addressed through the City’s regulations and Comprehensive Plan together with applicable state and federal laws. Additionally, the lead agency has determined that the proposal does not have a probable significant adverse impact on the environment as described under SEPA. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2). This decision was made after review of a completed environmental checklist and other information on file with the lead agency.

- ❖ In accordance with WAC 197-11-340(2) an opportunity for comment period from February 5 - February 19 and appeal period was provided from February 20 to March 3

STAFF RECOMMENDATION

Based on the compliance review of the decision criteria set forth in

- A. *RZC 21.76.070.AE Zoning Code Amendment -Text*

Staff recommends approval of the proposed amendments. Staff compliance review and analysis is provided in Attachment A.

TECHNICAL COMMITTEE RECOMMENDATION

The Technical Committee has reviewed the proposed amendments identified in Attachment B and finds the amendments to be **consistent** with review criteria identified below:

- A. RZC 21.76.070.AE Zoning Code Amendment -Text
-

REVIEWED AND APPROVED BY



Carol Helland,
Planning and Community Development
Director



Aaron Bert,
Public Works Director

Attachments

- A. Staff Compliance Review and Analysis
- B. Proposed Redmond Zoning Code Amendments
- C. SEPA Threshold Determination



ATTACHMENT A: STAFF COMPLIANCE REVIEW AND ANALYSIS
2025 Legislative Conformance, Business Improvement, and Fences Zoning
Code Amendments
LAND-2026-00016; SEPA-2026-00015

Redmond Zoning Code Text Amendment Criteria (RZC 21.76.070.AE)

CRITERION	ANALYSIS
<p>All amendments to the RZC processed under this section shall be in conformance with the Comprehensive Plan.</p>	<p>The proposed amendments are consistent with the Redmond Comprehensive Plan as described below.</p> <p><u>Business Improvement</u></p> <p>FW-EV-1: Support policies, regulations, services, programs, and infrastructure investments that strengthen an economically diverse, sustainable, and resilient economy.</p> <p>These reforms will strengthen the economy by supporting more commercial uses on the ground floor, make it easier for customers to find open business and when there is construction, and clarify the review process of food truck and pop-up retail courts.</p> <p>EV-2 Provide for a mix of land uses in a range of zones that enables Redmond to meet its job growth targets and attract and retain businesses that meet the needs of the community</p> <p>The proposed amendments for ground-floor commercial use aid in meeting job growth targets.</p> <p>EV-26 Develop and maintain land use, zoning, and design regulations that attract and support a diversified mix of businesses from multinational corporations to small, locally owned and innovative neighborhood shops.</p> <p>Clarifying the review process for food truck and pop-up retail courts supports a diverse mix of businesses.</p> <p><u>Fences</u></p> <p>CD-2 Review policies, design standards and requirements, building codes, standard details, and other policies and regulations that impact the built environment to ensure they consider the needs of all community members regardless of their age, gender, language, or ability.</p> <p>To enhance equity and inclusion in the built environment:</p> <ul style="list-style-type: none"> ○ Remove elements that may be exclusionary; ○ Enhance or consider new provisions that improve accessibility; and ○ Prioritize designs that improve the safety and inclusion of community members.

The updates to the fence code add clarity on fence and retaining wall regulations with updated guidelines on fence height, graphics, and removing additional neighborhood regulations.

2025 Legislative Conformance

FW-AR-1: Develop and support regional policies, strategies, and investments that reflect the vision and policies of the Redmond Comprehensive Plan. Achieve local goals and values by promoting the implementation of the Growth Management Act, VISION 2050, and the King County Countywide Planning Policies.

The Redmond Zoning code needs to promote the implementation of the Growth Management Act and state laws. The legislative conformance package ensures that Redmond's is following statewide regulations on a variety of topics including parking, lot splitting and subdivisions, and child care zoning.

EV-32 Support the availability of affordable and accessible supportive services, such as high-quality childcare and long-term care, to ensure that all community members can participate and thrive in the workforce.

The proposed amendments expand the zones in which daycare centers would be permitted uses.

All Packages

PI-17 Prepare and maintain development regulations that implement Redmond's Comprehensive Plan and include all significant development requirements. Ensure that the regulations are clearly written and can be efficiently and effectively carried out. Avoid duplicative or inconsistent requirements. Ensure that the development regulations can be accessed, understood, and used to the greatest extent possible by all people.

PI-18 Ensure that Redmond's development review process provides applicants and the community a high degree of certainty and clarity that results in timely and predictable decision making on development applications.

One objective of these code amendments is to improve clarity of those sections that are amended so that staff, applicants, and community members enjoy a high degree of certainty about timelines and results.

2025 – 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Business-Oriented Pedestrian Wayfinding Signage During Construction

Subject Matter Experts	<p>Yuri Bergeron, Right-of-Way Program Administrator</p> <p>Becky Frey, Principal Planner</p>
Author	<p>Kimberly Dietz, Principal Planner</p>
Policy Basis for Amendment	<p>Comprehensive Plan</p> <p>EV-4 Focus local investments to maintain and expand infrastructure and services that support local and regional economic development strategies, encourage growth in designated centers, and help achieve employment and housing targets.</p> <p>EV-21 Invest in a well-connected, safe, accessible, and efficient multi-modal transportation network that is responsive to innovations and changing demands.</p> <p>TR-11 Use signage and other wayfinding techniques that meet regulatory requirements while reaching those with limited English proficiency or limited sight, especially near transit stations and stops.</p> <p>TR-16 Prioritize the comfort, safety, and convenience of people using pedestrian and bicycle facilities over other users of the transportation system. Establish standards for bicycle and pedestrian facilities to attract users of all ages and abilities. Prioritize improvements that address safety concerns, connect to centers or transit, create safe routes to school, and improve independent mobility for those who rely disproportionately on the pedestrian and bicycle network.</p> <p>Economic Development Strategic Plan</p> <p>Action 6B.3. Support the development of district design guidelines, including signage, wayfinding, banners, lighting, and other urban design elements to reinforce visual district identity.</p>
Relevant Code Portions	<p>RZC Appendix 2.A.7.f Streets - Intersection Design: Temporary Pedestrian Access During Construction</p> <p>Additional Relevant Codes:</p> <p>RZC 21.52.030.F Street and Access Standards - Traffic Control, Safety Devices, and Street Lights</p> <p>RZC 21.52.050 Pedestrian, Bicycle, and Other Nonmotorized Connections.</p>

Proposed Amendment Overview

Provide wayfinding signage for pedestrians to access businesses when regular access is restricted by construction or other temporary sidewalk closures.

Rationale

Businesses can be impacted negatively when regular pedestrian access is restricted for lengthy periods of time. To support business vitality, signage indicating clear pedestrian access routes would be provided at accessible locations, as indicated for City review in Traffic Control Plans.

Key Decision Points (as applicable)

Staff reviewed to confirm the proposed sign template.

Stakeholder Feedback to Date

- One commenter requested that the amendments should also address parking access, regulations and infrastructure required.
 - Staff response: this amendment, addressing temporary signage, is intended to ensure pedestrian-level wayfinding when sidewalk closures create impacts to pedestrians accessing businesses. Parking access and infrastructure are not within the scope of this amendment.

PROPOSED AMENDMENT:

RZC Appendix 2.A..7.f, Intersection Design - Temporary Pedestrian **Access** During **Construction**.

f. Temporary Pedestrian **Access** During **Construction**.

i. A temporary pedestrian **access** plan is required as part of the civil **construction** plan set. This plan needs to show how pedestrian traffic passing by the proposed **development** will be accommodated during the entire length of the **construction** phase. The plan is required to work in conjunction with pedestrian and **vehicle** detours already in place for other public and private projects, and **may** need to be adjusted to respond to changing conditions as the **development** is **constructed**.

ii. For **construction** of new **structures** adjacent to existing sidewalks with pedestrian traffic, a covered walkway will be required to protect pedestrians from falling debris. Covered walkways **should** be designed to provide sturdiness, adequate light for nighttime use and safety, and proper sight distance at **intersections** and crosswalks.

iii. Short term closures of sidewalks or pathways for **utility construction** work **may** be allowed upon review and approval of the pedestrian **access** plan by the Public Works Department as per RZC **21.52.030.F.3**. The pedestrian **access** plan **should** show the duration of the short term

closure and provide temporary routes with barricades and cones that parallel existing facilities. These routes **must** be **accessible** for persons with disabilities, including the provision of ramps, minimum widths, and smooth surfaces for wheelchair **access**. When a parallel route is not available, pedestrians **must** be detoured with advance **signing** in accordance with the Manual on Uniform Traffic Control Devices. See MUTCD 2009 (or latest revision) sections 6D.01, 6D.02, 6D.05 for guidance.

iv. When pedestrian access to businesses is impacted by short-term or long-term closures of sidewalks or pathways, informational wayfinding signs must be indicated on the pedestrian access plan and installed at the approved locations to provide all of the following details:

A. Sign title: Businesses Are Open During Construction.

B. Sign subtitle: We appreciate your continued support.

C. Section text: Routes to Access Businesses:

D. Aerial or map indicating all of the following:

1. North arrow

2. Symbol legend

3. Sidewalks open with directional routing

4. Sidewalks closed for construction

5. The construction area

6. Business areas

E. Sign text: While visiting businesses in Redmond, you may occasionally be impacted by construction projects. Stay up to date on projects as they are planned and under construction by visiting the City of Redmond's Project Viewer webpage at gis.redmond.gov/CPV.

F. Construction contact information including name, phone number, email address, and webpage.

G. Construction company logo and City of Redmond logo.

H. Accessible information.

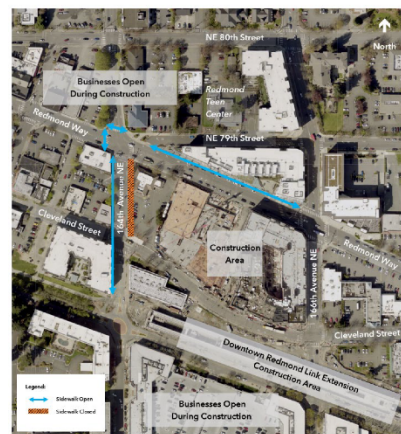
- 1. Braille plaque for visually impaired; and
- 2. Web url to information for translation.

I. Example sign:



Routes to Access Businesses:

Braille plaque of sign information



While visiting businesses in Redmond, you may occasionally be impacted by construction projects. Stay up to date on projects as they are planned and under construction by visiting the City of Redmond’s Project Viewer webpage at gis.redmond.gov/CPV.

Planning and Community Development
– Economic Development
redmond.gov/SmallBusiness

Web URL to translation of sign information



2025 – 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Definitions

Subject Matter Experts	Beckye Frey, Principal Planner David Lee, Principal Planner Jenny Nelson, Supervisor, Development Services
Author	Kimberly Dietz, Principal Planner
Policy Basis for Amendment	<p>FW-LU-2 Ensure that the land use pattern in Redmond meets the following objectives:</p> <ul style="list-style-type: none"> • Reflects the community values of sustainability, resilience, and equity and inclusion; • Advances sustainable land development and best management practices and a high-quality natural environment; • Reduces and protects against disproportionate negative impacts from land development and exposure to environmental injustice. • Promotes development sufficiently away from environmentally critical areas; • Encourages a mix of uses that create complete neighborhoods; • Maintains and enhances an extensive system of parks, trails, and open space; • Supports and encourages flexible places for a resilient and adaptive economy that includes a mix of research, retail, health, technology, and manufacturing uses; • Ensure the siting and delivery of public infrastructure and community services to support preferred land use pattern; and • Promotes sufficient density for development pattern and urban design that enable people to readily use a variety of accessible and active forms of travel including but not limited to walking, rolling, bicycling, transit. <p>LU-2 Ensure that development regulations, including the allowed density, uses, and site requirements, support Redmond’s preferred land use pattern.</p> <p>LU-5 Provide an appropriate level of flexibility through development regulations to promote efficient use of buildable land. Balance this flexibility with other community goals and the need for equity.</p> <p>LU-7 Provide opportunities for shops, services, recreation, and access to healthy food sources within walking or bicycling distance of homes, workplaces, and other gathering places.</p>
Relevant Code Portions	RZC 21.78 Definitions RZC Article I. Zone-Based Regulations

Proposed Amendment Overview

Amendments to land use definitions are necessary to clarify the classification of businesses. Amendments include clarifications specific to:

- Dance studios and craft and fine art lessons in the Arts, Entertainment, Recreation, and Assembly class versus fine arts and performance art schools and conservatories in the Technical, Trade, and Specialty Schools class.
- Spas, massage, and similar personal services within the General Sales or Services land use class.

Rationale

Clarity of land use classifications ensures that businesses can align their activities operations with the City's development regulations including allowed uses by zoning district. The business owner's experience with the Redmond Zoning Code can be enhanced and streamlined by creating this type of clarity.

Key Decision Points (as applicable)

Internal review of the refined definitions has confirmed the accuracy and policy consistency for each of the amendments proposed below.

Stakeholder Feedback to Date

- One commenter requested the amendments to include any additional infrastructure and parking access in addressed.
 - Staff response: In the case of proposed definitions, staff is not recommending amendments that impact infrastructure and parking access.

PROPOSED AMENDMENT:

Arts, Entertainment, Recreation and Assembly. An establishment that provides facilities or services for cultural, recreational, and entertainment uses, including, but not limited to, craft and fine art lessons, performing arts establishments and studios, theaters, museums, arcades, escape rooms, and marinas, but specifically excluding adult entertainment facilities. Kiosks are included as accessory to arts, entertainment, recreation, and assembly.

Technical, Trade, and Specialty Schools. Schools that offer vocational and technical training in a variety of technical subjects and trades and that may lead to job-specific certification. This definition includes beauty schools, business management schools, computer training schools, driving education schools, fine arts and performance arts schools and conservatories, flight training schools, and sports and recreation schools.

General Sales or Services. An establishment engaging in the retail sale, rental, or lease of goods or the provision of services, including but not limited to automobile sales or service; heavy consumer goods sale or service; durable consumer goods or service; the sale or service of other consumer goods, grocery, food and beverage sales; health and personal care services; finance and insurance services; real estate services; personal and professional services; administrative services; and restaurant and food services. “General sales or services” does not include hotels, motels, and other accommodation services; mail order or direct sales establishments; membership wholesale/retail warehouses; and packing, crating, and convention and trade show services; and cannabis retail sales.

2025 - 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Active Use Retail Deviation Prohibition

Subject Matter Experts	Kim Dietz, Principal Planner and Special Projects Program Manager Beckye Frey, Principal Planner Philly Marsh, Economic Development Manager Domonique Meeks, Small Business Program Manager
Author	Kimberly Dietz
Policy Basis for Amendment	<p>From 2014 to 2024, the city lost approximately 50 percent of its retail, goods and services, and food and beverage floor area. Retail, restaurants, and other small business displacement continues as new develop occurs and fewer opportunities for business relocation within the city are provided. By locating retail, goods and services, and food and beverage businesses in Redmond’s centers, in close proximity to where large numbers of people live, work, travel, and visit, the city’s economic vitality also strengthens priorities such as access and mobility, climate impact reductions, and equity for all.</p> <p>By clarifying regulations, applicants for development will receive clear and predictable information regarding the importance of retail, goods and services, and food and beverage floor area in relevant locations throughout the city. Precise language and messaging, prohibiting deviations regarding these commercial spaces, will ensure timeliness for project designers and financiers of developments proposed in Downtown, Marymoor, and Overlake. Implementation of the amended regulations will ensure quality, livable standards while promoting a vibrant and diverse economic environment.</p> <p>Comprehensive Plan LU-32 Maintain the Downtown, Marymoor Village, and Overlake centers as major retail, service, entertainment, and cultural centers for the city and the greater Eastside.</p> <p>Economic Development Strategic Plan. Strategy 1B, Action 1B.1 Consider development standards and other incentives to produce functional commercial and flexible spaces for industries that report a shortage of space opportunities or are facing displacement risk.</p> <p>Tourism Strategic Plan. Goal 1, Initiative 20 Encourage the development of retail spaces that will attract culinary, beverage, and nightlife businesses to Redmond. Goal 4, Initiative 7 Encourage district development, placemaking, and branding initiatives to enhance tourism assets, with a particular focus on districts accessible via light rail.</p>
Relevant Code Portions	RZC 21.76.070 Land Use Actions and Decision Criteria

Proposed Amendment Overview

From 2014 to 2024, the city lost approximately 50 percent of its retail, goods and services, and food and beverage floor area. Retail, restaurants, and other small business displacement continues as new develop occurs and fewer opportunities for business relocation within the city are provided. By locating retail, goods and services, and food and beverage businesses in Redmond's centers, in close proximity to where large numbers of people live, work, travel, and visit, the city's economic vitality also strengthens priorities such as access and mobility, climate impact reductions, and equity for all.

Rationale

By clarifying regulations, applicants for development will receive clear and predictable information regarding the importance of retail, goods and services, and food and beverage floor area in relevant locations throughout the city. Precise language and messaging, prohibiting deviations regarding these commercial spaces, will ensure timeliness for project designers and financiers of developments proposed in Downtown, Marymoor, and Overlake. Implementation of the amended regulations will ensure quality, livable standards while promoting a vibrant and diverse economic environment.

Key Decision Points (as applicable)

The city continues to receive requests for deviation to avoid the creation of commercial floor area in new mixed-use development. There is a natural loss of commercial floor area when redevelopment occurs based on the need for lobbies, ground floor parking, service areas, elevators, and other space requirements. Strategic and equitable requirement of commercial floor area throughout the city's centers contributes to the potential relocating and rehoming of businesses that have been previously displaced or risk displacement. At the time of this report, staff were monitoring more than 50 businesses that have been displaced or are at risk of near-term displacement.

Stakeholder Feedback to Date

- Developers have expressed that historically there have been challenges with leasing out first floor commercial spaces in mixed-use buildings. They have requested provisions allowing for flex spaces to allow for residential uses or tenant spaces instead of commercial.
- One commenter requested that the amendment's changes should also address parking to support any additional retail additions and provide for any infrastructure required to support access to and from these retail areas.
 - Staff response: No additional retail is proposed via the amendments. Parking and infrastructure would otherwise be addressed via the existing regulations for the individual zoning district and development requirements specific to the form of construction.

of vegetation, provision of usable open space, and adequate light, air, and security.

PROPOSED AMENDMENT:

RZC 21.76.070 Land Use Actions and Decision Criteria

C. Administrative Design Flexibility.

1. Purpose. The purpose of RZC 21.76.070.C is to promote creativity in site design, allow flexibility in the application of standards in certain zones, and to achieve the creation of sites and uses that may benefit the public by the application of flexible standards not otherwise possible under conventional development regulations.
2. Scope. Administrative design flexibility shall only be considered for adjusting standards in the categories listed below for each type of land use. Requests for adjustment to standards not listed shall be processed as a variance as set forth in RZC 21.76.070.AB, Variances.
3. Process Type. Requests for administrative design flexibility shall be processed and decided as part of the decision on the underlying permit.
4. Decision Criteria.

...

8. Decision Criteria for Downtown, Overlake, and the Marymoor Design District.
 - a. Deviation from standards listed in RZC 21.76.070.C.8.b may be allowed if an applicant demonstrates that the deviations would result in a development that:
 - i. Better meets the intent of the goals and policies for the zone in which the site is located;
 - ii. Is superior in design in terms of architecture, building materials, site design, landscaping, and open space; and
 - iii. Provides benefit in terms of desired use and activity.
 - b. Standards that may be modified by application of administrative design flexibility are as follows:
 - i. Parking Lot Location. Requirements for the location of on-site parking may be modified within the development (except for parking within residential yard areas) to provide for greater joint-use and quasi-public parking opportunities and uses which are highly desirable in the subject design area.
 - ii. For Downtown, mid-block pedestrian walkways and vehicular lanes, per RZC 21.10.300, Public Realm Standards, and RZC Appendix 2A, Downtown Street Requirements, may be modified to allow variations in locations and minimum widths for these items to provide superiority in site design and function which benefits both the property owner and public.
 - iii. Street standards for attached dwelling unit subdivision developments.
 - iv. Other Site Requirements and Standards. All other site requirements and standards except **the following density, number of stories, and FAR** may be modified within the development to provide superiority in site design:
 - A. **Density;**
 - B. **Number of stories;**
 - C. **Required ground-level non-residential floor area in mixed-use zones; and**
 - D. **FAR.**
- ~~i.e., greater~~ **v. Examples of Superiority in Site Design. Examples of superiority in site design include but are not limited to the following:**

- A. ~~a~~ Amounts of privacy;

- ~~B.~~ ~~m~~ **M**aintenance of views;
- ~~C.~~ ~~g~~ **G**reater environmental benefit;
- ~~D.~~ ~~d~~ **D**istinctive and high quality of design;
- ~~E.~~ ~~i~~ **I**mproved pedestrian access;
- ~~E.~~ ~~p~~ **P**reservation of vegetation;
- ~~G.~~ ~~p~~ **P**rovision of usable open space; ~~and~~
- ~~H.~~ ~~a~~ **A**dequate light, air, and security;

2025 - 2026 BUSINESS CODE IMPROVEMENT AMENDMENTS

Economic Development

Amendment Summary
Jan. 29, 2026

Activation in Centers

Subject Matter Experts	Becky Frey, Principal Planner Kimberly Dietz, Principal Planner
Author	Becky Frey, Principal Planner
Policy Basis for Amendment	<p>Activation of Redmond’s center is an aspect of placemaking and economic vitality. It provides opportunities for small businesses and for members of the creative sector including but not limited to artists, performers, and relevant support businesses and organizations. Policies and strategies that support the proposed amendments include:</p> <p>EV-19 Enhance local arts, culture, recreation, nightlife, and social amenities that promote Redmond as an attractive place to work and live.</p> <p>EV-22 Support Redmond’s growth as a tourism destination and foster tourism-related initiatives that bring investment and economic benefit.</p> <p>EV-23 Allow for the equitable and multi-purpose use of public spaces and rights-of-way, including commercial uses such as outdoor dining, food/merchant kiosks, food trucks, and event and performance spaces.</p> <p>Planning Commission previously discussed and recommended amendments but adoption of a code portion did not occur (permit related language removed from 21.04 since permit review types are discussed elsewhere).</p>
Relevant Code Portions	<p>21.04.2140 Food Truck and Pop-Up Retail Court</p> <p>21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).</p> <p>21.04.4000 Temporary Uses.</p>

Proposed Amendment Overview

This amendment is intended to encourage the creation of active and lively amenity spaces by removing process and fees on individual users and instead reviewing and approving the uses at the SPE.

This amendment would allow for site plan review of food truck courts and PEAS spaces to identify and pre-approve uses that would typically require the individual business owner to obtain a temp use permit. By eliminating the need for individual vendors to obtain their own temporary use permit it reduces costs significantly and opens doors to smaller vendors, which is especially important for immigrant and other start-up businesses.

In addition, if you have an approved PEAS, no Temp Use or Type II permit is necessary for activation: food truck, kiosks, and pop ups. Admin mod can be used to update for future uses.

Summary of proposed amendments:

<p>21.04.2140. Food Truck and Pop-Up Retail Court</p>	<p>Section B.1. Review Process</p> <ul style="list-style-type: none"> • Clarified review and approval process, including use of admin modification to add court use to previously approved PEAS space. • Added language about temporary uses not needing a temp use permit if reviewed as part of court site plan approval
<p>21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).</p>	<p>E. PEAS Uses.</p> <ul style="list-style-type: none"> • Added language to specifically allow food truck and pop-up retail court as a use in PEAS spaces • Added language about temporary uses not needing a temp use permit if reviewed as part of PEAS site plan approval
<p>21.04.4000 Temporary Uses.</p>	<p>C. Exemptions.</p> <ul style="list-style-type: none"> • Added exemption for temporary uses reviewed and approved as part of PEAS and Courts approval processes.

Rationale

These changes will support small local business and start-ups.

Key Decision Points (as applicable)

Stakeholder Feedback to Date

Interest in food truck court and extremely interested in it being a flex space that makes it easy to rotate users in at low/no cost. Having the space be flexible for uses increases the marketability of the space and helps to justify the investment in the needed infrastructure.

- One commenter requested that in support of tourism and increased use of public spaces and rights-of-way, the amendments need to include in additional infrastructure and parking access to be addressed.
 - Staff response: The code relevant to the proposed amendments previously provided regulations that address infrastructure and parking access to support proposed development of these uses.

PROPOSED AMENDMENTS:

21.04.2140. Food Truck and Pop-Up Retail Court

A. Purpose. Implement the Comprehensive Plan goals for supporting small businesses and complete neighborhoods.

B. Location and Uses.

1. Review Process.

a. A Type II permit is required for new sites not previously approved for PEAS (per 21.36.200).

b. An Administrative Modification can be used to add Court uses to a previously approved PEAS location.

c. If a court is part of new development, it may be consolidated in that permit review process and would follow the required permit type for the underlying application.

2. Food truck courts may be used for pop-up retail, kiosks, and other temporary uses including seasonal sales (pumpkins, trees, etc.).

3. Events, including but not limited to concerts, farmers markets, and flea markets, are allowed if the use is reviewed and approved as part of the court site plan approval.

4. Uses in the court that typically require a temporary use permit (seasonal sales, events, etc.), will not require an individual temporary use permit if the use is reviewed and approved as part of the court site plan approval.

a. The court site plan must include locations for indicated temporary uses, maximum occupancy, and show how the health, safety, and other impacts and considerations are mitigated at the site plan approval.

b. Temporary uses not included as part of the court site plan approval will require a temporary use permit.

21.36.200 Publicly Accessible Enhanced Amenities Spaces (PEAS).

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E. *PEAS Uses.*

1. PEAS may be designed to take advantage of incentive options such as child-friendly amenities and small business support, including but not limited to pop-up retail, kiosks, and performance stage, etc. Recommended child-friendly features include, but are not limited to:

a. Adjacent or nearby public restroom facilities that are open at minimum for the same duration as the amenities. Restroom facilities must provide child changing stations (if

providing restrooms by gender, changing tables must be provided in restrooms for all genders).

b. Seating for parents and caregivers that is integrated into or adjacent to the amenity provided, with the number of seats provided in scale with the occupancy load of the amenity space. (Ord. 3186)

2. PEAS spaces may be used for Food Truck and Pop-Up Retail Court if the site meets the requirement in RZC 21.04.2140 and are included on the PEAS site plan.

a. Court uses can be approved with the site plan for PEAS as a consolidated review.

b. An Administrative Modification can be used to add Court uses to a previously approved PEAS location.

3. Uses in the PEAS space that typically require a temporary use permit (seasonal sales, events, etc.), will not require an individual temporary use permit if the use is reviewed and approved as part of the court site plan approval.

a. The PEAS site plan must include locations for indicated temporary uses, maximum occupancy, and show how the health, safety, and other impacts and considerations are mitigated at the site plan approval.

b. Temporary uses not included as part of the court site plan approval will require a temporary use permit.

21.04.4000 Temporary Uses.

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C. Exemptions.

1. The following activities and structures are exempt from requirements to obtain temporary use approval. Substantive requirements applicable to any use identified in this subsection shall still be met. Additional land use approvals or other permits may be required.

a. Manufactured homes, portable units, modular structures, travel trailers when used as a dwelling while a residential building on the same lot is being constructed or when a damaged residential building is being repaired, if adequate sewer and water are available.

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l. Weekend (Saturday and Sunday) only, warehouse sales in Business Park, Manufacturing Park, and Industry zones, when held no more than once a month in an existing facility.

2. Temporary Uses approved as part of a PEAS (see RZC 21.36.200) or Food Truck and Pop-Up Retail Court (see RZC 21.04.2140) are exempt from a temporary use permit under this section.

REDMOND ZONING CODE

Code Amendment Summary

Amendment name: Fences and Retaining Walls

Subject Matter Expert	<p>Jenny Nelson, Building Plan Review Supervisor, jnelson@redmond.gov</p> <p>Andrea Kares, Plans Examiner, akares@redmond.gov</p> <p>Cindy Wellborn, Senior Stormwater and Utilities Engineer, cwellborn@redmond.gov</p> <p>Matthew Allen, Planner, mallen@redmond.gov</p> <p>Kaila Yun, Assistant Planner, kyun@redmond.gov</p> <p>Tony Regis, Senior Engineer, tregis@redmond.gov</p> <p>Tom Hardy, Senior Environmental Scientist, twhardy@redmond.gov</p> <p>Travis Salley, Planning Manager, tsalley@redmond.gov</p> <p>Andy Chow, Engineering Manager, kachow@redmond.gov</p>
Author	<p>Lauren Alpert, Long Range Planning, lalpert@redmond.gov</p>
Policy Basis for Amendment	<p><i>Consistent and clear language:</i></p> <ul style="list-style-type: none">• <i>between 21.24 and other sections of the code</i>• <i>Fence height</i>• <i>Retaining walls</i>• <i>Deviation process</i>
Relevant Code Portions	<ul style="list-style-type: none">• RZC 21.24,• Appendix 2 - Retaining walls• Ch. 21.64 Critical Areas Regulations Redmond Zoning Code• 21.04 Land Uses and General Provisions• Stormwater-Technical-Notebook-2022-PDF• Fence Tip Sheet

REDMOND ZONING CODE

Code Amendment Summary

Proposed Amendment Overview

This code amendment updates the fence code in RZC 21.24, creates a new code section for retaining walls, RZC 21.25, and removes duplicative language on retaining walls from Appendix 2

Rationale

The purpose of this amendment is to synchronize the zoning code to applicable standards across various codes and consistency with Redmond 2050, manuals, specifications and to evaluate the purpose and intent of regulating fence and retaining wall location, dimensions, permit requirements, and design.

Key Decision Points (as applicable)

- Height of fences
- Tiered retraining walls
- Fence standards in urban centers and neighborhoods

Stakeholder Feedback to Date

- Clarify technical standards: Requests to ensure the code clearly addresses setbacks, property lines, rights-of-way, materials, height, and construction requirements, with attention to adjoining properties.
- Noise-adjacent context: A commenter asks for exceptions for taller fences along major roads (e.g., 140th Ave NE) to help mitigate traffic noise impacts on residential lots.

PROPOSED AMENDMENT:

Chapter 21.24 FENCES

Sections:

- 21.24.010 Purpose.**
- 21.24.020 *Repealed.***
- 21.24.030 Height.**
- 21.24.040 Prohibited Locations.**
- 21.24.050 Electric, Barbed Wire, and Swimming Pool Fences.**
- 21.24.060 Repealed. ~~Additional Residential Neighborhood Requirements.~~**

21.24.010 Purpose.

The purpose of this chapter is to provide for fences that:

~~A. Protect or enhance property and life and that are compatible with residential neighborhoods while protecting the public from hazardous fences or fences that may blight residential neighborhoods;~~

Allow privacy while maintaining a built environment that is cohesive with the surrounding community.

B. Protecting the public from hazardous fences.

~~B. Increase visibility of front yards by using the principles of the Crime Prevention Through Environmental Design (CPTED) Program to increase public safety and to deter crime;~~

C. Promote and enhance the City's neighborhoods as walkable places and reduce impacts on the pedestrian experience that may result from taller fencing;

D. ~~Maintain the open-space character of certain residential neighborhoods and~~ **P**romote public view corridors by encouraging the application of **lower-height fencing.** non-solid styles of fencing, and landscaped screens.

Effective on: 4/16/2011

21.24.020 Permits.

Repealed by [Ord. 3153](#).

Effective on: 4/16/2011

21.24.030 Height.

A. **Maximum Height.** The maximum height of fences shall be as follows; provided, that the requirements of RZC [21.52.040](#), *Sight Clearance at Intersections*, are met:

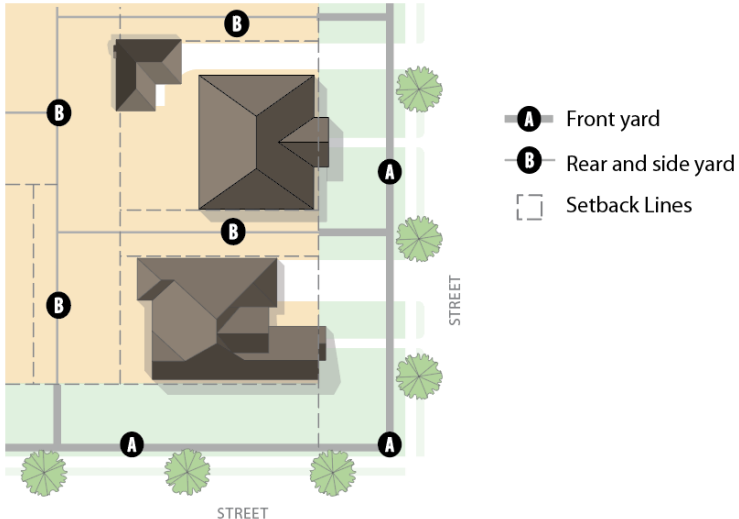
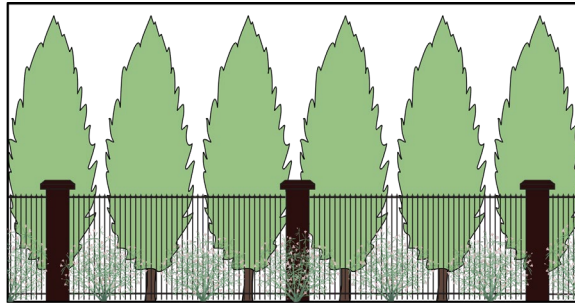
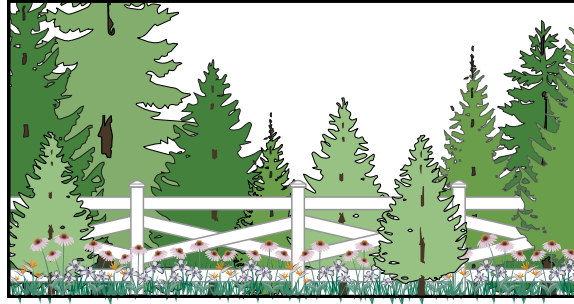
Table 21.24.030.A Maximum Fence Height	
Zones	Permitted Height (1)(2)(3)
UR, RA-5, NR, NMF, and in the <u>Downtown, Overlake, and Marymoor Centers</u>	<div style="text-align: center;">  </div> <p style="color: red; font-size: small;">Six feet anywhere on the lot (see RZC 21.24.060, <i>Additional Residential Neighborhood Requirements</i>, for additional information)</p> <ul style="list-style-type: none"> A <u>Walls and fences located in any front yard must be 4 feet or less otherwise</u> B <u>6 feet</u>
All other zones	Eight feet anywhere on the lot, subject to landscaping requirements in RZC 21.32 , <i>Landscaping</i> and 21.58 <i>Community Design</i>

Table 21.24.030.A
Maximum Fence Height

Zones	Permitted Height (1)(2)(3)
	<p><u>(1) This excludes areas of a lot regulated by RZC 21.52.040 – Sight Clearance at Intersections, where the height limit may be lower.</u></p> <p><u>(2) Maximum fence height may be exceeded without the requirement for a variance when specified in federal or state requirements due to safety and security. Documentation of this requirement shall be provided by the applicant and approved by the Administrator.</u></p> <p><u>(3) When the City’s Building Code has requirements, such as where a guard rail is required to be placed atop a retaining wall or rockery, additional height is permitted but additional height must not exceed the minimum required to meet the building code.</u></p>

Figure 21.24.030B

Examples of Low See-Through Fences



Low, see-through fences (maximum height 42 inches) can add variety and human scale.

B. Fences Adjacent to Rockeries or Retaining Walls.

1. Where a fence and a rockery or retaining wall lying within a building setback area are within five feet of each other, the combined height of the fence and rockery or retaining wall shall not exceed a maximum of eight feet except as provided in subsections **B.2** and **B.3** below.

2. Staff may approve a modification to the combined height limit for fences and rockeries or retaining walls if either:

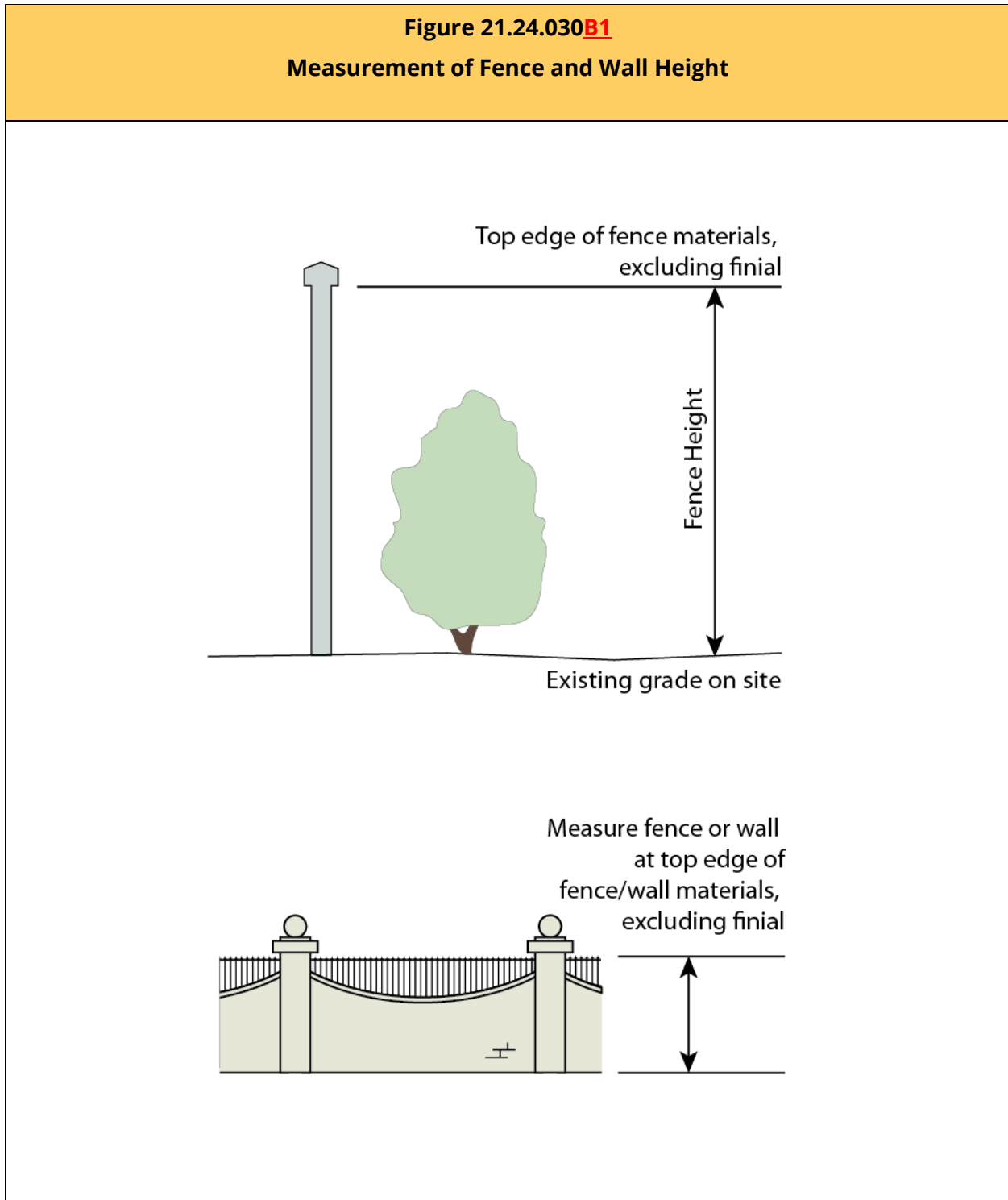
a. The City's Building Code requires additional height, such as where a guard rail is required to be placed atop a retaining wall or rockery; or

b. The design of the rockery or retaining wall includes terraces that are deep enough to incorporate landscaping or other techniques that reduce the visual mass of the wall, and the fence is designed to be no more than 50 percent solid.

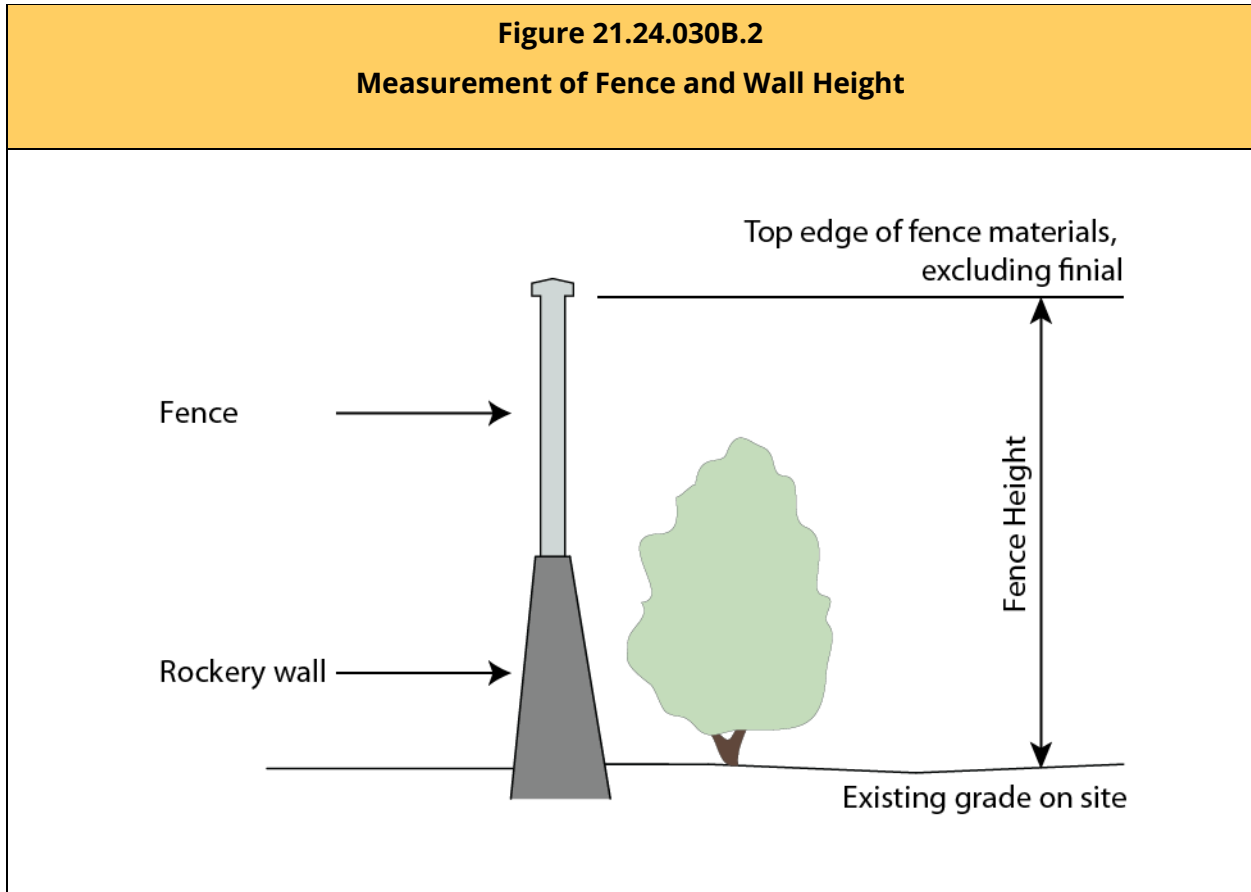
3. The Technical Committee may approve a modification to the combined height limit for fences and rockeries or fences and retaining walls if the modification is necessary because of the size, configuration, topography, or location of the subject property, to provide the property with the use rights and privileges permitted to other properties in the vicinity or zone in which the property is located, and the modification will not be materially detrimental to the public welfare or to abutting properties:

B. Fences combined with Rockeries and Retaining Walls Height. Fence and wall height shall be measured as follows:

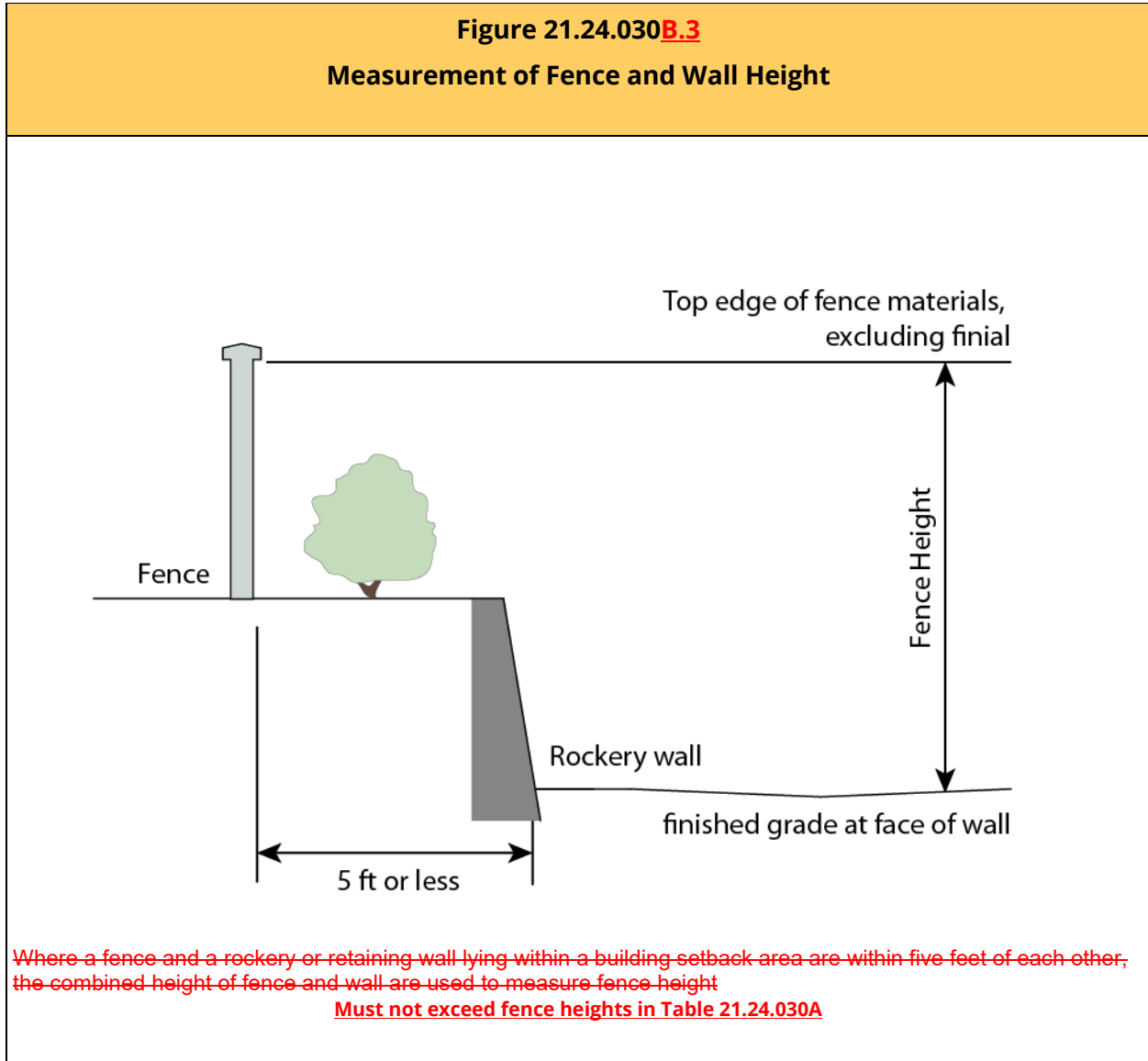
1. Fence height shall be measured as the vertical distance between the existing grade on the site at the base of the fence and the top edge of the slats or other fence material (exclusive of fence posts). See Figure 21.24.030 B1



2. Fence height when fences are on top of a wall/rockery must not exceed fence heights in Table 21.24.030A.



3. A fence and a rockery or retaining wall within five feet of each other, the combined height of the fence and rockery or retaining wall shall not exceed fence heights in Table 21.24.030.A



4. The City's Building Code requires additional height, such as where a guard rail is required to be placed atop a retaining wall or rockery.

2.—The combined height of fencing placed on top of a wall or rockery shall be measured as the vertical distance between the existing grade on the site at the base of the wall and the top edge of the slats or other fence material (exclusive of posts).

3.—Where the grade within six feet of the base of a fence or wall differs from one side of the fence or wall to the other (as when a fence is placed at the top or bottom of a slope or at the top of a rockery or retaining wall), the height shall be measured from the side with the lowest existing grade.

(Ord. 3153)

Effective on: 6/18/2018

21.24.040 Prohibited Locations.

Fences are prohibited in critical areas, critical area buffers, native growth protection areas, designated greenbelts, and designated open space, except as required by RZC [21.64.010.R.2](#).

Effective on: 4/16/2011

21.24.050 Electric, Barbed Wire, and Swimming Pool Fences.

Electric, barbed wire, and swimming pool fences are permitted or required as follows:

Table 21.24.050 Electric, Barbed Wire, and Swimming Pool Fences			
Fence Type	Permitted Zones	Special Requirements	Other Code Requirements
(A) Electric Fences	UR, RA-5 May be used in conjunction with the keeping of large domestic animals where allowed in NR through NMF zones.	A. Permanent signs must be posted every 50 feet stating that the fence is electrified. B. Fences, appliances, equipment, and materials must be listed or labeled by a qualified testing agency and be installed in accord with manufacturer's specifications. C. Except in the UR zone, all electric fences must be set back at least two feet from property lines adjacent to public rights-of-way and NR through NMF zones, and a second and more substantial fence with a mesh size small enough to prevent a child from reaching through, shall be located along the property line.	All electric fences must comply with RMC Chapter 15.12 , <i>Electrical Code</i> .

**Table 21.24.050
Electric, Barbed Wire, and Swimming Pool Fences**

Fence Type	Permitted Zones	Special Requirements	Other Code Requirements
		D. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).	
(B) Barbed or Razor Wire Fences	UR, RA-5, but not along property lines adjacent to other residential and commercial zones.	A. Commercial storage, utility and public uses may use barbed wire only on top of a fence at least six feet in height. The barbed wire shall not extend more than 18 inches above the top of the fence. B. Prohibited when fronting shoreline public access areas (Shoreline Public Access System Map, Figure S-1 of the Shoreline Master Program).	None
(C) Swimming Pool Fences	All zones	All outdoor swimming pools must be surrounded with a fence at least five feet in height.	All swimming pool fencing must comply with King County Health Department requirements.

Effective on: 6/18/2018

~~21.24.060 — Additional Residential Neighborhood Requirements.~~

~~A. The following additional fence, rockery wall, and retaining wall requirements apply to properties located in the neighborhoods listed. The boundaries of each neighborhood are set forth in the Redmond Comprehensive Plan, Map LU-1. Where a conflict exists between the neighborhood requirements in this section and the other provisions of this chapter, the requirements of this section shall control. Where there is no specific regulation listed for the neighborhood, the other provisions of this chapter control.~~

**Table 21.24.060
Additional Neighborhood Requirements**

Neighborhood	Applicability	Fence or Wall Height	Design Requirements	Other Requirements
Education Hill	Applies to fences and walls in the front yard setback or adjacent to public recreational trails.	42 inches when built in the front setback (See Figure 21.24.060, except where home fronts onto arterial street.)	A. No sight-obscuring fencing materials allowed. B. Fence must be of a non-solid type, such as split rail fencing or split rail fencing combined with dark-colored vinyl or powder-coated chain link fence.	New-gated communities in short-subdivisions and subdivisions with security fencing are prohibited.
North Redmond (except Wedge Subarea)	Applies to fences and walls in the front yard setback or adjacent to public view corridors, and public recreational trails.	42 inches in any front setback area, and 42 inches in any street side or rear setback area adjacent to an identified pedestrian or public view corridor. (See Figure 21.24.060)	A. No sight-obscuring fencing materials allowed. B. Fence must be of a non-solid type, such as split rail fencing or split rail fencing combined with dark-colored vinyl or powder-coated chain link fence.	None
North Redmond Wedge Subarea	Applies to the Wedge Subarea defined in the Neighborhoods Element of the Comprehensive Plan.	No special height requirements	Private residential fences may be constructed and maintained along and west of the western edge of the required maintenance easement for retaining systems on the west side of Redmond-Woodinville Road.	
Willows/Rose Hill	Applies to fences in the front yard setback.	42 inches	No special design requirements	New-gated communities in short-subdivisions and subdivisions with security fencing are prohibited.

B.—The Administrator may approve alternative materials or a combination of materials for the fences and walls described above when such alternative materials or combinations are demonstrated to better meet the intent of this chapter.

C.—The Administrator may also approve deviations from the maximum fence height requirements set forth in the above table in the North Redmond and Willows/Rose Hill Neighborhoods for fencing associated with swimming pools, landscaping alternatives (such as landscaped berms), or other designs that clearly meet the intent of this chapter.

Effective on: 6/18/2018

CHAPTER 21.25

RETAINING WALLS

21.25.010 PURPOSE

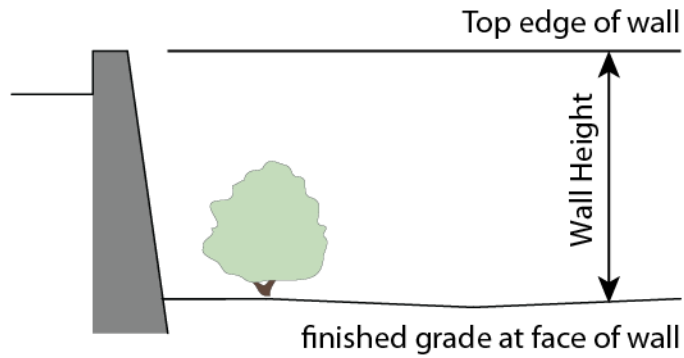
The purpose of this chapter is to provide for retaining walls and rockeries that:

- A. Minimize modification of the existing topography of properties in the City, by minimizing the amount of earth being exported or imported to a site, and to minimize the height of walls related to development.
- B. Minimize the visual impact of retaining walls having excessive heights that may be detrimental to the aesthetics of neighborhoods or nearby properties.
- C. Maintain compatibility with the nearby properties by minimizing changes in topography and excessive excavation.

21.25.100 HEIGHT

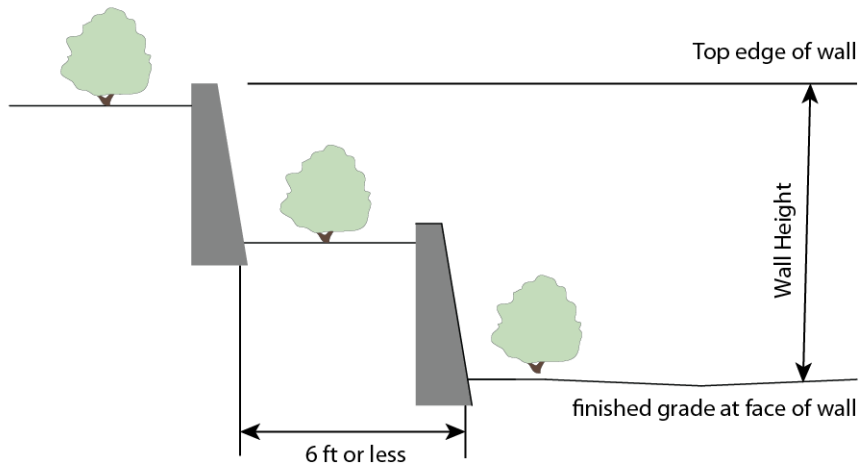
- A. Retaining wall and rockeries shall have a maximum wall height of 8 feet. Deviation requests may be approved subject to provisions of 21.25.300
- B. Measurement of Wall Height. For purposes of this chapter, retaining wall and rockery height shall be measured as follows:
 - 1. Retaining walls and rockeries height shall be measured as the vertical distance between finished grade at the face of wall to the top of the wall.

Figure 21.25.100.B.1. Retaining wall measurement



2. Retaining walls and rockeries with 6 feet or less horizontal separation between tiers, shall be measured as one retaining structure for determining the wall height. Horizontal separation shall be measured as the distance between the face of the lower wall to the face of the upper wall.

Figure 21.25.100.B.2. Measurement for retaining walls closer than 6 ft apart



21.25.200 TERRACED RETAINING WALLS [RESERVED]

21.25.300 DEVIATIONS

A. The Technical Committee may approve a deviation to the height limit for rockeries and retaining walls if the deviation is necessary because of the size, configuration, topography, or location of the subject property, to provide the property with the use rights and privileges permitted to other properties in the vicinity or zone in which the property is located, and the modification will not be materially detrimental to the public welfare or to abutting properties.

B. The deviation will not be granted for the purposes of increasing building area or usable lot space.

21.25.400 PROHIBITED LOCATIONS

A. Retaining walls and rockeries are prohibited in critical areas (except critical aquifer recharge areas), critical area buffers, native growth protection areas, designated greenbelts, and designated open space, and public and private easements except as required by RZC [21.64.010.R.2](#).

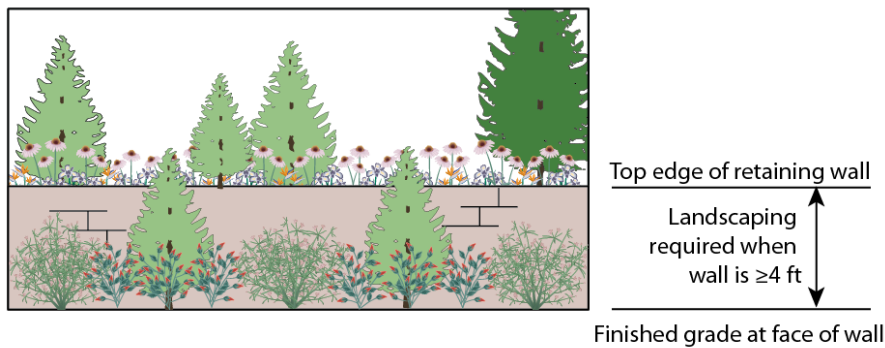
B. Private retaining walls and rockeries and their associated wall drain(s) and backfill shall be entirely within the private property in which they are installed and shall be placed outside of the public right-of-way.

21.25.500 ADDITIONAL REQUIREMENTS

- A. Planner and Engineer approval is required prior to Technical Committee approval.
- B. All retaining walls and rockeries constructed to support land used for new private development shall be placed outside of the public right-of-way and public and private easements.
- C. Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh must not extend into the public right-of-way and public easements. Tiebacks and soils nails are allowed to extend into public right-of-way with an approved Right-of-Way Use Agreement.
- D. Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh extending into private property require a private easement on that property.

- E. Retaining walls within the street section that are necessary for the street, that will be visible to the general public, and above 4 feet in height shall be constructed of either cast-in-place concrete or shotcrete, with a finish that reproduces the look of stone or masonry or having geometric patterns on the wall face. Allowable finish methods will be either stamped finish, sponge finish, troweled patterns, or modular blocks. Wall type and aesthetic pattern shall be approved by the Administrator.
- F. Install rockeries and retaining walls per City Standard Specifications and Standard Details.
- G. All retaining walls and rockeries must also meet the design standards in Section 5.6.7 “Rockeries/Retaining Walls” in the Stormwater Technical Notebook 2025 -- Issue 9A, or its successor.
- H. Retaining walls above 4-feet in height in the lot frontage **and** must have landscaping for visual screening according RZC 21.32 Landscaping with approval by Planning and Engineering.

Figure 21.25.500.H. Retaining wall landscape screening example



Appendix 2

CONSTRUCTION SPECIFICATION AND DESIGN STANDARDS FOR STREETS AND ACCESS

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13. *Mailbox Stand(s) in Residential Areas.*

- a. Mailboxes shall be clustered together in stands when practical and when reasonably convenient to the houses served.
- b. Where appropriate, mailbox stand(s) shall be installed in the sidewalk in accordance with the City of Redmond Standard Details.
- c. The location of the mailbox stand(s) is determined jointly by the City of Redmond together with the United States Postal Service.
- d. Mailbox stand locations should not be placed so vehicles using it would obstruct the required width of an emergency vehicle access road.
- e. Replacement and/or repair of mailbox stands is the responsibility of property owners served by the mailbox stand.

14. *Franchise Utilities.* Non-City-owned franchise utilities are required by City code to relocate existing facilities at their own expense when a conflict results between their facilities and public street improvements. The improvement work must be required by the City as part of an adopted plan or study in order for the relocation work to be the financial responsibility of the utility; otherwise all costs shall be the responsibility of the developer.

~~15. Retaining Walls and Rockeries.~~

~~a. All retaining walls and rockeries constructed to support land used for new development shall be placed outside of the public right-of-way and public easements.~~

~~b. Retaining wall reinforcements such as tiebacks, soil nails, and geogrid mesh shall not extend into the public right-of-way and public easements.~~

~~c. Retaining walls that will be visible to the general public and above four feet in height shall be constructed of concrete (cast in place, shotcrete, or modular blocks) with an aesthetic pattern on the wall face. Wall type and aesthetic pattern shall be approved by the Public Works Director or their designee.~~

~~d. Install rockeries per Standard Detail 909 "Rock Wall under 4 feet."~~

~~e. All retaining walls and rockeries must also meet the design standards in Section 5.6.7, "Rockeries/Retaining Walls" in the 2022 Stormwater Technical Notebook, Issue 9.~~

16. *Safety Railings.*

a. *Installation.* Where a sidewalk or other nonmotorized transportation facility is to be constructed above a slope steeper than 3H:1V or adjacent to a rock wall or retaining wall where the lowest finished elevation of the slope, rock wall, or retaining wall is to be 30 inches or more below the finished elevation of the sidewalk or other facility, a safety railing shall be required. Railings shall be erected and adjusted, if necessary, after initially set to assure a continuous line and grade.

b. *Design.* Safety railings shall be constructed per Standard Detail "Typical Pedestrian Railing."

17. *Guard Rails.* For purposes of warrants, design, and location, all guard rails along roadways shall conform to the criteria of Chapter 1610 "Traffic Barriers" of the Washington State Department of Transportation Design Manual.

18. *Survey Control.* Street designs shall reference the City of Redmond's current Vertical and Horizontal Control Systems.

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

Disclaimer: The City Clerk's Office has the official version of the Redmond Zoning Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

[City Website: www.redmond.gov](http://www.redmond.gov)

The Redmond Zoning Code is current through Ordinance 3226, passed September 2, 2025.

[Hosted by General Code.](#)

REDMOND ZONING CODE

Code Amendment Summary

Implementing HB 1757

Subject Matter Expert	<i>Ian Lefcourte</i>
Author	<i>Ian Lefcourte</i>
Policy Basis for Amendment	<i>HB 1757 of the 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.04.1125

Proposed Amendment Overview

The proposed amendment implements HB 1757 of the 2025 state legislative session. HB 1757 was codified as edits to RCW 35A.21.440. Both laws require that cities extend the allowances for existing buildings to be used for residential purposes in commercial and mixed-use zones, to existing buildings in residential zones. Further, a city may not require a change of use permit for the conversion of an existing building to residential purposes.

Rationale

Compliance with state law.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

Comment that energy code should allow up to 2,000 Watt solar panels directly plugged into a wall outlet, similar to allowances in other states (Utah) and countries (Germany).

PROPOSED AMENDMENT:

21.04.1125 Conversions of Existing Buildings to Residential Uses.

A. **Purpose.** The purpose of the conversion provisions is to facilitate the conversion of existing buildings ~~that are zoned for in~~ commercial, ~~or~~ mixed-use, ~~or residential zones,~~ ~~uses to residential uses,~~ for the purpose of creating new housing units in existing buildings. These provisions support serving the City's housing needs and compliance with state requirements. The intent of these provisions is to fully comply with state requirements (RCW [35A.21.440](#), [43.21C.450](#), and [19.27A.270](#)) related to conversions of existing buildings to residential uses.

B. **Applicability.** Existing buildings constructed for commercial or mixed-use uses. For the purpose of this section, “existing building” means a building that received a certificate of occupancy at least three years prior to the permit application to add housing units. “Existing building” has the same meaning as explained in RCW [35A.21.440](#), and as thereafter amended.

C. **Special Allowances.** For compliance with state requirements, for applications related to the conversion of existing buildings that are constructed for commercial or mixed-use uses to residential uses, the City review process shall not restrict or impose the following:

1. A restriction on housing unit density that prevents the addition of housing units at a density up to 50 percent more than what is allowed in the underlying zone if constructed entirely within an existing building envelope in a building located within a zone that permits multifamily housing; provided, that generally applicable health and safety standards, including but not limited to building code standards and fire and life safety standards, can be met within the building;
2. Impose parking requirements on the addition of dwelling units or living units added within an existing building; however, cities may require the retention of existing parking that is required to satisfy existing City residential parking requirements and for nonresidential uses that remain after the new units are added;
3. With the exception of emergency housing and transitional housing uses, impose permitting requirements on the use of an existing building for residential purposes beyond those requirements generally applicable to all residential development within the building’s zone, [including requiring a change of use permit](#);
4. Impose design standard requirements, including setbacks, lot coverage, and floor area ratio requirements, on the use of an existing building for residential purposes beyond those requirements generally applicable to all residential development within the building’s zone;
5. Impose exterior design or architectural requirements on the residential use of an existing building beyond those necessary for health and safety of the use of the interior of the building or to preserve character-defining streetscapes, unless the building is a designated landmark or is within a historic district established through a local preservation ordinance;
6. Prohibit the addition of housing units in any specific part of a building except ground floor commercial or retail that is required by RZC standards, unless the addition of the units would violate applicable building codes or health and safety standards;
7. Require unchanged portions of an existing building [that have been](#) used for residential [or previously permit-approved conditioned space](#) purposes to meet the current energy code solely because of the addition of new dwelling units within the building; ~~however, if any portion of an~~ [When any other](#) existing building is converted to new dwelling units, [changed portions of](#) each of those new units must meet the requirements of the current energy code; [except if:](#)

[a. The square footage of new dwelling units does not exceed 2,500 square feet or 50 percent of the total building square footage, whichever is greater; or](#)

[b. The building owner submits documentation, in a form acceptable to the code city, showing the building's residential units' projected energy use intensity is less than or equal to the energy use intensity target in accordance with the clean buildings performance standard in RCW 19.27A.210; or](#)

[c. In all areas zoned for residential housing, an additional housing unit is created within an existing home;](#)

8. Deny a building permit application for the addition of housing units within an existing building due to nonconformity regarding parking, height, setbacks, elevator size for gurney transport, or

modulation, unless the Administrator makes written findings that the nonconformity is causing a significant detriment to the surrounding area; or

9. Require a transportation concurrency study under RCW [36.70A.070](#) or an environmental study under RCW Chapter [43.21C](#) based on the addition of residential units within an existing building.

D. ***Life Safety Standards.*** Nothing in this section shall require the City to approve a building permit application for the addition of housing units constructed entirely within an existing building envelope in a building located within a zone that permits multifamily housing in cases in which the building cannot satisfy life safety standards.

REDMOND ZONING CODE

Code Amendment Summary

Lot Splitting

Subject Matter Expert	<i>Josh Mueller, Matthew Allen</i>
Author	<i>Glenn Coil</i>
Policy Basis for Amendment	<i>HB 1096 - 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.74 Land Division, 21.76 Review Procedures, and 21.78 Definitions

Proposed Amendment Overview

The proposed amendment implements HB 1096 concerning lot splitting. It would make the final plat process entirely administrative.

Rationale

Consistency with state law: [HB 1096](#)

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

The amendment should include the reasoning for "Administrative" addition and how it differs from Subdivisions and short subdivisions lot split.

PROPOSED AMENDMENT:

Add new section to RZC 21.74 on Lot Split

Add Lot Split to 21.76 Permit Type and Procedures

Add Lot Split to Table 21.76.050B

Add new definition to RZC 21.78 – Lot Split - "Lot split" means the administrative process of dividing an existing lot into two lots for the purpose of sale, lease, or transfer of ownership pursuant to this section. (from HB 1096)

21.74.010.B.1

1. Compliance. All division and redivision of land into lots, tracts, parcels, sites, or divisions for the purpose of sale, lease, or transfer of ownership shall comply with the requirements of this chapter except where specifically exempted herein. Subdivisions, short subdivisions, [administrative lot splits](#), binding site plans, boundary line adjustments, unit lot subdivisions, plat alterations, and plat vacations are all considered divisions or redivisions of land for purposes of this chapter.

21.74.020.N [new subsection]

N. Administrative Lot Split Standards.

Eligibility standards unique to Administrative Lot Splits are found in 21.74.030.N.

21.74.030.N [new subsection]

N. Administrative Lot Split Procedures

1. Approval Process. Administrative Lot Splits must follow the procedures established in RZC 21.76.05.F, for a Type I review, and criteria established by RCW 58.17.145.
2. Decision by the Administrator. The Administrative Lot Split may be approved by the Administrator provided the following criteria is met:
 - a. Exactly one newly created lot results from the split.
 - b. Both the parent lot and the newly created lot meet the minimum lot size of the applicable zone (see RZC Article II).
 - c. The parent lot was not itself created by an administrative lot split under this section.
 - d. The parent lot is in a zone that allows residential use.
 - e. If demolition/alteration would displace an existing residential tenant renter, the application must include a displacement mitigation strategy (e.g., relocation assistance).
 - f. Prior to recording, access and utility rights are granted or conveyed as necessary to serve the maximum number of dwellings allowed, acknowledging that rights may be reduced at building-permit stage if fewer units are built.
 - g. The newly created lot meets minimum density requirements if located in a zone with a minimum density requirement.
 - h. The lot is buildable under all applicable regulation. Lots rendered unbuildable by critical areas, shoreline, stormwater, setbacks, impervious surface, or building coverage standards are not eligible for administrative lot split.
 - i. If the split would create a lot size that would allow further land division, the split is not eligible under this section but could be pursued through another applicable land-division processes under RZC 21.74.
 - j. Any construction on the newly created lot is subject to all existing state and local laws including those specified in this section. Nothing in this section modifies the requirements for approval of residential building permits in chapter 19.27 RCW.
 - k. Where an application does not meet the eligibility criteria of this section, the applicant may seek approval under other land division processes under RZC 21.74.
3. Recording. All administrative lot splits shall be recorded in compliance with the following:
 - a. All Administrative Lot Splits must be recorded surveys consistent with the requirements of RCW Chapter 58.09 and WAC Chapter 332-130, with a notation that future Administrative Lot Splits on either lot are prohibited.
 - b. Fees and Recording Procedure. Prior to recording, the applicant shall submit the original short subdivision drawings to the City for signatures.
 - c. Recording Required. No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision

improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090.F, Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.

21.76.050.C

In Table 21.76.050B, add row for "Administrative Lot Split" where Process Type is "I".

21.76.060.D.4

Appeal. Type I decisions may be appealed to the Hearing Examiner as provided in RZC 21.76.060.I, Appeals to Hearing Examiner on Type I and II Permits. All decisions are final upon expiration of the appeal period or, if appealed, upon the date of issuance of the Hearing Examiner's final decision on the appeal. Appeal decisions of the Hearing Examiner may be appealed to the King County Superior Court as provided RZC 21.76.060.M. [There are no administrative appeals of Type I Administrative Lot Split decisions pursuant to RCW 58.17.145.](#)

21.76.070.# [new subsection]

#. Administrative Lot Splits. Decision criteria for administrative lot splits are found in RZC Article V.

21.76.090.C.1.b

- b. Approval of a Type I, II, or III application shall expire two years from the date approval was final unless:
 - i. A complete building permit application is filed before the end of the two-year term. In such cases, the vested status of the Type I, II, or III permit or approval shall be automatically extended for the time period during which the building permit application is pending prior to issuance; provided, that if the building permit application expires pursuant to RMC 15.08.050, Amendments to the International Building Code, the vested status of a Type I, II, or III permit or approval shall also expire;
 - ii. For [administrative lot splits](#), short plats and binding site plans, the [lot split survey](#), final plat or approved binding site plan is recorded;

<<no change to the rest of 21.76.090.C.1.b>>

21.78.210

Lot Split. The administrative process of dividing an existing lot into two lots for the purpose of sale, lease, or transfer of ownership pursuant to RCW 58.17.145 and as hereafter amended.

REDMOND ZONING CODE

Code Amendment Summary

Unit Lot Subdivisions

Subject Matter Expert	<i>Josh Mueller, Guilherme Motta</i>
Author	<i>Glenn Coil</i>
Policy Basis for Amendment	<i>SB 5559 of the 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.74 Land Division, 21.76 Review Procedures, 21.78 Definitions

Proposed Amendment Overview

The proposed amendment implements SB 5559 concerning unit lot subdivisions. It also would make final plat approval administrative.

Rationale

Consistency with state law - [SB 5559](#)

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

PROPOSED AMENDMENT:

21.74.030 Decision Criteria and Procedures.

A. Application Submittal Requirements.

1. *Scope.* This section sets forth the requirements that must be met in order for applications for approvals governed by this chapter to be considered complete.
2. *Preliminary Subdivisions.* In order to be considered complete, each application for preliminary subdivision approval shall contain the following:

- a. A completed general application form and project contact form;
- b. The required application fees;
- c. A small-scale vicinity map (suitable for public notice purposes);
- d. A completed SEPA/CAO fee worksheet;
- e. A CAO report, if required in RZC Chapter 21.64, Critical Areas Regulations;
- f. For large sites, key plat map showing the entire site on one large sheet;
- g. A set of preliminary plat plans showing the proposed layout of all lots, tracts, parcels, and streets;
- h. A preliminary stormwater report;
- i. A SEPA application form, together with a completed City of Redmond SEPA checklist;
- j. A traffic study, if required by the [City Public Works Department](#);
- k. A title report or plat certificate for all parcels involved;
- l. Density calculations indicating maximum and minimum density requirements for the proposal and including density bonus calculations, if applicable;
- m. A transportation certificate of concurrency or, if no such certificate has been issued at the time of application, a transportation concurrency application that contains all information required for a transportation concurrency determination under RZC 21.52.010, Transportation Concurrency;
- n. A reduced site plan showing proposed lot layout (suitable for public notice purposes); and
- o. A tree preservation plan if trees are proposed to be removed as part of the proposal.

D. *Short Subdivision Procedures.*

1. *Approval Process.* Short subdivisions shall follow the procedures established in RZC 21.76.050.G, for a Type II review.

2. *Decision by the Technical Committee.* Each final decision of the Technical Committee shall be in writing and shall include findings and conclusions based on the record to support the decision. The decision made by the Technical Committee shall be given the effect of an administrative decision and may be appealed in accordance with RZC 21.76.060.E, Technical Committee Decisions on Type II Reviews.
3. *Effect of Approval.* Approval of the short subdivision shall constitute authorization for the applicant to develop the short subdivision facilities and improvements, upon review and approval of construction drawings by the [City Public Works Department](#). All such facilities and improvements shall be completed or have a performance assurance posted to assure completion as provided in RZC 21.76.090.F, Performance Assurance, prior to recording of the short subdivision. All development of a short subdivision shall be subject to any conditions imposed by the City on the short subdivision approval.
4. Short subdivision approval shall expire pursuant to the following:
 - a. Two years from the date of the Technical Committee notice of decision if the short plat has not been recorded. A single one-year extension may be granted by the Technical Committee if the applicant has attempted in good faith to submit the final short plat within the two-year period; provided, however, that the applicant must file a written request for extension at least 30 days prior to expiration of the two-year period.
5. *Recording.* All short subdivisions shall be recorded in compliance with the following:
 - a. *Fees and Recording Procedure.* Prior to recording, the applicant shall submit the original short subdivision drawings to the [City Public Works Engineering Department](#) for signatures.
 - b. *Recording Required.* No short subdivision shall be recorded unless approved as provided in this chapter. Further, recording shall not be authorized unless and until the required short subdivision improvements have been completed or a performance assurance has been posted to ensure completion as provided in RZC 21.76.090.F, Performance Assurance. A copy of an approved short subdivision shall be filed for record with the King County Department of Records and Elections, and one reproducible copy shall be furnished to the City Engineer.
6. *Restriction on Further Division.* Land within an approved and recorded short subdivision may not be further subdivided within a period of five years from the date of final approval

if such further division would result in more than nine lots within the original short subdivision boundaries. Any division that would result in more than nine lots within the original short subdivision within the five-year period may be accomplished only by following the process for preliminary and final subdivision approval set forth in RZC 21.74.030.E, Preliminary Subdivision Procedures, and RZC 21.74.030.G, Final Subdivision Procedures.

E. Preliminary Subdivision Procedures.

1. *Approval Process.* Preliminary subdivisions shall follow the procedures established in RZC 21.76.050.H, Type III Review.

2. *Effect of Preliminary Subdivision Approval.* Approval of the preliminary subdivision shall constitute authorization for the applicant to develop the subdivision facilities and improvements upon review and approval of construction drawings by ~~the City~~ **the Public Works Department**. All development shall be subject to any conditions imposed by the Hearing Examiner.

3. *Time Limits – Approval Within 90 Days.* A preliminary subdivision shall be approved, approved with conditions, denied, or returned to the applicant for modification or correction within 90 days from the date of filing of a complete application unless the applicant agrees to an extension of the time period in writing; provided, that should an environmental impact statement (EIS) be required per RCW 43.21C.030, Guidelines for State Agencies, Local Governments, the 90-day period shall not include the time spent in preparing and circulating the EIS by the City. A preliminary subdivision application shall not be deemed “filed” until all of the requirements for a complete application established by RZC 21.74.030.A, Application Submittal Requirements, have been met.

4. *Limitation on Preliminary Approval.*

a. Final approval of a subdivision must be acquired within seven years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2014, and within five years of the date of preliminary plat approval if the date of preliminary plat approval is on or after January 1, 2015, after which time the preliminary plat approval is void.

b. Final approval of a subdivision must be acquired within 10 years of preliminary plat approval if the date of preliminary plat approval is on or before December 31, 2007,

and not subject to the requirements of RCW Chapter 90.58, the Shoreline Management Act, after which time the preliminary plat approval is void.

c. The Hearing Examiner may grant an extension of the time periods set forth in RZC 21.74.030.E.4.a and E.4.b for one year if the applicant has attempted in good faith to submit the final plat within the required time period; provided, however, the applicant must file a written request with the Planning Department requesting the extension at least 30 days before expiration of the required time period.

G. Final Subdivision Procedures.

1. *Time Limits.* A final plat application shall be approved, denied, or returned to the applicant for modification or correction within 30 days from the date of filing unless the applicant consents to an extension of such time period.

2. *Review by City Engineer.* ~~A The City Engineer or a~~ licensed professional engineer acting on behalf of the City shall review the survey data, layout of lot lines, streets, alleys and other rights-of-way, design of bridges, and utility systems improvements, including storm drainage, water, and sanitary sewer.

3. *Findings by City Engineer.* ~~A The City Engineer or other~~ professional engineer acting on behalf of the City shall convey their findings to the Technical Committee ~~City Council~~. The engineer shall assure that:

a. The proposed final plat meets all standards established by state law and this section relating to the final plat's drawings and subdivision improvements;

b. The proposed final plat bears the certificates and statements of approval required by this section;

c. A current title insurance report furnished by the subdivider confirms the title of the land in the proposed subdivision is vested in the name of the owners whose signatures appear on the final plat;

d. The legal description of the plat boundary on the current title insurance report agrees with the legal description on the final plat;

e. The facilities and improvements required to be provided by the subdivider have been completed or, alternatively, that the subdivider has provided a surety in an

amount commensurate with improvements remaining to be completed, as provided in RZC 21.76.090.F, Performance Assurance;

f. The surveyor has certified that all survey monument lot corners are in place and visible; and

g. The final plat contains a dedication to the public of all common improvements, including but not limited to streets, roads, sewage disposal systems, storm drainage systems, and water supply systems which were a condition of approval. The intention to dedicate shall be evidenced by the owner's presentment of a final plat showing the dedication, and the acceptance by the City shall be evidenced by the approval of the final plat.

4. *Review* – Administrative Approval ~~City Council~~. The Technical Committee ~~City Council~~ shall review the final plat ~~at a public meeting~~, according to the decision criteria for final plats set forth in RZC 21.74.030.C, Decision Criteria for Approval of Final Subdivisions. ~~No public hearing shall be required. Notice of the public meeting at which the final plat will be considered will be mailed to the applicant and to any person who was a party of record to the preliminary plat proceedings at least 10 days in advance of the meeting.~~ If the ~~City Council~~ Technical Committee approves the final plat, the Administrator, Public Works Director, and City Engineer ~~Mayor~~ shall be authorized to inscribe and execute the written approval on the face of the plat map. If the Technical Committee ~~City Council~~ denies the final plat, the final plat will be returned to the applicant with reasons for denial and conditions for compliance.

5. *Recording*. All final plats shall be recorded in compliance with the following:

a. *Fees and Performance Assurance*. Prior to recording, the applicant shall submit the original final plat drawings to the ~~Public Works Department~~ City together with the plat checking fees. Unless all required improvements have been constructed prior to final plat approval, the applicant shall also submit all required performance assurances to guarantee completion of the improvements as required by RZC 21.76.090.F, Performance Assurance.

b. *Recording Required*. No final plat shall be recorded unless approved as provided in this section. The original of an approved final plat shall be filed for record with the King County Department of Records and Elections.

c. *Time Limit.* All final plats shall be recorded within 120 days after [Technical Committee](#) final approval ~~is granted by the City~~. Approval shall expire if the final plat is not recorded within this period.

6. *Valid Land Use.* As required by RCW 58.17.170, Written Approval of Subdivision, a subdivision shall be governed by the terms of the approval of the final plat, and any lots created shall be a valid land use for a period of not less than five years from date of filing, unless the ~~City Council~~ [Technical Committee](#) finds that a change in conditions in the subdivision creates a serious threat to the public health or safety.

H. **Unit Lot Subdivisions.**

1. *Applicability.* The provisions of this section apply exclusively to the unit lot subdivision his Tland for [existing or new](#) attached [or detached](#) dwelling units, [in which no dwelling units are stacked on another dwelling unit or other use. The purpose is to allow for the creation of lots for the individual ownership of these types of housing units while applying only those site development standards applicable to the parent lot as a whole.](#) ~~that have land use approval through RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); and RZC 21.76.070.P, Master Planned Development.~~

2. *Approval Process.* A unit lot subdivision [for new developments](#) shall follow the procedures established in RZC 21.76.050.G, Type II Review, ~~if nine or fewer unit lots are proposed. Preliminary unit lot subdivisions shall follow the procedures established in RZC 21.76.050.H; Type III Review, if 10 or more unit lots are proposed.~~ Final unit lot subdivisions of 10 or more lots shall follow the procedures established in RZC 21.74.030.G, Final Subdivision Procedures, for final plats. [Existing developed lots, where structures comply with all standards applicable to the parent lot, shall follow the procedures established in RZC 21.76.050.F, Type I Review.](#)

a. [The approval procedures shall not require any public pre-decision meeting or hearing, nor any design review other than administrative design review.](#)

3. *Compliance With Prior Approvals.* Sites developed or proposed to be developed with single-family attached [or detached](#) dwelling units may be subdivided into individual unit lots as provided herein. The development as a whole shall conform to the regulations of the zone that the site is located in and to the plans that were granted approval through provisions of this code, ~~either: RZC 21.76.070.Y, Site Plan Entitlement; RZC Chapter 21.67, Green Building Program (GBP); or RZC 21.76.070.P, Master Planned Development.~~

[a. Portions of the parent site not subdivided for individual unit lots shall be owned in common by the owners of the individual unit lots, by a homeowners' association comprised of the owners of the individual unit lots located within the parent site, or by a community land trust.](#)

4. Development on individual unit lots is not required to conform with all development standards that typically apply to individual lots as long as the parent lot conforms to all such development standards. Each unit lot shall comply with applicable building codes. Fire protection for the buildings shall be based on the aggregate square footage on the parent lot.

5. Internal vehicular courts and driveways providing vehicular access to unit lots in the subdivision from public streets shall not be considered public or private streets when considering unit lot subdivisions.

6. Subsequent ~~platting~~ subdivision actions, additions, or modification to the structure(s) may not create or increase any nonconformity of the parent lot as a whole, and shall conform to the approved unit lot housing development project or to the land use and development standards in effect at the time of the proposed actions, additions, or modifications.

~~7. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space, such as common courtyard open space; exterior building facades and roofs; and other similar features, shall be recorded with the King County Department of Records and Elections.~~

8. Within the parent lot, required parking for a dwelling unit may be provided on a different unit lot than the lot with the dwelling unit, as long as the right to use the parking is formalized by an easement recorded with the King County Department of Records and Elections.

9. The minimum residential density required for unit lot subdivision in the Downtown Core zone shall be 35 dwelling units per acre. There shall be no minimum residential density requirements for unit lot subdivisions elsewhere in the City unless required by the zone in which the site is located.

10. Notes shall be placed on the face of the plat or short plat as recorded with the King County Department of Records and Elections to acknowledge the following:

a. Approval of the design and layout of the units on each of the lots housing development project was granted based on detailed ~~by the~~ review of that specific project the development, as a whole, on the parent lot including specific reference to the applicable permit or file number for that specific. The title of the plat shall include the phrase "Unit Lot Subdivision". ~~project by RZC 21.76.070.Y, Site Plan Entitlement, RZC Chapter 21.67, Green Building Program (GBP); or RZC 21.76.070.P, Master Planned Development.~~

b. Development, redevelopment, or rehabilitation of structures on each unit lot is subject to review and approval of plans that are consistent with the design of the surrounding structures on the parent lot as approved by the City through subject file number as stated in RZC 21.74.030.H.10.a.

- c. Access easements, joint use and maintenance agreements, and covenants, conditions, and restrictions (CC&Rs) identifying the rights and responsibilities of property owners and/or the homeowners' association shall be executed for use and maintenance of common garage, parking, and vehicle access areas; underground utilities; common open space, such as common courtyard open space; exterior building facades and roofs; and other similar features. ~~shall be recorded with the King County Department of Records and Elections.~~
- d. Additional development of the individual lots may be limited as a result of the application of development standards to the parent site.

J. *Subdivision Alterations.*

1. *Scope.* This section establishes the procedures to be used for subdivision alterations under RCW 58.17.215 through 58.17.218.
2. *Approval Process.* Subdivision alterations shall follow the procedures established in RZC 21.76.050.J, Type V Review.
3. *Application Requirements.* An application for alteration of a subdivision shall meet the submittal requirements established by the Administrator, and shall contain the signatures of those persons having an ownership interest in the majority of the lots, tracts, parcels, sites, or divisions in the subject subdivision or portion to be altered, and other application submittal materials as required. If the subdivision is subject to restrictive covenants which were filed at the time of the approval of the subdivision, and the alteration would result in the violation of a covenant, the application shall contain an agreement signed by all parties subject to the covenants; provided, that the parties agree to terminate or alter the relevant covenants to accomplish the purpose of the alteration.
4. *Hearing Required.* The City Council shall conduct a public hearing on the application for a subdivision alteration.
5. *Decision Criteria.* The City Council shall approve the application for alteration of the subdivision or approve the application with conditions if it determines that the public use and interest will be served by the alteration. The City Council shall deny the application for alteration if it finds that the public use and interest will not be served by the alteration.
6. After approval of the alteration, the applicant shall submit to the City a revised drawing of the approved alteration of the subdivision, which after signature of the approving authority shall be filed with the King County Department of Records and Elections to

become the lawful plat of the property. The revised drawing shall be surveyed and prepared by a Washington State-licensed land surveyor.

7. The procedures set forth in RZC 21.74.030.J.1 through J.3 apply to subdivisions that have been recorded. A subdivision that has not yet been recorded and that has not expired may be altered upon approval by the Administrator as long as the alteration is consistent with the final plat approval granted by the City Council. In the event that the alteration is not consistent with that approval, alteration may be approved only by repeating the final plat approval process.

8. Administrative Easement Release. Notwithstanding the requirements of J.4 (public hearing) and J.5 (Council decision), the City may release an easement administratively if:

a. The easement is no longer needed for public use;

b. The City is the sole beneficiary of the easement; and

c. The release does not adversely affect public health, safety, or welfare.

The release shall be signed by the Mayor or their designee and documented with a revised plat or exhibit filed with the King County Recorder's Office or its successor agency.

K. Final Subdivision and Short Subdivision Corrections.

1. *Public Dedication – Not Involved.* Amendments, alterations, modifications, and changes to recorded final subdivisions and short subdivisions that do not affect a public easement or other public dedication of land shall be accomplished only by one of the following methods:

- a. File a new plat for the lots in question by following the full subdivision procedures of this chapter; or
- b. File a short plat for lots in question by following the procedures of this chapter; or
- c. File an application for an administrative modification or boundary line adjustment.

2. *Public Dedication – Involved.* Amendments, alterations, modifications, and changes to recorded final plats and short plats that do affect a public easement or other public

dedication of land shall be accomplished by following the procedures of RZC [21.74.030.I](#), Subdivision Vacations, or RZC [21.74.030.J](#), Subdivision Alterations.

3. Administrative Public Easement Release. The City may administratively release a public easement that is no longer needed for public use. The Mayor or their designee is authorized to sign the release. The release requires:

a. Verification by the City that the easement is no longer required for public utilities, access, drainage, or other public purposes.

b. Submission of a revised surveyed plat or easement exhibit, prepared by a licensed Washington State surveyor, showing the easement removed.

c. Recording of a revised plat/exhibit with the King County Recorder's Office or its successor agency.

This process does not require a City Council hearing but may include notice to adjacent property owners at the discretion of the Administrator.

21.78.250 P Definitions

Parent Lot. A residential lot that is subdivided into unit lots through the unit lot subdivision process.

21.78.300 U Definitions

Unit lot. A subdivided lot within a residential development as created from a parent lot and approved through the unit lot subdivision process.

Unit Lot Subdivision. ~~A division or redivision of land in which one or more boundaries of the individual lots coincide with the interior walls of a structure which separate individual attached single-family dwelling units.~~ A subdivision or short subdivision proposed as part of a residential development project that meets the development standards applicable to the parent lot at the time the application is vested, but which may result in development on one or more individual unit lots becoming nonconforming as to specified land use and development standards based on the analysis of the individual unit lot.

21.76.050B Classification of Permits and Decisions

**Table 21.76.050B
Classification of Permits and Decisions**

Permit Type	Process Type	RMC Section (if applicable)
Unit Lot Subdivision	I or II	

REDMOND ZONING CODE

Code Amendment Summary

Implementing SB 5509 for Childcare Zoning

Subject Matter Expert	<i>Kim Dietz, Jenny Nelson</i>
Author	<i>Kim Dietz, Jenny Nelson</i>
Policy Basis for Amendment	<i>SB 5509 of the 2025 state legislative session.</i>
Relevant Code Portions	RZC 21.04

Proposed Amendment Overview

The proposed amendment implements SB 5509 concerning childcare zoning. State law limits restrictions cities can place on the location of childcare centers. The proposed amendments would allow daycare centers in the NR, NMF, NMU, and RA-5 zones as required in state law.

Rationale

Compliance with state law. Staff recommends addressing the portions of SB 5509 addressing industrial and light industrial zones when guidance from the Department of Commerce is available.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

REDMOND ZONING CODE

Code Amendment Summary

PROPOSED AMENDMENT:

21.04.0200 Nonresidential Use Table.

Nonresidential Uses by Zone P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Education, Public, Health, and Other Institutions																					
Day care center	P L 13/ C	P L 13/ C	P L 13	P	P	P	P	P	P	P	P	P	P	P	P	L 15	N	N	P N	N	A-CUP is required in NR and NMF. See RZC 21.04.2080.

Notes and Limitations

1 Shall not be materially detrimental in terms of noise, truck traffic, vibrations, odors, and other potential operational impacts with neighborhood units or nearby mixed-use/residential developments. Application of this note is limited in the MMC and MMM zoning districts to new structures permitted after June 17, 2017.

2 For properties in a CARA this use may be restricted or prohibited. See RZC [21.64.050](#).

3 Uses Not Permitted.

a. Gasoline service;

- b. Outdoor automobile sales, rental or service;
- c. Rental storage and mini-warehouses;
- d. Warehouse and storage services;
- e. Outdoor storage.

4 Limited to less than 75,000 square feet gross floor area in a single use.

5 Membership wholesale/retail warehouse limited to showroom only with a maximum size of 75,000 square feet gross floor area.

6 Administrative office/business functions only.

7 Is limited to:

- a. Athletic, sports, and play fields.
- b. Marine recreation.
- c. Commercial swimming pools.
- d. Education facilities allowed in MP zones outside of MP Overlay but limited to technical, trade, and other specialty schools only.
- e. Animal kennels.
- f. Real estate services limited to mini-warehouse/self-storage only.
- g. Professional services limited to research and development services and other uses that support another permitted use within the MP zone only.
- h. Administrative services limited to corporate headquarters and regional offices associated with manufacturing and wholesale trade uses within an MP zone.
- i. Athletic club or fitness center.
- j. Repair and rental of goods.

8 Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.

9 Permitted only abutting Lake Sammamish. Excludes medical airlift.

10 Limited to mixed-use developments. Not permitted as a stand-alone use.

11 All commercial livestock, dairy and fowl enterprises limited to lots 35,000 square feet in size or larger, and must meet Seattle-King County Health Department regulations and the regulations of Redmond’s Municipal Code. Personal, noncommercial livestock, dairy, and fowl activities are considered an accessory use and are allowed; provided, that all Health Department and Municipal Code requirements are met.

12 Limited to lots 35,000 square feet or larger.

~~**13** Day care uses are only permitted in a building or building complex used for other uses, such as a school, church, meeting hall, or some other building used for more than one purpose.~~

14 Shall not be located on a parcel that abuts a Neighborhood Residential or Neighborhood Multifamily zone.

15 Only allowed in the MP Overlay (see note 7D for educational facilities).

16 Limited to MP Overlay only: pet and animal sales or services (except veterinary), ambulatory and outpatient health care services, health and personal care, and finance and insurance.

17 Shall be located in multi-tenant buildings or a single building in a multibuilding, multi-tenant complex.

18 Fifty-person seating capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100-person seating capacity, so long as the seating area does not occupy more than 25 percent of combined gross floor area. The seating limit does not apply when the use is secondary to a winery or brewery, but the 25 percent limit continues to apply.

19 Hours of operation limited to:

- a. 6:00 a.m. – 12:00 p.m. in the MMM and MP zoning districts.
- b. 6:00 a.m. – 10:00 p.m. in the BP and I zoning districts.

20 Not permitted north of NE 90th Street and west of Willows Road.

21 Finance and insurance, convenience use, and personal services uses:

- a. Permitted in Willows/Rose Hill Neighborhood north of NE 95th Street only.
- b. Must be closed a minimum of four hours in any 24-hour period.
- c. Minimum size per tenant is 1,000 square feet gfa.

d. Maximum size per tenant is 20,000 square feet gfa.

e. Shall be secondary use in multi-tenant building; shall not be located in separate building containing only convenience uses.

22 Maximum size is 30,000 square feet gfa in Willows/Rose Hill Neighborhood north of NE 95th Street.

23 For automobile sales, service, or repair:

a. May occupy up to 25 percent of the combined gross floor area.

b. Vehicle display area shall be outside of required parking and landscape areas.

c. Vehicles shall be stored on paved surfaces.

d. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.

e. Vehicle repair shall be conducted indoors.

24 Outdoor loudspeaker systems are prohibited.

25 Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.

26 Limited to government and administration uses only.

21.04.2080 Day Care Centers.

A. ~~Purpose. This section provides development criteria for commercial day care centers in residential zones.~~ **Reserved.**

B. ~~Development Standards:~~

1. ~~Commercial Day Care Centers (Residential Zones):~~

a. ~~Day care centers shall comply with all building, fire, safety, and health codes, and all applicable development standards.~~

b. ~~Day care centers shall obtain a business license and maintain the use license as long as the use operates.~~

c. ~~Day care centers shall obtain all required state approvals.~~

~~d. In the RA-5 zone, stand-alone day care centers are prohibited.~~

~~e. Day care centers shall not be located closer than 300 feet from another existing day care operation in residential zones.~~

~~f. The minimum lot size shall be 20,000 square feet in all residential zones.~~

~~g. Play equipment used in the day care operations shall be placed no closer than 10 feet from any property line.~~

~~h. Off-street parking for each employee shall be provided.~~

~~i. Building design, site plans and landscaping shall be of a character which is appropriate for the area.~~

~~j. Day care centers may be approved in new or existing churches and other places of worship, and no additional approval will be required, provided all other requirements of this section are met.~~

~~k. Day care centers located in residential zones shall operate within the hours of 5:00 a.m. to 10:00 p.m.~~

21.78 Definitions.

~~Day Care Center. An agency which regularly provides temporary care for a group of children between the ages of six weeks to 12 years for periods less than 24 hours in a residence or structure other than the parent's home on a regular recurring basis for pay or other valuable consideration, including but not limited to the furnishing of shelter, sustenance, supervision, education and other supportive services. The term is not intended to include babysitting services of a casual, nonrecurring nature. **"Day Care Center", "Child day care center" and "child care center" mean an agency that regularly provides early childhood education and early learning services for a group of children for periods of less than 24 hours, as defined by RCW 43.216.010 and hereafter amended.**~~

REDMOND ZONING CODE

Code Amendment Summary

Implementing SB 5184 and Parking Provisions of HB 1183

Subject Matter Expert	<i>Jeff Churchill</i>
Author	<i>Jeff Churchill</i>
Policy Basis for Amendment	<i>SB 5184 of the 2025 state legislative session. Portions of HB 1183 of the 2025 state legislative session.</i>
Relevant Code Portions	21.40.010.C, 21.40.010.D

Proposed Amendment Overview

The proposed amendment implements SB 5814 of the 2025 state legislative session and the portions of HB 1183 of the same session related to parking. SB 5184 was codified as RCW 35A.21.445. The portion of HB 1183 related to parking was codified as RCW 36.70A.817. Both laws restrict how cities can regulate off-street parking.

The proposed amendment also codifies an administrative interpretation for measuring the distance to a frequent transit stop.

Rationale

Compliance with state law and clear regulations.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

Concern about sight-obstructing vegetation in parking lots and near crosswalks.

PROPOSED AMENDMENT:

C. **Administration.** In the administration of this section, the following rules shall be used:

1. *Nonconforming Parking.*

a. A development that met the parking requirements in effect at the time it was approved but that does not have sufficient parking spaces to meet the current requirements of this chapter, may continue to operate with the parking deficiency as long as no enlargement is made that would require additional parking spaces;

- b. When a development with nonconforming parking is enlarged so as to require additional parking spaces, the requirements of this chapter shall apply only to the enlargement;
 - c. When a preexisting building with nonconforming parking is remodeled or rehabilitated but not enlarged, the existing use of the building may continue without providing additional parking. In the event that the land use is increased by an addition of building square footage, the minimum level of parking required, including bicycle parking required by this chapter, consistent with the increased land use affected by the change must be provided, or an approved Mobility Management Program, as provided in RZC 21.52.020, Mobility Management Program, must be implemented for the site that effectively reduces parking demand;
 - d. When additional uses are placed on the same lot with the nonconforming parking or an enlarged lot of which the lot with nonconforming parking is a part, the requirements of this chapter shall apply only to the additional use; and
 - e. *Parking in Downtown, Overlake, and Marymoor Village.*
 - i. Developments with nonconforming parking shall not be required to provide additional parking spaces when a change of use occurs, either from non-residential to residential or non-residential to another non-residential use, or minor improvements are performed, provided that the change of use or minor improvement do not enlarge the structure or increase the amount of nonconformity.
 - ii. Developments, sites, and structures where a portion of the site and/or structures have been obtained under threat of condemnation shall not be required to provide additional parking spaces than that which was sufficient to meet the requirements in place during the most recent development or construction of the site.
2. *Separate Parking Facilities.* A parking facility that is required for one establishment shall not be considered as part of the parking facility required for any other enterprise, except for cooperative parking as provided in RZC 21.40.010.F, General Parking Requirements.
3. *Site Plan Entitlement Required.* All proposed parking facilities are subject to the site plan entitlement process of RZC 21.76.070.Y, Site Plan Entitlement.
4. *Car-Sharing Parking.* In all zones except Neighborhood Residential, required parking spaces may be occupied by car-sharing vehicles.

D. Required Off-Street Parking.

1. The minimum required and maximum permitted number of off-street parking spaces for each land use is noted in the Parking Ratio Column of each zone. Where calculations of parking requirements result in fractional amounts, they shall be rounded up if 0.5 or over.

Table 21.40.010D. Required Off-Street Parking

Use Class	Parking Ratio: Unit of Measure (Minimum Required, Maximum Allowed)		
	Within 1/4 Mile of Frequent Transit or in a TOD Focus Area	In a Center, Not Within 1/4 Mile [#] of Frequent Transit, Not in a TOD Focus Area	All Other Locations
Residential ¹			
Dwelling unit, detached	Dwelling unit (0, –)	Dwelling unit (0, –)	Dwelling unit (1.0, –)
Dwelling unit, attached	Dwelling unit (0, –)	Dwelling unit (0, –)	Dwelling unit (1.0, –)

Accessory dwelling unit	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Tiny home	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Cottage	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0, -)
Dwelling unit, multifamily	Dwelling unit (0, 1.0)	Dwelling unit (0.5, 1.25)	Dwelling unit (0.5, 2.0)
Mixed-use residential structure	Dwelling unit (0, 1.0)	Dwelling unit (0.5, 1.25)	Dwelling unit (0.5, 2.0)
Permanent supportive housing, transitional housing	Dwelling unit (0, -)	Dwelling unit (0, -)	Dwelling unit (0.5, -)

Group Home/Congregate Housing

Dormitory or residential suite	Bed (0, 1.0)	Bed (0, 1.0)	Bed (0, 1.0)
Adult family home	Dwelling unit (0, 2.0)	Dwelling unit (0, 2.0)	Dwelling unit (1.0, 2.0)
Long-term care facility	Patient bed (0, 0.25)	Patient bed (0, 0.25)	Patient bed (0.25)
Residential care facility	Patient bed (0, 0.25)	Patient bed (0, 0.25)	Patient bed (0.25)
Retirement residence	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.0)	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.0)	Without skilled nursing: unit (0, 1.0) With skilled nursing: worker on largest shift (0, 1.25)
Emergency housing or emergency shelter	Bed (0, 1.0)	Bed (0, 1.0)	Bed (0, 1.0)

Lodging

Bed and breakfast inn or boarding house	Rental room (0, 1.0)	Rental room (0, 1.0)	Rental room (1.0)
Hotel or motel	Rental room (0, 1.0)	Rental room (0, 1.0)	Rental room (1.0)

General Sales or Service

Retail sales	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Cannabis retail sales	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Business and service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)

Food and beverage	1,000 sq. ft. gfa (0, 5.0) No requirement for kiosks and vending carts	1,000 sq. ft. gfa (0, 7.5) No requirement for kiosks and vending carts	1,000 sq. ft. gfa (0, 9.0)
Drive-up stand	No requirement	No requirement	No requirement
Animal kennel/shelter	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
All other general sales or service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)

Arts, Entertainment, and Recreation

Arts, entertainment, recreation, and assembly	1,000 sq. ft. gfa (1.0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)
Golf course			Adequate to accommodate typical use
Natural and other recreational parks	1,000 sq. ft. land area (0, adequate to accommodate typical use)	1,000 sq. ft. land area (0, adequate to accommodate typical use)	1,000 sq. ft. land area (0, adequate to accommodate typical use)
Adult entertainment facilities	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Water enjoyment use	No requirement	No requirement	No requirement
Piers, docks, floats, and other water-oriented accessory structures	No requirement	No requirement	No requirement

Education, Public, Health, and Other Institutions

Education, government, health care and other institutions	1,000 sq. ft. gfa (0, adequate to accommodate typical use)	1,000 sq. ft. gfa (0, adequate to accommodate typical use)	1,000 sq. ft. gfa (2.0, adequate to accommodate typical use)
Day care center	Employee on maximum shift (0, 1.0)	Employee on maximum shift (0-5 0, 1.0)	Employee on maximum shift (0-5 0, 1.0)
Family day care provider	No requirement	No requirement	No requirement
Faith-based and funerary	Assembly uses: 1,000 sq. ft. gfa (5.0, 10.0) or fixed seats (0.1, 0.2)	Assembly uses: 1,000 sq. ft. gfa (5.0, 10.0) or fixed seats (0.1, 0.2)	Assembly uses: 1,000 sq. ft. gfa (7.5, 10.0) or fixed seats (0.2)

	All other uses: 1,000 sq. ft. gfa (1.0, 3.0)	All other uses: 1,000 sq. ft. gfa (2.0, 3.0)	All other uses: 1,000 sq. ft. gfa (2.0, 5.0)
Secure community transition facility	Adequate to accommodate typical use	Adequate to accommodate typical use	Adequate to accommodate typical use
All other uses	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)

Manufacturing and Wholesale Trade

Manufacturing and wholesale trade	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Artisanal manufacturing, retail sales, and service	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 3.0)	1,000 sq. ft. gfa (0, 5.0)
Cannabis processing	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
All other uses	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)

Transportation, Communication, and Utilities

All uses except those below	1,000 sq. ft. fga (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)	1,000 sq. ft. gfa (2.0, 5.0)
Rapid charging station; local utilities; regional utilities; wireless communication facilities; automobile parking facilities; heliport; float plane facility	No requirement	No requirement	No requirement

Agriculture

All uses	No requirement	No requirement	No requirement
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Other

Construction-related business	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Mining and extraction establishment	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (1.0, 3.0)	1,000 sq. ft. gfa (2.0, 3.0)
Wetland mitigation banking	No requirement	No requirement	No requirement

[# Distance to frequent transit is measured as the walking distance from the nearest property edge to the nearest station or stop with frequent transit](#)

1 There is no minimum off-street parking requirement for middle housing located within one-half mile of a major transit stop as defined in RCW 36.70A.030 or its successor.

There is no minimum off-street parking requirement for the following uses or structure types in accordance with RCW 35A.21.445 and RCW 36.70A.817 or their successors:

- a. **Single-family or middle housing residences under 1,200 square feet.**
- b. **Affordable housing as defined in RCW 36.70A.030 or its successor.**
- c. **Senior housing (defined as retirement residence in RZC 21.78.270).**
- d. **Ground-level non-residential spaces in mixed-use buildings.**
- e. **Buildings that meet passive house requirements as defined in RCW 36.70A.817 or its successor.**
- f. **Modular construction as defined in RCW 36.70A.817 or its successor.**
- g. **Mass timber construction as defined in RCW 36.70A.817 and RCW 19.27.570 or their successors.**

2. All multifamily and nonresidential development over 1,000 square feet of gross floor area must include at least two accessible parking spaces, even if doing so would exceed the required off-street parking minimums or maximums or exceed Americans with Disabilities Act (ADA) requirements. In the case where an accessible space would exceed ADA requirements, the Code Administrator may approve designating adjacent on-street parking as a designated accessible space in lieu of providing an on-site space. Existing on-street spaces that are designated as accessible can be counted toward the requirements of this subsection. The Code Administrator may waive the requirements to provide accessible parking in excess of ADA requirements if the Code Administrator determines that requiring the spaces would (a) not meet the nexus and rough proportionality tests as described in RZC 21.17.010.B.2, or (b) substantially impact the feasibility of the project.

3. The Administrator may approve alternative minimum parking requirements for specific uses on specific development sites where the land use permit applicant demonstrates, through a parking study prepared by a qualified expert, that the alternative requirement will provide sufficient parking to serve the specific use without adversely impacting other uses and streets in the vicinity. The Administrator may require the recording of a covenant or other instrument restricting the use of the property to the specific use for which the alternative minimum parking requirement was approved. Where a parking study does not demonstrate that available parking stalls will adequately serve the proposed use, reductions below the minimum requirement may be approved if a mobility management program that effectively reduces parking demand as provided in RZC 21.52.020, Mobility Management Program, is approved and recorded with the property.

The Technical Committee may require alternative parking programs if there is a need to reduce overall parking to alleviate significant adverse environmental impacts.

4. Required parking may be provided off site within 600 feet of the site, unless otherwise approved by the Administrator, when secured by an easement.

REDMOND ZONING CODE

Code Amendment Summary

Implementing SB 5611 for Permitting Timelines and Binding Site Plans

Subject Matter Expert	<i>David Lee</i>
Author	<i>Lauren Alpert</i>
Policy Basis for Amendment	<i>SB 5611 of the 2025 state legislative session.</i>
Relevant Code Portions	21.74.030.L

Proposed Amendment Overview

The proposed amendment implements SB 5611 concerning permitting timelines and binding site plans.

Rationale

The provisions of SB 5611 that require changes to the Redmond Zoning Code are provisions that allow the binding site plan process to be used for multifamily developments. This proposal implements that change in state law.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

PROPOSED AMENDMENT:

L. Binding Site Plans.

1. Scope. This subsection establishes the procedures to be used for the division of land using the binding site plan process pursuant to RCW 58.17.035. [For purposes of RZC 21.74.030.L, commercially zoned property includes property that is zoned to permit or conditionally permit any multifamily residential uses.](#) Division of land using the binding site plan process is limited to:

- a. Divisions for the sale or lease of commercial or industrial zoned property;
- b. Divisions for the purpose of lease when no residential structures other than mobile homes or travel trailers are permitted to be placed on the land; and

c. Divisions of land into lots or tracts made under the provisions of the Horizontal Properties Regimes Act (RCW Chapter 64.32) or the Condominium Act (RCW Chapter 64.34).

2. Approval Process. Binding site plans shall follow the procedures established in RZC 21.76.050.G, Type II Review.

3. Drawing Requirements. Binding site plans shall be drawn at a scale no smaller than one inch equals 50 feet, unless a different scale is approved by the Administrator, and shall include:

- a. The design of any lots and building envelopes and the areas designated for landscaping and vehicle use;
- b. The areas and locations of all streets, roads, improvements, utilities, easements, open spaces, critical areas, and any other matters specified by the development regulations;
- c. Inscriptions or attachments setting forth such appropriate limitations and conditions for the use of the land as are established by the City of Redmond; and
- d. Provisions requiring that any development shall comply with the approved site plan.

4. Post-Approval Requirements. The following requirements shall apply to proposals submitted under this subsection:

- a. Approved binding site plans shall be submitted for recording with the King County Department of Records and Elections;
- b. All provisions, conditions, and requirements of the binding site plan shall be legally enforceable on the purchaser or any person acquiring a lease or other ownership interest of any lot, parcel, or tract created pursuant to the binding site plan. A sale, transfer, or lease of any lot, tract, or parcel that does not conform to the requirements of the binding site plan approval shall be considered a violation of this chapter.
- c. All development shall be in conformity with the approved binding site plan and any existing or subsequent applicable permit approval. Each binding site plan document shall reference the requirement for compliance with any existing or subsequent permit approval.
- d. Amendments to an approved binding site plan shall follow the process established in RZC 21.76.090.D, Administrative Modifications. Vacations of an approved binding site plan shall be made through the subdivision vacation process; and
- e. Approved binding site plans may contain any easements, restrictions, covenants, or conditions as would a subdivision approved by the City.

REDMOND ZONING CODE

Code Amendment Summary

Co-Living Residential Suites Regulatory Gaps

Subject Matter Expert	<i>Ian Lefcourte</i>
Author	<i>Ian Lefcourte</i>
Policy Basis for Amendment	<i>N/A. Changes are clean-ups / alignment with Redmond 2050.</i>
Relevant Code Portions	RZC 21.04.0100. RESIDENTIAL USE TABLE RZC 21.08.200 DEVELOPMENT STANDARDS RZC 21.78. DEFINITIONS

Proposed Amendment Overview

Amendments are proposed in the residential use table and definitions section concerning residential suites to ensure alignment with Redmond 2050 policy direction.

- RZC 21.78:
 - Strike a portion of the dwelling unit definition.
 - Revise "Residential Suite" definition to:
 - Include synonyms: co-living, single-room occupancy, efficiency suite, etc.
 - Align with RCW definition: Residential Suite housing is a residential development with sleeping units that are independently rented and provide living and sleeping space, in which residents share kitchen facilities with residents of other units in the building.
 - Add text that Residential Suites "count as" dwelling units for the purposes of affordable housing requirements (RZC 21.20 and RMC 3.38)
- RZC 21.04.0100. RESIDENTIAL USE TABLE:
 - Revise "Residential Suite" footnote for the NR zone that RS only allowed if 100% of units in the development are Residential Suites.
- RZC 21.08.200. DEVELOPMENT STANDARDS
 - Clarifies how dormitory and residential suite developments are regulated, for development standards and maximum structure square footage in the Neighborhood Residential zone.

Rationale

The amendments are intended to:

- Ensure that residential suites continue to comply with affordable housing regulations
- Ensure that residential suites are not created in name only as a way of circumventing maximum square footage per lot regulations in the Neighborhood Residential zone.
- Ensure consistency in how residential suites are referenced across the zoning code.
- Clarify development standards for dormitory and residential suite uses in Neighborhood Residential zone.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

PROPOSED AMENDMENT:

21.04.0100. RESIDENTIAL USE TABLE

Revise table note 8:

8. Dormitories: limited to developments with six or more dormitory rooms. Residential Suites: Limited to developments with six or more residential suite dwelling units per lot. Not permitted for developments with less than six dwelling residential suite units.

Table 21.08.200.B. Neighborhood and Mixed-Use Development Standards

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR ¹⁰	NMF	NMU	CMU	UMU	

Add new table note 9, applicable to the Neighborhood Residential zone.

9. Developments of Dormitory or Residential Suite land uses, in the Neighborhood Residential zone, are not regulated by the maximum dwelling units per lot metrics. The development must comply with all other Neighborhood Residential development standards (e.g., building height, maximum impervious surface, etc.).

Table 21.08.200C. Maximum Total Gross Floor Area for All Structures Within the Lot

Standards
The maximum for the total square footage for all structures within the lot shall be determined by the quantity of dwelling units provided on the lot. Below grade floor area shall count toward maximum total gross floor area.
<u>Developments of the Dormitory or Residential Suite land uses, in the Neighborhood Residential zone, are exempt from the per-dwelling unit regulations of Table 21.08.200C. Maximum Total Gross Floor Area for All</u>

Standards

Structures Within the Lot. Instead, the maximum for the total square footage for all structures within the lot for Dormitory or Co-Living developments is 15,000 square feet.

Provisions for the measuring of gross floor area for all structures within the Neighborhood Residential zone are described in RZC 21.16.200, Building Measurements and Placement Standards.

Total Number of Dwelling Units for All Structures on Lot	Maximum Square Footage for Total Structures
1	4,500
2	6,000
3	7,500
4	9,000
5	10,500
6	12,000
7	13,500
8	15,000

21.78 Definitions:

Dwelling Unit. A single unit providing complete, independent living facilities for not more than one family and permitted roomers and boarders, including permanent provisions for living, sleeping, eating, cooking, and sanitation. ~~An efficiency unit with access to a shared kitchen on the same floor shared by no more than eight units that do not have private kitchens is considered to be a dwelling unit.~~ A mobile home, manufactured home, modular home, middle housing home, apartment, condominium, single-family detached house, accessory dwelling unit, or tiny home is considered to be a dwelling unit.

Residential Suite. ~~A dwelling unit that is limited in size and shares common facilities such as a kitchen.~~ A residential development with sleeping units that are independently rented and lockable and provide living

and sleeping space, and residents share kitchen facilities with other sleeping units in the building. This definition is inclusive of other names to refer to residential suite housing including, but not limited to, congregate living facilities, single room occupancy, rooming house, boarding house, lodging house, co-living housing, efficiency unit, and eco-suite. Residential suite units are considered “dwelling units” for the purposes of affordable housing provisions of RMC 3.38 and RZC 21.20.

REDMOND ZONING CODE

Code Amendment Summary

Affordability Substitutions

Subject Matter Expert	<i>Ian Lefcourte</i>
Author	<i>Ian Lefcourte</i>
Policy Basis for Amendment	<i>N/A. Changes are clean-ups / alignment with Redmond 2050.</i>
Relevant Code Portions	RZC 21.20

Proposed Amendment Overview

The amendment adds a general substitution provision back to RZC 21.20 that was removed in Redmond 2050. The substitution allowed applicants to provide one 50% AMI affordable housing unit in lieu of providing two 80% AMI affordable housing units. This general substitution provision was removed because the initial Redmond 2050 project approach for RZC 21.20 was for each subarea or zone to be updated with bespoke affordability requirements. However, the project approach was revised such that certain subareas did not receive bespoke affordability requirement updates. As such, a general substitution provision needs to be added back to the code.

Rationale

Alignment with Redmond 2050.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

WORKING AMENDMENT:

21.20.030 General Requirements and Incentives.

E. ~~Reserved.~~ Substitutions of 50 percent AMI units. Unless superseded by other provisions in RZC 21.20, Affordable Housing, developments may provide 50 percent AMI affordable housing units to satisfy affordable housing unit requirements of 80 percent AMI affordable housing units. Each 50 percent AMI affordable housing unit provided counts as two 80 percent AMI affordable housing units for the purpose of satisfying the affordable unit requirements associated with that development.

REDMOND ZONING CODE

Code Amendment Summary

Miscellaneous Corrections in RZC Article I

Subject Matter Expert	<i>Jeff Churchill, Kimberly Dietz, Beckye Frey, Ian Lefcourte</i>
Author	<i>Jeff Churchill</i>
Policy Basis for Amendment	<i>PI-17: clear regulations that avoid duplication and inconsistency.</i>
Relevant Code Portions	RZC Table 21.08.200.B, Table 21.08.300.A, Table 21.10.200, Table 21.13.200.D, Table 21.04.0200, Table 21.12.500

Proposed Amendment Overview

The proposed amendment corrects several errors, inconsistencies, or implementation issues identified after the adoption of the Redmond 2050 Comprehensive Plan and related updates to development regulations. The amendment addresses only RZC Article I and includes:

- Neighborhood Residential zone garage setbacks.
- Neighborhood zones lot standards.
- Maximum building height examples.
- Kennels in the Manufacturing Park zone.
- Minimum height in Overlake.
- Clarification on incentive points for Overlake

Rationale

Clear and consistent regulations. Consistency with the Redmond 2050 Comprehensive Plan.

Neighborhood Residential Zone Garage Setbacks

First, the purpose of the code is to prevent parked vehicles from encroaching into sidewalks or rights of way. This issue is an issue for any of these five zones where driveways are likely to occur and there are residents making use of the sidewalks and rights of way. Second, and related, the City has an obligation under the Americans with Disabilities Act to maintain accessible sidewalks. Vehicles that overhang the sidewalk impair sidewalk accessibility.

Neighborhood Zones Lot Standards

Some lot standards were erroneously omitted from the November 2024 amendments to the June 2025 amendments. Proposed amendments add the relevant lot standards back into the code.

Maximum Building Height Examples

The math in the examples is incorrect and needs to be corrected.

Kennels in MP Zone

Kennels were previously permitted in the MP zone. When uses were “rolled-up” into broader use categories, kennels were inadvertently excluded from being permitted in the MP zone. This proposal corrects that error.

Minimum Building Height in Overlake

Most buildings in Overlake are subject to a minimum building height requirement. There are exemptions for covered entryway features, and there are averaging provisions that apply to single buildings and multibuilding sites. Accessory structures are often small and ancillary to overall site design. Exempting them makes practical sense and does not impede advancing Redmond 2050 goals for density in Overlake.

Clarification on Incentive Points for Overlake

The Overlake points to FAR conversion is not as clear in the code as the new table for the other zones. To provide clarity and transparency, proposing an edit to the Overlake conversion tables. Also providing a minor edit that clarifies which table applies to OUMF zone, based on developer feedback.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

None to date.

EXISTING CODE:

<see proposed amendments section below>

AMENDMENTS SUMMARY:

Chapter	Topic/Purpose of Edit	Description of Edit
21.04 Land Uses and General Provisions	Corrections (a typo and a few limitations from previous code that should have made the conversion but didn't) and clarifications	<ul style="list-style-type: none">• Table 21.04.0200, correct Animal Kennel note in I zone from L-15 to <u>L 1</u>• Table 21.04.0200, add note <u>7 E</u> to MP zone column in row titled “Education, government, health care and other institution”• Table 21.04.0200 add to 7j: <u>(unless permitted as a supplementary use per 21.04.2220.J)</u>• Table 21.04.0200 add cross references to parking facility: <u>See also RZC 21.40 and RZC 21.58.5310. In shorelines see RZC 21.68.140.</u>• Table 21.04.0200 add note <u>27: Not allowed within 500 ft of Neighborhood zones</u>• Table 21.04.0200 add L 27 reference to UMU and BP zones
	Clarify that garage door setbacks apply throughout	Move Note 2 reference in Table 21.08.300.A from zone cell to row header cell (apply to all zones)

21.08 Neighborhood and Mixed-Use Zones		
	Reinstate minimum lot sizes and frontage requirements	Add regulations to development standards Table 21.08.200.B related to minimum lot sizes and minimum frontages
21.10 Downtown Zones	Correction to building height exemption example	Fix typo in Table 21.10.200, Note 4
21.12 Overlake Zones	Exemptions for accessory buildings and temporary structures	Add notes to minimum building height and minimum first floor clearance requirements to allow exemptions: <ul style="list-style-type: none"> • Table 21.12.500, Note 2 and 5 that temporary and accessory structures are exempt.
21.13 Marymoor Village Zones	Correction to building height exemption example	Fix typo in Table 21.13.200.D, Note 4
21.55 Development Incentives	Clarifications (no change to current processes)	<ul style="list-style-type: none"> • Edit to tables Table 21.13.4100.B and 4100.C to show 0.02 FAR per point • Minor edit to make clear which table applied to OUMF.

PROPOSED AMENDMENTS:

21.04.0200 Nonresidential Use Table.

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
General Sales or Service																					
Retail sales	N	N	L 1, 2	L 2	L 2	L 1, 2	L 2	L 2, 7J	L 1, 2, 3e	L 2	L 2	L 1, 2	L 1, 2	L 1, 2, 3A, 3B, 3C	L 2, 20 / C	L 2, 15, 16 / C	L 2, 14, 23, 24, 25	N	N	N	Gasoline sales require a CUP. For kiosks and other temporary uses see RZC 21.04.4000 For animal sales, see RZC 21.04.2040 For vehicle sales, see RZC 21.04.2220
Cannabis retail sales	N	N	N	P	P	N	N	N	P	P	P	P	P	N	P	L 15	N	N	N	N	See RZC 21.04.2070
Business and service	N	N	L 1	P	P	P	P	L 7J	P	P	P	L 3E / C	L 3E	L 1, 3A, 3B, 3C, 3E	L 21	L 2, 7F, 7G, 7H, 16	L 2, 23	N	N	N	A CUP is required for auto rental and animal sales and services
Food and beverage	N	N	L 1	P	P	P	P	L 1, 17, 18, 19a	P	P	P	L 4	P	L 1, 4	L 17, 18, 19b	L 10, 17, 18, 19a	L 17, 18, 19b / C	N	N	N	For food carts, food trucks, and other temporary uses see RZC 21.04.4000
Food truck, pop-up retail court	N	L 1	L 1	P	P	P	P	N	P	P	N	P	P	N	P	P	P	N	N	N	See RZC 21.04.2140
Drive-up stand	N	N	N	P	P	P	P	P	P	P	P	P	P	N	P	P	N	N	N	N	See RZC 21.04.2090
Animal kennel/shelter	N	N	N	P	L 1	L 1	L 1	N	L 1	L 1	L 1	L 1	L 1	N	N	L 1, 46	N	L 15	C	N	See RZC 21.04.2040
Arts, Entertainment, and Recreation																					
Arts, entertainment, recreation, and assembly	L 1, 7a, 7b, 7c / C	L 1, 7a, 7b, 7c / C	L 1 / C	P	P	P	P	C	P	P	P	P	P	L 1, 7 / C	L 22	P	N	C	C	C	A CUP is required for athletic, sports, and play fields, marine recreation, and commercial swimming pools. See RZC 21.04.2210 and 21.04.2050 For special regulation for uses in the UR zone see RZC 21.04.2210

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Golf course	L 2 / C	L 2 / C	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2 / C	L 2 / C	N	See RZC 21.04.2210
Natural and other recreational park	P / C	P / C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P / C	C	A CUP is required for commercial facilities. See RZC 21.04.2210
Adult entertainment facilities	N	N	N	N	C	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	See RZC 21.04.2030
Education, Public, Health, and Other Institutions																					
Education, government, health care and other institution	L 1 / C	L 1 / C	L 1 / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	L 2, 7D, 7E, 16 15 / C	N	N	L 26 / C	N	A CUP is required for educational facilities with capacity > 150 full-time-equivalent students. A CUP is required in the RA-5 zoning district.
Day care center	L 13 / C	L 13 / C	L 13	P	P	P	P	P	P	P	P	P	P	P	P	L 15	N	N	N	N	A CUP is required in NR and NMF. See RZC 21.04.2080
Family day care provider	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N	N	P	P	See RZC 21.04.1150
Faith-based	P / C	P / C	N	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	P / C	N	N	N	N	A CUP is required for uses with over 250 seats. See RZC 21.04.2130
Funerary	P / C	P / C	N	N	P	N	P	P	P / C	P / C	P / C	P / C	P / C	N	N	P / C	N	N	N	N	A CUP is required for uses with over 250 seats. See RZC 21.04.2130
Secure community transition facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	See RZC 21.76.070.M
Manufacturing and Wholesale Trade																					
Manufacturing and wholesale trade	N	N	N	N	L 2	N	L 1, 2	L 1, 2	N	N	N	L 3D	L 3D	N	L 2	L 2	L 2	N	N	N	See RZC 21.04.2170
Artisanal manufacturing, retail sales, and service	N	N	L 1	L 1	P	L 1	P	P	L 1	L 1	L 1	L 1, 3E	L 1, 3E	N	P	L 2	L 2	N	N	N	

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Cannabis processing	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	See RZC 21.04.2070
Transportation, Communication, and Utilities																					
Postal services	N	N	N	N	N	N	N	P	P	P	P	P	P	N	N	P	N	N	N	N	
Automobile parking facility	N	N	N	N	L 27	N	P	N	N	P	P	N	N	N	L 27 P	N	N	N	N	N	See RZC 21.40 and RZC 21.58.5310. In shorelines see RZC 21.68.140.
Truck and freight transportation	N	N	N	N	N	N	N	P	N	N	N	N	N	N	N	L 2	L 2	N	N	N	See RZC 21.04.2220
Towing operators and auto impoundment yards	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	L 2	N	N	N	See RZC 21.04.2220
Road, ground passenger, and transit transportation	N	N	N	N	P	L 1	L 1	P	N	P	P	P	P	N	P	P	P	N	N	N	
Rail transportation	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	N	N	
Heliport	L 9 / C	L 9 / C	N	N	P	N	C	C	N	N	N	N	N	N	C	C	C	N	N	N	
Rapid charging station	N	N	N	P	P	L 14	P	P	P	P	P	L 1	L 1	L 1	L 14	L 14	L 14	N	N	N	
Wireless communication facilities	P	P	L 1 / C	P	P	L 1 / C	P	P	L 1 / C	P	P	L 1 / C	L 1 / C	P	P	P	P	N	P	P	See RZC 21.04.2230. A CUP is required for large satellite dishes; amateur radio tower; antenna array, base station, and support structures
Local utilities	P	P	L 1 / C	L 1 / C	P	L 1 / C	L 1 / C	L 1 / C	P	P	P	P / C	P / C	P / C	P	P	P	N	P	P	A CUP is required if 40 feet in height or greater
Regional utilities	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	L 1 / C	P / C	P / C	P / C	P	P	P	N	C	C	A CUP is required if 40 feet in height or greater
Solid waste transfer and recycling	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	L 2	N	N	N	

Nonresidential Uses by Zone <small>P = A use class is permitted L = Limited use, see note number(s) indicated C = A conditional use permit (CUP) is required N = Not permitted</small>	Neighborhood Zones			Citywide Mixed-Use Zones		Marymoor Village Zones			Downtown Zones			Overlake Zones			Nonresidential Zones					Notes and References	
	NR	NMF	NMU	CMU	UMU	MME	MMC	MMM	DTE	DTC	TWNC	OV	OBAT	OUMF	BP	MP	I	UR	RA-5		COS
Hazardous waste treatment and storage, incidental	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	L 2	L 2	N	N	N	See RZC 21.04.2160
Hazardous waste treatment or storage, primary	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2 / C	L 2	N	N	N	See RZC 21.04.2160
Water extraction well	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2	N	N	
Agriculture																					
Animal production	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 11	L 11	N	See RZC 21.04.2040
Crop production	P	P	P	N	N	P	N	N	P	N	N	P	P	P	N	N	N	P	P	N	
Cannabis production	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	See RZC 21.04.2070
Equestrian facility	L 12 /C	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	See RZC 21.04.2040
Roadside produce stand	P	P	P	P	P	P	P	N	P	P	P	P	P	N	N	N	N	P	P	N	
Other																					
Construction-related business	N	N	N	N	N	N	N	P	N	N	N	L 3D, 3E, 6	L 3D, 3E, 6	N	P	L 2	L 2	N	N	N	
Mining and extraction establishment	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	L 2/C	N	N	N	See RZC 21.04.2180
Wetland mitigation banking	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	P	

Notes and Limitations

1 Shall not be materially detrimental in terms of noise, truck traffic, vibrations, odors, and other potential operational impacts with neighborhood units or nearby mixed-use/residential developments. Application of this note is limited in the MMC and MMM zoning districts to new structures permitted after June 17, 2017.

2 For properties in a CARA this use may be restricted or prohibited. See RZC 21.64.050.

3 Uses Not Permitted:

- a. Gasoline service;
- b. Outdoor automobile sales, rental or service;
- c. Rental storage and mini-warehouses;
- d. Warehouse and storage services;

- e. Outdoor storage.
- 4** Limited to less than 75,000 square feet gross floor area in a single use.
- 5** Membership wholesale/retail warehouse limited to showroom only with a maximum size of 75,000 square feet gross floor area.
- 6** Administrative office/business functions only.
- 7** Is limited to:
 - a. Athletic, sports, and play fields.
 - b. Marine recreation.
 - c. Commercial swimming pools.
 - d. Education facilities allowed in MP zones outside of MP Overlay but limited to technical, trade, and other specialty schools only.
 - e. Animal kennels.
 - f. Real estate services limited to mini-warehouse/self-storage only.
 - g. Professional services limited to research and development services and other uses that support another permitted use within the MP zone only.
 - h. Administrative services limited to corporate headquarters and regional offices associated with manufacturing and wholesale trade uses within an MP zone.
 - i. Athletic club or fitness center.
 - j. Repair and rental of goods ([unless permitted as a supplementary use per 21.04.2220.J](#))
- 8** Includes noncommercial indoor recreation uses, such as community clubhouses, indoor swimming pools, and other similar facilities.
- 9** Permitted only abutting Lake Sammamish. Excludes medical airlift.
- 10** Limited to mixed-use developments. Not permitted as a stand-alone use.
- 11** All commercial livestock, dairy and fowl enterprises limited to lots 35,000 square feet in size or larger, and must meet Seattle-King County Health Department regulations and the regulations of Redmond's Municipal Code. Personal, noncommercial livestock, dairy, and fowl activities are considered an accessory use and are allowed; provided, that all Health Department and Municipal Code requirements are met.
- 12** Limited to lots 35,000 square feet or larger.
- 13** Day care uses are only permitted in a building or building complex used for other uses, such as a school, church, meeting hall, or some other building used for more than one purpose.
- 14** Shall not be located on a parcel that abuts a Neighborhood Residential or Neighborhood Multifamily zone.
- 15** Only allowed in the MP Overlay (see note 7D for educational facilities).
- 16** [The following uses are limited](#) ~~Limited~~ to MP Overlay only: pet and animal sales or services (except veterinary), ambulatory and outpatient health care services, health and personal care, and finance and insurance.
- 17** Shall be located in multi-tenant buildings or a single building in a multibuilding, multi-tenant complex.

- 18** Fifty-person seating capacity, except when associated with manufacture of food or kindred products. In that case, maximum is 100-person seating capacity, so long as the seating area does not occupy more than 25 percent of combined gross floor area. The seating limit does not apply when the use is secondary to a winery or brewery, but the 25 percent limit continues to apply.
- 19** Hours of operation limited to:
 - a. 6:00 a.m. – 12:00 p.m. in the MMM and MP zoning districts.
 - b. 6:00 a.m. – 10:00 p.m. in the BP and I zoning districts.
- 20** Not permitted north of NE 90th Street and west of Willows Road.
- 21** Finance and insurance, convenience use, and personal services uses:
 - a. Permitted in Willows/Rose Hill Neighborhood north of NE 95th Street only.
 - b. Must be closed a minimum of four hours in any 24-hour period.
 - c. Minimum size per tenant is 1,000 square feet gfa.
 - d. Maximum size per tenant is 20,000 square feet gfa.
 - e. Shall be secondary use in multi-tenant building; shall not be located in separate building containing only convenience uses.
- 22** Maximum size is 30,000 square feet gfa in Willows/Rose Hill Neighborhood north of NE 95th Street.
- 23** For automobile sales, service, or repair:
 - a. May occupy up to 25 percent of the combined gross floor area.
 - b. Vehicle display area shall be outside of required parking and landscape areas.
 - c. Vehicles shall be stored on paved surfaces.
 - d. Advertising signs are not permitted on the outside of vehicles. Signs providing information about the vehicle, such as year, make, model, etc., may be displayed on the outside of or in the windows of vehicles.
 - e. Vehicle repair shall be conducted indoors.
- 24** Outdoor loudspeaker systems are prohibited.
- 25** Razor wire, chain link, and barbed wire fences prohibited on street or access frontage.
- 26** Limited to government and administration uses only.
- 27** [Not allowed within 500 ft of Neighborhood zones.](#)

21.08.200 Development Standards.

A. All legal lots in Citywide Mixed-Use zones are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings, provided all other applicable site requirements are met.

B. Table 21.08.200.B contains the basic zoning regulations that apply to development within the Neighborhood and Mixed-Use zones.

Table 21.08.200.B. Neighborhood and Mixed-Use Development Standards

Development Standards	Neighborhood Zones			Citywide Mixed-Use		References
	NR	NMF	NMU	CMU	UMU	
Base Maximum Dwelling Units Per Lot (w/o one on-site affordable housing unit)	6	N/A	N/A	N/A	N/A	
Base Maximum Dwelling Units Per Lot (with one on-site affordable housing unit)	8	N/A	N/A	N/A	N/A	RZC 21.20.060.A.1 , at least one affordable unit, affordable to households earning up to 80 percent AMI, must be provided on site on the same lot.
Base Maximum FAR (w/o Incentives)	N/A	1.1 ¹	0.6 ¹	2.0 ¹	4.5 ¹	
Maximum FAR with incentives (outside TOD Focus Area / inside TOD Focus Area)	N/A	1.5 / N/A	1.0 ² / N/A	3.0 / N/A	6.5 / 8.0	Portions of UMU zones qualify for Marymoor Village TOD incentives. See RZC Chapters 21.05 and 21.55 .
Commercial Square Feet	N/A	N/A	Min. 500 sq. ft.	N/A	No Net Loss ³	
Ground Floor Ceiling Height (minimum)	N/A	N/A	N/A	16 ft. ^{4,5}	20 ft. ^{4,5}	Applicable to nonresidential and mixed-use projects.
Base Maximum Height (w/o Incentives)	38 ft.	60 ft.	38 ft.	45 ft. ⁶	60 FT ⁶	<ul style="list-style-type: none"> • See RZC Chapter 21.58 for design standards options impacting maximum building height. • Portions of UMU zones qualify for Marymoor Village TOD incentives. See RZC Chapters 21.05 and 21.55. • See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.58.5200, Towers, for additional regulations regarding building heights and floorplates.
Maximum Height with Incentives (outside TOD Focus Area / inside TOD Focus Area)	N/A	N/A	N/A	65 ft. / N/A ⁶	85 ft. / 144 ft. ⁶	
Maximum Impervious Surface	70% ⁷	75% ⁷	70% ⁷	70% ⁷	75% ⁷	
Lot Coverage	50% / 60% ⁸	60%	60%	65%	70%	
Average Minimum Lot Size	3,000 sq. ft.	n/a	3,000 sq. ft.	n/a	n/a	
Lot Frontage Minimum	20 ft.	30 ft.	20 ft.	n/a	n/a	

NOTES:

¹ The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded. Where publicly accessible open space and amenities are provided on

upper stories or rooftop, and spaces meet all requirements of RZC 21.36.400, the FAR for those spaces may be excluded from maximum FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC 21.36.400, plaza and open space design criteria.

2 Maximum FAR can be increased through incentives if the property contains one or more housing units. Incentives are not available for properties that do not contain housing. See RZC Chapter [21.55](#).

3 New development must retain or replace existing commercial square footage (excluding hotel and lodging uses). Development may reallocate or modify areas allocated to commercial uses, subject to a minimum floor area and active pedestrian uses requirements to be negotiated as a condition to any development agreement.

4 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways; and
- d. Parcels zoned UMU within the Marymoor Village Center shall have a minimum 16-foot ground floor ceiling height to be consistent with the adjacent Marymoor Core zone.

5 A minimum of 50 percent of the first floor nonresidential space must meet the minimum ceiling height. First floor nonresidential spaces shall have a ceiling height of 16 feet minimum for the entire first floor.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first floor ceiling height greater than 10 feet to meet minimum ground floor ceiling height requirements, the additional ground floor

ceiling height may increase the maximum building height. For example, if first floor is 20 feet, the maximum building height increases by 10 feet (20 - 10 = 10 foot increase in max building height).

6 Properties in the CARA

a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).

b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all of the following criteria are met:

- i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
- ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
- iii. The additional height on street frontages meets a 20 foot step-back to limit impacts to the pedestrian realm.

7 Other regulations will impact the impervious surface area and may result in less than the maximum impervious area. These include but are not limited to critical areas requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

8 Lot coverage for structures maximum will be 60 percent of total area for lots which meet the following requirements:

- a. The lot is 18,000 square feet or less; and
- b. The lot contains at least three dwelling units.

21.08.300 Street Typology and Relationship to Buildings.

A. *Building and Street Relationships.*

1. The table below sets standards that contribute to an attractive public realm.
2. Improvements less than 30 inches above grade, including decks, patios, walks and driveways are permitted in setbacks. Fences, landscaping, flagpoles, street furniture, transit

shelters, and slope stability structures are permitted in setback areas; provided, that all other applicable requirements are met. No other structures, including accessory structures, are permitted in setback areas.

3. Administrative design flexibility for setbacks is allowed for site-specific conditions that limit the ability to place the building at the street level, including but not limited to topography, easements, SR 520 ROW, or trails.

Table 21.08.300.A. Neighborhood and Mixed-Use Building Placement Standards

Development Standards	Neighborhood Zones			Citywide Mixed Use		References
	NR	NMF	NMU	CMU	UMU	
Front Setback Min.	10 feet	30 feet	10 feet	10 feet	10 feet	NMU reduced front setback for commercial spaces (2 feet)
Side (Street) Setback Min.	10 feet ¹	15 feet	10 feet	10 feet	10 feet	
Side (Interior) Setback Min.	3 feet ¹	15 feet	3 feet	10 feet	10 feet	
Rear Setback Min.	5 feet	10 feet	5 feet	10 feet	10 feet	
Garage Setback from main building frontage, Min. ²	N/A	N/A	3 feet ²	N/A	N/A	
Alley Setback Min.	2 feet	4 feet	2 feet	N/A	N/A	
Lake Sammamish Setback Min.	35 feet	35 feet	35 feet	N/A	N/A	
Building Separation Min.	5 feet ¹	15 feet	5 feet	N/A	N/A	

NOTES:

1 Zero lot line exception: Standards may vary for developments that comply with the zero lot line regulations in RZC 21.16.200.D.

2 If a residential garage door or carport faces the street front, the minimum driveway depth outside the building – measured from the outer

...

edge of the existing or ultimate sidewalk, or from the right-of-way line, whichever is closer to the building – shall be at least 18 feet, to prevent vehicle parking on the driveway from overhanging into the sidewalk or right-of-way area.

21.10.200 Downtown Development Standards.

A. All legal lots are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings provided all other applicable site requirements are met.

B. Table 21.10.200 contains the basic zoning regulations that apply to development within the Town Center (TWNC), Downtown Core (DTE), and Downtown Edge (DTE) zoning districts.

Table 21.10.200. Downtown Development Standards

Development Standards	Downtown Zones			Notes
	TWNC	DTC	DTE	
Base Max FAR (w/o incentives)	5.0 ¹	4.5 ¹	3.0 ¹	
Max FAR w/ incentives (outside TOD focus area/inside TOD focus area)	6.5 / 8.0 ¹	6.5 / 8.0 ¹	3.75 ¹ / N/A	Additional floor area can be earned with incentives (see RZC Chapter 21.55) and through the transfer of development rights program (see RZC Chapter 21.48).
Base Max Height (w/o incentives)	60 ft. ²	60 ft. ²	45 ft. ²	• See RZC Chapter 21.58 for building design options with building height impacts.
Max Height with Incentives (outside TOD Focus Area 144 / inside TOD Focus Area)	85 ft. / 144 ft. ^{2,3,4,5}	85 ft. / 144 ft. ^{2,3,4,5}	60 ft. ^{2,3,4,5} / N/A	• See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.58.5200 , Towers, for additional regulations regarding building heights and floorplates.
Ground Floor Ceiling Height (minimum) in TOD Focus Area	16 ft. ^{3,4}	16 ft. ^{3,4}	16 ft. ^{3,4}	Applicable to nonresidential and mixed-use projects.
Lot Coverage	100% ⁶	100% ⁶	100% ⁶	

Notes:

1 Floor Area Ratio: The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases, provided the maximum FAR is not exceeded.

2 Building Height

a. Building height is limited to three stories for parcels fronting Leary Way from NE 80th Street to a half-block south of NE 76th Street.

b. Additional height can be earned with incentives (see RZC Chapter [21.55](#)) and through the transfer of development rights program (see RZC Chapter [21.48](#)).

c. Additional height can be earned by utilizing specified architectural techniques in RZC Chapter [21.58](#) or via incentives in RZC Chapter [21.55](#).

d. The height limit in the Shoreline Jurisdiction (SMP) is 35 feet (see RZC [21.68.020](#)).

3 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
 - b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter [21.20](#); and
 - c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.
- 4** A minimum of 50 percent of the first floor nonresidential space must meet the minimum ceiling height of 16 feet.
- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
 - b. For portions of the building that have a first-floor ceiling height greater than 10 feet to meet minimum ground-floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if first floor is 16 feet, the maximum building height increases by ~~six~~ **six** ~~four~~ feet (16 - 10 = six foot increase in maximum building height).

- a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).
- b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building height may be exceeded by up to 12 feet if all of the following criteria are met:
 - i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
 - ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
 - iii. The additional height on street frontages meets a 20-foot step-back to limit impacts to the pedestrian realm.

6 Other regulations will impact the maximum lot coverage and may result in less than the maximum, including critical area requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

5 Properties in the CARA

21.12.500 Overlake Development Standards.

The following table contains the basic zoning regulations that apply to development within the Overlake Village (OV), Overlake Business and Advanced Technology (OBAT), and Overlake Urban Multifamily (OUMF) zones:

Table 21.12.500. Overlake Development Standards

Development Standards	Overlake Zoning Districts			Notes
	OV	OBAT	OUMF	
Base FAR ¹ (w/o Incentives)	5	3	3	
Maximum FAR With Incentives	FAR maximum waived when maximizing incentive program	Outside TOD Focus Area: maximum 9.5 FAR Inside TOD Focus Area: FAR maximum waived when maximizing incentive program		See RZC 21.12.600 for incentive related adjustments to FAR ³
Minimum Height	4 stories or 45 feet, whichever is less ²	In TOD Focus Area: 4 stories or 45 feet whichever is less ² Elsewhere: 3 stories or 35 feet, whichever is less ²	3 stories or 35 feet, whichever is less ²	
Base Maximum Height (w/o Incentives)	Mixed-use: 14 stories or 150 feet, whichever is less ^{3,4} Nonresidential: 8 stories or 120 feet, whichever is less ^{3,4}	Mixed-use: 14 stories or 150 feet, whichever is less ^{3,4} Nonresidential: 8 stories or 120 feet, whichever is less ^{3,4}	8 stories or 85 feet, whichever is less ³	
Maximum Height With Incentives	300 feet ^{4b}	Outside TOD Focus Area: 230 feet ⁴ Inside TOD Focus Area: 300 feet ^{4b}	160 feet ⁴	See RZC 21.12.600 for incentive related adjustments to building height.

Development Standards	Overlake Zoning Districts			Notes
	OV	OBAT	OUMF	
Ground Floor Ceiling Height (minimum) in TOD Focus Area	16 feet ^{5,6}	16 feet ^{5,6}	14 feet ⁵	Ground floor ceiling height not applicable outside of TOD Focus Area
Maximum Impervious Surface	100% ⁷	80%	60%	

Notes:

1 The FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded and no building is less than the minimum building height. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC 21.12.600.D.5 (see note 1 for Table 21.12.600.D.5.a), the FAR for those spaces may be excluded from maximum FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC 21.36.400 open space design requirements.

2 Minimum building height:

a. Portions of a building may be lower than the minimum building height providing that 80 percent of the building meets or exceeds minimum building height. Covered entryway features, including port-cochere pick-up and drop-off zones, are exempt from minimum building height requirements.

b. Accessory and temporary building are exempt.

3 Maximum height is limited to three stories or 35 feet, whichever is less, within 150 feet of adjacent Neighborhood Residential zoning districts or equivalent zoning district outside of Redmond.

4 Building Height Exemptions:

- a. Maximum building height does not include mechanical equipment (see RZC 21.60.040.B.7.c for rooftop screen design standards).
- b. Where rooftop amenities are offered, including restaurants, observation areas, childcare and activity spaces, and services for tenants and/or are publicly accessible, those amenity spaces may exceed the maximum building height by one story or 14 feet, whichever is greater, but may not exceed 30 stories.

c. Maximum building height may be exceeded for ground floor ceiling heights in greater than the minimum required (see note 6b below).

5 Exemptions From Ground Floor Ceiling Height Requirements:

- a. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter 21.20; and
- b. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

c. Accessory and temporary building are exempt.

6 A minimum of 50 percent of the first-floor space must meet the minimum ceiling height. At no point do the first-floor nonresidential spaces have a ceiling height of less than 14 feet.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or midblock connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first-floor ceiling height greater than 14 feet, the additional ground floor ceiling height may increase the maximum building height (example: if first floor is 20 feet, the maximum building height increases by six feet (20 - 14 = 6)).

7 Other regulations will impact the impervious surface area and may result in less than 100 percent, including open space and landscaping requirements, parking, midblock connections, utility easements, stormwater management, etc. To meet stormwater management, you are required to evaluate the infiltration capacity of the soil and design building infrastructure to accommodate full infiltration of roof areas where feasible.

21.13.200 Marymoor Village Development Regulations.

A. All legal lots are allowed the greater of either the maximum allowed floor area ratio (FAR) or 10,000 square feet of buildings, provided all other applicable site requirements are met.

B. Each zone has a minimum FAR; the minimum FAR is the minimum required FAR for a development proposal requiring a land use permit, excluding administrative modifications. In no case shall proposed FAR exceed the maximum combined FAR.

C. Master plans are required for all developments encompassing at least three acres and are optional for sites under three acres.

D. The following table contains the basic zoning regulations that apply to development within the Marymoor Core (MMC), Marymoor Edge (MME), and Marymoor Manufacturing (MMM) zoning districts.

Table 21.13.200.D. Marymoor Village Development Standards

Development Standards	Marymoor Village Districts			Notes
	MMC	MME	MMM	
Min. FAR	1.5	1.5	0.5	
Max. FAR (no incentives / with incentives)	3.0 / 8.0 ¹	2.54 / 8.0 ¹	1.4 / 2.0 ¹	See RZC Chapter 21.55 for incentive adjustments to FAR
Max. Height (no incentives / with incentives)	45 ft. / 144 ft. ²	38 ft. / 144 ft. ²	38 ft / 45 ft ²	<ul style="list-style-type: none"> • See RZC Chapter 21.55 for incentive adjustments to building height. • See RZC 21.13.300.E, upper story step-backs, and RZC 21.58.5200, Towers, for additional regulations regarding building heights and floorplates. • Development above six stories does not qualify for the Marymoor Village Infill Exemption (see RZC 21.70.095).
Ground Floor Ceiling Height (min.) in TOD Focus Area	16 ft ^{3,4}	16 ft ^{3,4}	16 ft ^{3,4}	<ul style="list-style-type: none"> • Applicable to nonresidential and mixed-use projects. • See RZC 21.13.300.D, Ground Floor Uses.
Max. Impervious Surface	75% ⁵	70% ⁵	70% ⁵	
Min. Land Dedication for Stormwater Infiltration	7%	7%	7%	
Max. Lot Coverage	70%	65%	55%	

Notes:

¹ FAR may be calculated for the entire project then distributed across the site throughout multiple buildings and phases provided the maximum FAR is not exceeded. Where publicly accessible open space and amenities are provided on upper stories or rooftop, and spaces meet all requirements of RZC [21.36.200](#), the FAR for those spaces may be excluded from max FAR calculations when spaces include access to adjacent outdoor spaces designed per RZC Chapter [21.36](#), Open Space.

2 Properties in the CARA

- a. In the critical aquifer recharge area (CARA), construction methods for building foundation support will be limited to types that can be constructed to meet temporary construction dewatering (TCD) requirements of RMC Chapter [13.25](#).
- b. Where underground parking is not possible due to RMC Chapter [13.25](#)'s TCD limitations, the maximum building

height may be exceeded by up to 12 feet if all the following criteria are met:

- i. The additional height is the result of building a maximum of one level of additional above-grade parking; and
- ii. Proposed parking added by the additional height shall not exceed the maximum fully dedicated parking ratios in RZC Chapter [21.40](#); and
- iii. The additional height on street frontages meets a 20-foot step-back to limit impacts to the pedestrian realm.

3 Exemptions from ground floor ceiling height requirements:

- a. Buildings that do not contain nonresidential uses; and
- b. Buildings where 100 percent of residential units are affordable housing units meeting the affordability threshold of RZC Chapter 21.20; and
- c. Where buildings that are interior to the lot and not adjacent to a public parking garage, an urban pathway or other pedestrian-oriented sidewalks or pathways.

...

21.55.4100 Overlake Bonuses.

A. Thresholds for bonuses earned are discounted for the first five years after adoption to help facilitate the transition to mass timber and tower developments, as well as accelerating the implementation of the Redmond 2050 vision established in the Redmond Comprehensive Plan. The maximum bonus is achievable at 200 points during this initial phase but will be raised incrementally over time to no more than 400 points.

B. ***Outside the Overlake TOD Focus Area and or in OUMF Zone.*** Bonuses earned outside the TOD Focus Area **and or** in the OUMF zone have the following threshold and maximums. Where points earned are fractional, they shall be rounded to the nearest whole number to determine bonuses earned.

4 A minimum of 50 percent of the first-floor nonresidential space must meet the minimum ceiling height of 16 feet.

- a. Where first floor ceiling height varies, the tallest ceiling heights shall be provided on street frontage, spaces fronting urban pathways and/or mid-block connections, and in parking garage loading/unloading and waste pickup areas.
- b. For portions of the building that have a first-floor ceiling height greater than 10 feet to meet minimum ground-floor ceiling height requirements, the additional ground floor ceiling height may increase the maximum building height. For example, if the first floor is ~~20~~ [16](#) feet, the maximum building height increases by ~~six~~ [40](#) feet (16 - 10 = 6 foot increase in max building height).

5 Other regulations will impact the impervious surface area and may result in less than the maximum impervious area. These include but are not limited to critical areas requirements, open space and landscaping requirements, parking, mid-block connections, utility easements, and stormwater management.

Table 21.55.4100.B. Bonuses in Overlake, Outside of TOD Focus Area ~~and-or~~ in OUMF Zone

Points Earned	FAR Earned	Max Building Height	
		OBAT (mixed-use/ non-residential)	OUMF
1 – 50	Per calculation <u>0.02</u>	160 ft./135 ft.	100 ft.
51 – 100	Per calculation <u>0.02</u>	175 ft./150 ft.	115 ft.
101 – 150	Per calculation <u>0.02</u>	190 ft./165 ft.	130 ft.
151 – 200	Per calculation <u>0.02</u>	210 ft./180 ft.	145 ft.
Over 200 points	<u>0.02</u> , Max FAR of 9.5	230 ft./200 ft.	160 ft.

C. Inside the Overlake TOD Focus Area.

Table 21.55.4100.C. Bonuses in Overlake, Inside the TOD Focus Area

Points Earned	FAR Earned	Max Building Height	Other Bonus Earned
1 – 50	Per calculation <u>0.02</u>	180 ft.	
51 – 100	Per calculation <u>0.02</u>	200 ft.	
101 – 150	Per calculation <u>0.02</u>	240 ft.	Projects earning over 100 points may combine the transfer of development rights program with the incentive program
151 – 200	Per calculation <u>0.02</u>	280 ft.	
Over 200 points	No FAR restrictions	300 ft.	If top floor is amenity space, may exceed 320 ft. by one additional story (see note 4 of Table 21.55.500), not to exceed 30 stories

REDMOND ZONING CODE

Code Amendment Summary

Miscellaneous Corrections in RZC Article II

Subject Matter Expert	<i>Jeff Churchill, Ian Lefcourte</i>
Author	<i>Jeff Churchill</i>
Policy Basis for Amendment	<i>PI-17: clear regulations that avoid duplication and inconsistency.</i> <i>HO-1</i>
Relevant Code Portions	21.04.1110.C, RZC 21.20.020, 21.20.030.L, 21.48.010, 21.55.4100.B

Proposed Amendment Overview

The proposed amendment updates various provisions in RZC Article II for consistency with the Redmond 2050 Comprehensive Plan and related development regulations. The amendment addresses:

- Exempting manufactured homes sited within manufactured home parks from affordable housing requirements.
- Allowing accessory dwelling units to satisfy affordable housing requirements.
- Correcting various outdated provisions in the transfer of development rights program

Rationale

Manufactured Homes sited within Manufactured Home Parks

Redmond currently has 3 manufactured home parks. It is unlikely that more manufactured home parks will be created in Redmond. Manufactured homes represent one of the rare homeownership opportunities that serves lower-income households. The proposal removes the burden of creating cost-controlled, income-restricted for manufactured home parks.

Accessory Dwelling Units

RZC 21.20, correctly, allows ADUs to satisfy affordability. RZC 21.04.1110.C.5, incorrectly, prohibits ADUs to satisfy affordability. Rationale of amendment is to amend 21.04 to allow ADUs to satisfy affordability.

Transfer of Development Rights

- Pre-Redmond 2050 language about the relationship between TDR's and affordable housing remains and should be repealed for consistency.
- TDR's can be used to gain more than one additional story in certain circumstances. The existing language for this is unclear and suggests that the value of TDR's doubles in these areas, which is not the intention nor how the program has been administered. The proposal clarifies this language.
- For most areas, TDR bonuses can be combined with bonuses earned through the development incentive program in RZC Chapter 21.55. However, this allowance was inadvertently omitted for areas in Overlake outside the TOD focus area. The proposal corrects that.

Key Decision Points (as applicable)

None to date.

Stakeholder Feedback to Date

Comment that collaboration and communication are more democratic than attempting to impose will.

PROPOSED AMENDMENT:

21.20.020 Applicability.

A. This chapter applies to:

1. All new residential and mixed-use developments, except manufactured homes parks and manufactured homes sited within manufactured home parks; ...

RZC 21.20.030.L

L. Accessory Dwelling Units (ADUs) may be used to meet the requirements of this section in the Neighborhood Zones, provided that the ADU is at least 900 square feet: and all other applicable RZC 21.20 requirements are satisfied, including an affordable housing agreement as described in RZC 21.20.080.

RZC 21.04.1110.C

~~5. **Affordability Requirement.** ADUs shall not be used to meet any requirement to provide affordable dwelling units per RZC Chapter 21.20, Affordable Housing.~~

~~6-~~5. Applicable Codes - ADUs. The portion of the dwelling in which the accessory dwelling unit is proposed must comply with all standards for health and safety contained in all applicable codes, with the exception of the ceiling height requirements of the International Building Code. The Building Official may waive the ceiling height requirements of this chapter if it is determined that the structure was built in compliance with past building code requirements.

RZC 21.48.010 Transfer of Development Rights Program.

A. **Purpose.** The purpose of Redmond's Transfer of Development Rights (TDR) Program is to advance Comprehensive Plan goals and policies that address the protection of environmentally critical areas, historic resources (including archeological resources), and open spaces, ~~and the ability to provide affordable housing,~~ by transferring the right to develop on the land needing protection to land more suitable for urban development.

<<administrative note: no changes to subsection B>>

C. **Sending Area Properties.**

1. Land is eligible if it complies with all of the criteria for at least one of the eligibility categories as described in Table 21.48.010A, Eligibility Categories and Criteria, and with all of the criteria in RZC 21.48.010.C.2.

Table 21.48.010A Eligibility Categories and Criteria	
Eligibility Category	Eligibility Criteria
Urban Recreation	A. Located in the UR zone; and B. Wholly undeveloped or in agricultural or recreational use.
Historic	A. Listed on the Redmond Historic Resource Register; or B. Otherwise eligible under RZC Chapter 21.30, Historic and Archeological Resources.
Environmentally Critical Area	A. Located in one or more of the following areas: 1. Species Protection Area; 2. Category I or Category II wetland or wetland buffer; 3. Class I or Class II stream or stream buffer; 4. Landslide hazard area or buffer; 5. Contiguous forest community characterized by a qualified arborist or ecologist as: a. Having three layers of vegetation – canopy, subcanopy/shrub, and herb – dominated by native species; and b. Having at least 20 percent of canopy trees estimated to be at least 50 years of age; and c. Measuring at least one acre; and B. Wholly undeveloped, or partially undeveloped or vacant, where the Administrator determines that eligible environmentally critical areas listed in (A) above could be maintained without compromising the ecological functions and values of those critical areas.
Affordable Housing	A. Complies with RZC 21.48.010.G, Affordable Housing Bonus.

2. The following criteria must also be met:

- a. The land's development rights or development capacity shall not have been exhausted, sold, or transferred; or limited by easements, deed restrictions, equitable servitudes, or similar measures to any of the following:
 - i. Agriculture, recreation, open space; or
 - ii. Preservation of environmentally critical areas and their buffers, as described in Table 21.48.010A, through means including, but not limited to, a Native Growth Protection Area or open space easement.
- b. The land shall not have been granted a reasonable use exception under RZC 21.76.070.U, Reasonable Use Exception (Critical Areas/Hazardous Liquid Pipelines, etc.). Nothing in this chapter shall require that a reasonable use exception granted under the reasonable use provision equal the economic value of the TDRs granted under this chapter.

c. The land shall not be part of any property the Comprehensive Plan designates for use as a collector, arterial street, or highway.

<<administrative note: no changes to subsections D-E>>

F. Use of Development Rights.

1. Each development right may be used as a right for any one of the following, subject to the limitations of this chapter and other zoning code chapters:

- a. To authorize an additional 8,712 square feet of gross floor area;
- b. To increase the maximum impervious surface or maximum lot coverage by 8,712 square feet; provided, that the total increase does not exceed 10 percent of the allowed maximum square footage for the site; or
- c. To increase the height of a structure, including above-ground structured parking, by one story across each 8,712-square-foot increment of gross floor area or parking floor plate, ~~except as permitted in RZC 21.48.010.F.2 or by two stories in a TOD focus area. In no case shall total building height be greater than two stories above the height allowed by the underlying zone except as permitted as part of the Overlake incentive package (RZC Chapter 21.55); the~~ The height bonus shall not apply to structures within the shoreline jurisdiction or within the Downtown height limit overlay areas. (Table 21.10.200, note 2).

2. In TOD focus areas (see RZC Chapter 21.05), maximum height may be increased by up to two stories above the height allowed by the underlying zone using development rights. Additional height can also be earned by combining development rights with the incentives available in RZC Chapter 21.55.

3 ~~2~~. A fraction of a development right shall be entitled to the corresponding fraction of any of the above.

4 ~~3~~. A land use application using transferred development rights shall contain a statement describing the amount of the development rights proposed to be used and how the development rights are proposed to be used.

RZC 21.55.4100.B

B. *Outside the Overlake TOD Focus Area and in OUMF Zone.* Bonuses earned outside the TOD Focus Area and in the OUMF zone have the following threshold and maximums. Where points earned are fractional, they shall be rounded to the nearest whole number to determine bonuses earned.

Table 21.55.4100.B. Bonuses in Overlake, Outside of TOD Focus Area and in OUMF Zone

Points Earned	FAR	Max Building Height		Other Bonuses Earned
		OBAT (mixed-use/non-residential)	OUMF	
1 – 50	Per calculation	160 ft./135 ft.	100 ft.	
51 – 100	Per calculation	175 ft./150 ft.	115 ft.	
101 – 150	Per calculation	190 ft./165 ft.	130 ft.	<u>Projects earning over 100 points may combine the transfer of development rights program with the incentive program</u>

Points Earned	FAR	Max Building Height		Other Bonuses Earned
		OBAT (mixed-use/non-residential)	OUMF	
151 – 200	Per calculation	210 ft./180 ft.	145 ft.	
Over 200 points	Max FAR of 9.5	230 ft./200 ft.	160 ft.	



STATE ENVIRONMENTAL POLICY ACT (SEPA) DETERMINATION OF NON-SIGNIFICANCE

For more information about this project visit www.redmond.gov/landuseapps

PROJECT INFORMATION

PROJECT NAME: Legislative Conformance, Business Improvement, and

SEPA FILE NUMBER: SEPA-2026-00015

PROJECT DESCRIPTION:

SEPA Checklist Review - Legislative Conformance, Business Improvement, And Fences Zoning Code Amendments

PROJECT LOCATION: City Wide

SITE ADDRESS:

APPLICANT: Jeff Churchill

LEAD AGENCY: City of Redmond

The lead agency for this proposal has determined that the requirements of environmental analysis, protection, and mitigation measures have been adequately addressed through the City's regulations and Comprehensive Plan together with applicable State and Federal laws.

Additionally, the lead agency has determined that the proposal does not have a probable significant adverse impact on the environment as described under SEPA.

An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. **This information is available to the public on request.**

CITY CONTACT INFORMATION

PROJECT PLANNER NAME: David Lee

PHONE NUMBER: 425-556-2462

EMAIL: dlee@redmond.gov

IMPORTANT DATES

COMMENT PERIOD

Depending upon the proposal, a comment period may not be required. An "**X**" is placed next to the applicable comment period provision.

There is no comment period for this DNS. Please see below for appeal provisions.

'X' This DNS is issued under WAC 197-11-340(2), and the lead agency will not make a decision on this proposal for 14 days from the date below. Comments can be submitted to the Project Planner, via phone, fax (425)556-2400, email or in person at the Development Services Center located at 15670 NE 85th Street, Redmond, WA 98052. **Comments must be submitted by 02/19/2026.**


APPEAL PERIOD

You may appeal this determination to the City of Redmond Office of the City Clerk, Redmond City Hall, 15670 NE 85th Street, P.O. Box 97010, Redmond, WA 98073-9710, **no later than 5:00 p.m. on 03/06/2026**, by submitting a completed City of Redmond Appeal Application Form available on the City's website at www.redmond.gov or at City Hall. You should be prepared to make specific factual objections.

DATE OF DNS ISSUANCE:

For more information about the project or SEPA procedures, please contact the project planner.

RESPONSIBLE OFFICIAL: Carol V. Helland
Planning Director

SIGNATURE: 

RESPONSIBLE OFFICIAL: Aaron Bert
Public Works Director

SIGNATURE: 

Address: 15670 NE 85th Street Redmond, WA 98052

2026 Zoning Code Amendments Questionnaire Feedback Summary

Below is a concise summary of the feedback captured from Let's Connect from November 10, 2025 – January 10, 2026

Q1 — Active-use retail amendments

- **Provide parking and access to support new/expanded retail.** Several comments urge pairing any retail activation with adequate parking, access routes, and supporting infrastructure—especially where tourism or use of public spaces/rights-of-way is expected.
- **Process/usability issue:** One respondent notes that links to the amendment materials were broken.

Q2 — “Businesses Open” pedestrian routing signage requirements - No substantive, question-specific feedback was recorded in the dataset beyond general process/usability concerns (broken links).

Q3 — Amendments to business-oriented definitions - No direct feedback specific to business-oriented definitions was captured.

Q4 — Simplifications for Food Truck & Pop-Up Retail Courts and Publicly Accessible Enhanced Amenities Spaces

- **Pair activation with infrastructure:** One commenter asks that any simplifications still ensure adequate **parking access and supporting infrastructure** when activating food trucks/pop-ups and enhanced amenity spaces, particularly where tourism is anticipated.

Q5 — Fence & retaining wall regulations

- **Clarify technical standards:** Requests to ensure the code clearly addresses **setbacks, property lines, rights-of-way, materials, height, and construction requirements**, with attention to adjoining properties.
- **Noise-adjacent context:** A commenter asks for **exceptions for taller fences** along major roads (e.g., 140th Ave NE) to help mitigate traffic noise impacts on residential lots.

Q6 — Energy code & conversions (HB 1757)

- **Allow plug-in micro-PV:** One comment requests permitting **up to ~2,000 W plug-in solar panel systems** (micro-inverter “plug-in” kits) that connect via a wall outlet—citing other jurisdictions that allow similar setups.

Q7 — Lot splitting (HB 1096)

- **Define the “Administrative” pathway:** A request to **explain the rationale and differences** between the proposed **“Administrative” lot split**, subdivisions, and short subdivisions.

Q8 — Miscellaneous amendments to Redmond Zoning Code, Article 1 - No question-specific feedback was identified in the file for Article 1 beyond general comments elsewhere.

Q9 — Miscellaneous amendments to Redmond Zoning Code, Article 2 - No question-specific feedback was identified in the file for Article 2.

Q10 — Parking regulations (SB 5184 & HB 1183)

- **Parking supply & access:** Calls to ensure parking regulations **support added retail and tourism/public-space use**, with appropriate **access and infrastructure**.
- **Visibility & landscaping safety:** Feedback that **parking-lot landscaping** (e.g., tall shrubs) can **obstruct driver sightlines**; suggestions to **limit shrub heights** to ~1–2 ft and remove vegetation that blocks views near **crosswalks** (e.g., Downtown Park/Cleveland St).

Q11 — Zoning for child care centers (SB 5509) - No feedback specific to child-care center zoning was captured.

Q12 — Subdivision regulations (SB 5559) - No feedback specific to subdivision regulations was captured.

Q13 — Permitting timelines (SB 5611) - No feedback specific to permitting timelines was captured.

Q14 — Affordability streamlining - No feedback specific to affordability streamlining was captured.

Q15 — Co-living residential suites- No feedback specific to co-living suites was captured.

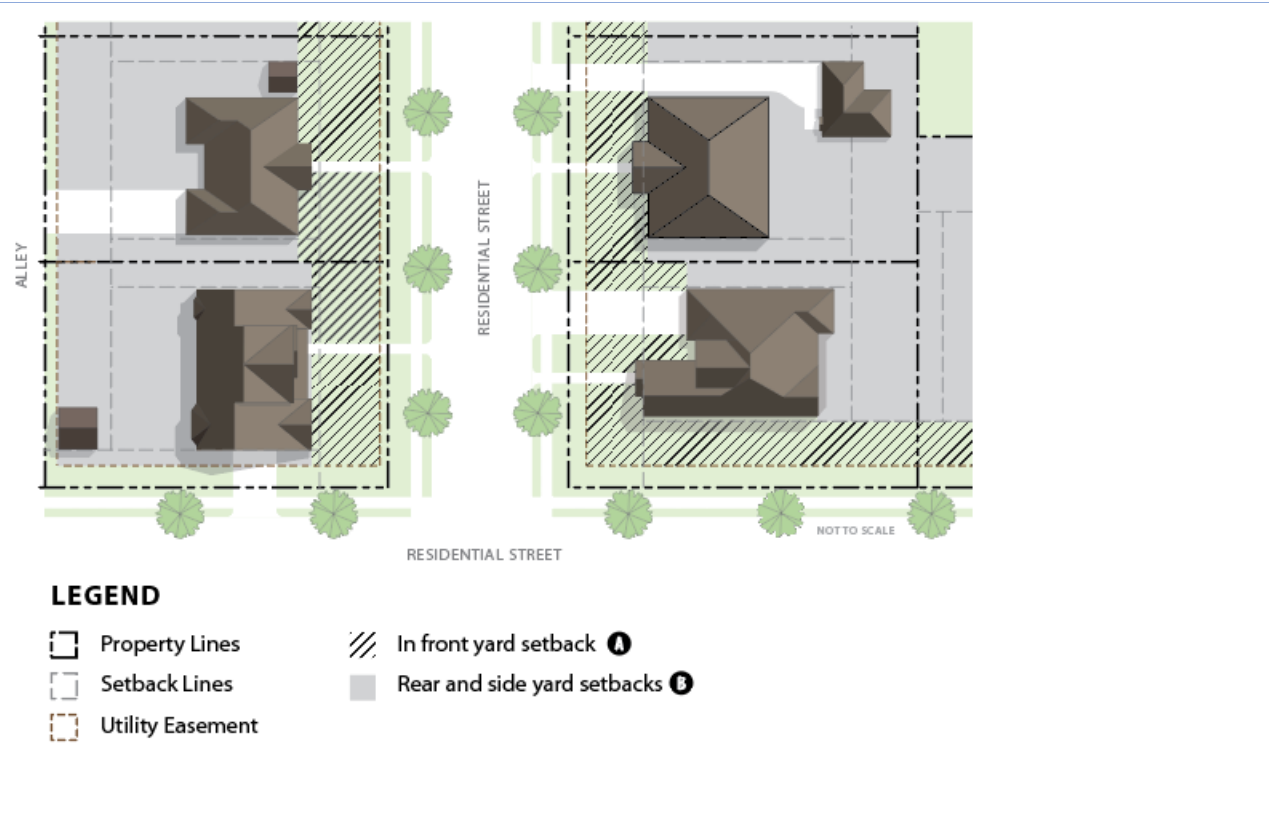
Item	Discussion Notes	Issue Status
<p>1.</p> <p>Legislative Conformance - Subdivisions</p> <p>Stuart</p>	<p><u>Council Discussion</u></p> <p>CP Stuart expressed interest in changes to subdivision regulations.</p> <p><u>Staff Comments</u></p> <p>The key changes to subdivision regulations contained in this package are:</p> <ul style="list-style-type: none"> • Creating the “administrative lot split” option as required by HB 1096 • Aligning unit lot subdivision regulations with changes in state law as required by SB 5559 • Allowing binding site plans to be used for multifamily development as required by SB 5611 <p>The code amendment summaries for all of these changes are in the <u>Planning Commission Report</u>.</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>
<p>2.</p> <p>Legislative Conformance - Childcare Zoning</p> <p>Stuart</p>	<p><u>Council Discussion</u></p> <p>CP Stuart requested information on how the amendments related to child care zoning interact with new state laws.</p> <p><u>Staff Comments</u></p> <p>Engrossed Substitute Senate Bill (ESSB) 5509 requires that cities and towns allow child care centers in all zoning districts, except for industrial, light industrial, and open space zoning districts.</p> <p>Child care centers are the commercial form of day cares, typically larger in size and capacity than family day cares that operate as home businesses in dwellings. The city’s current code limits child care centers primarily to the Downtown, Marymoor Village, and Overlake zoning districts where commercial uses are typically provided and in neighborhood zoning districts when co-located with other uses such as faith-based organizations or when a conditional use permit is obtained.</p> <p>The recommended implementation of ESSB 5509 would comply with the legislation by allowing the child care centers in all zoning districts except for the Manufacturing Park (light industrial),</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>

		<p>Industrial, and Conservation Open Space zoning districts., without the need for a conditional use permit.</p> <p>The remaining provisions of 21.04.2080 Day Care Centers are also proposed to be repealed for conformance with the provisions of ESSB 5509 that limit the restrictions cities can apply to the siting of child care centers. Many of the limitations currently provided in the city’s current code are addressed by the WA Dept. of Children, Youth, and Families licensing rules such as shown in the Early Learning Child Care Facility Feasibility Checklist and at the Site Analysis and Feasibility webpage.</p>	
3.	<p>Legislative Conformance - Childcare</p> <p>Soni</p>	<p><u>Commission Discussion</u></p> <p>CM Soni requested information on expanding childcare allowances, and what polices are in place to handle traffic disruptions during peak hours. How will the City adjust operations to address traffic concerns?</p> <p><u>Staff Comments</u></p> <p>During development review, staff will apply existing transportation standards to minimize impacts of new development on the transportation system. This includes evaluating access and circulation. In addition, developments that generate more than 25 peak-hour trips are subject to mobility management programs, the purpose of which manage demand on the transportation system.</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>
4.	<p>Legislative Conformance - Reporting on permitting timeline performance</p> <p>Stuart</p>	<p><u>Commission Discussion</u></p> <p>Council President Stuart requested information on how the City will report on permitting timeline performance, specifically mentioning the housing dashboard as a potential model.</p> <p><u>Staff Comments</u></p> <p>The Development Services Center will continue to monitor and report on permitting timelines in accordance with RCW 36.70B.080. We are actively updating our permitting system to better support staff and residents. We are reviewing overall timelines and processes to ensure our targets are accurate and that staffing levels are adequate for the work underway. Our goal is to enhance our customer permitting portal and project update website to improve transparency. We currently post two permitting performance</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>

		reports on the City website each year. As we implement internal and external improvements to our permitting system, a more user-friendly dashboard is a key goal.	
5.	<p>Business Improvement - Commercial space requirement</p> <p>Stuart</p>	<p><u>Commission Discussion</u></p> <p>CP Stuart requested more information on the how ground-floor commercial space requirements will be impacted by SB 6026 passed in 2026.</p> <p><u>Staff Comments</u></p> <p>Redmond will be working over the next 18 months to identify required policy or code changes to respond to SB 6026. The code amendment proposed here concerns a specific deviation related to ground floor commercial uses and is aimed at ensuring our urban centers remain vital, walkable, and home to the businesses that community members value.</p> <p>Over the past decades Redmond has rezoned to allow the housing we know is needed in the city and throughout the region. As a result of such changes and strong demand for housing, Redmond is one of the fastest growing cities in the state.</p> <p>At the same time, we have observed negative consequences of strip mall redevelopment. These strip malls were home to our local, legacy small businesses serving the community with goods, services, and a sense of community and belonging. While staff and partner organizations continue efforts to help these family-owned businesses find new homes to continue their livelihood, we are not succeeding. Currently, we are trying to relocate over 100 small local businesses who have been, or are in the pipeline to be displaced by redevelopment.</p> <p>The primary challenge is that the spaces to rehome businesses do not exist. In 2024, staff measured the impact of redevelopment on small businesses. We learned that in the past 10 years, available retail square footage space has been reduced by half. Real estate reports indicate a very limited 3.8% retail availability rate in King County at the end of 2025, and Redmond is even more limited at 1.2%.</p> <p>Even when ground floor retail is required, new housing development where strip malls have been demolished do not replace retail space at 1-to-1 ratios, due to competing demands for ground floor activities such as parking, lobbies, and service areas. In new developments where retail space is provided, lease rates are unaffordable for local, diverse businesses or designed with layouts that are not conducive to the needs of small, independent businesses.</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>

		SB 6026 strongly encourages housing development, but does not reflect our local measures, impacts, and efforts to support our small diverse businesses in relocating to affordable and appropriately built places to operate. Staff will be looking for ways to meet the requirements of SB 6026 while supporting our small businesses and advance Redmond 2050 goals for complete neighborhoods.	
6.	<p>Business code improvements - Commercial space requirements</p> <p>Prakriya</p>	<p><u>Commission Discussion</u></p> <p>How does the update to commercial requirements in the business code updates impact any of our housing goals from Redmond 2050.</p> <p><u>Staff Comments</u></p> <p>The proposed amendment addresses requests for deviations submitted with applications for new development. The amendment states that commercial space requirements cannot be waived through a deviation process, similar to other site and building requirements. The City’s housing goals are unlikely to be affected by this amendment.</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>
7.	<p>Business Improvement - Food Trucks and Pop-up Retail Courts</p> <p>Kritzer</p>	<p><u>Commission Discussion</u></p> <p>CM Kritzer requested more information on food truck and pop-up retail courts. What will be changing and what are some of the remaining limitations?</p> <p><u>Staff Comments</u></p> <p>The recommended amendments would clarify development application and review procedures. These ensure that land use activities anticipated to be provided at the site are reviewed during original site plan entitlement. In this manner, these activities would not be required to pursue additional permits such as temporary use permits when scheduled for the court’s activation.</p> <p>Existing locations proposed for conversation to a food truck and pop-up retail court would undergo an administrative modification for review of the site’s design and anticipated land use activities.</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>
8.	<p>Fences</p> <p>Stuart</p>	<p><u>Commission Discussion</u></p>	<p>Opened 4.7.2026</p>

	<p>CP Stuart requested more information on what fences would be allowed and where under the recommended regulations. CP Stuart referenced fences installed by the county in Marymoor and Overlake and referenced fences in connection with STEP housing.</p> <p><u>Staff Comments</u></p> <p>Fences four feet in height or less will be permitted in any front yard setback in Urban Recreation, Neighborhood Residential, Neighborhood Multi-Family, Downtown, Marymoor, and Overlake zone. In the current code, fence height was allowed up to six feet in many neighborhoods in the front and setback, while limited to 42 inches in others (Education Hill, North Redmond, Willows / Rose Hill). The uniform four-foot limit for front yard setbacks in this update creates a more pedestrian-friendly environment in alignment with Redmond 2050 goals. Fences up to six feet in height would still be permitted rear and side setbacks in Urban Recreation, Neighborhood Residential, Neighborhood Multi-Family, Downtown, Marymoor, and Overlake zones. Eight-foot fences would still be allowed in all other zones.</p>	<p>Closed X.XX.XX</p>
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9.

Fences

Kritzer

Commission Discussion

CM Kritzer requested more information on engagement with homeowners: what are the impacts to homeowners with the recommended regulations?

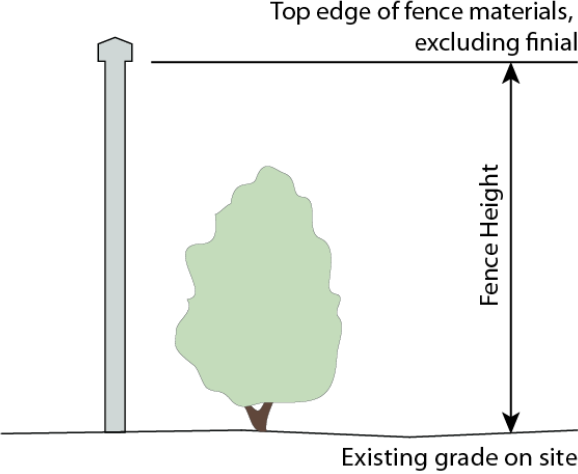
Staff Comments

There was engagement conducted on the fence and retaining wall package from November 2025 – January 2026. [The feedback summary](#) is available to review and has posted on the [zoning amendments webpage](#). Existing fences that were previously legally established and that do not meet the recommended standards would be considered legal non-conforming fences.

Opened
4.7.2026

Closed
X.XX.XX

		<p>A legal non-conforming use or structure is something that met all requirements at the time it was established/constructed but does not meet current requirements. For example, a building might be built when the setback requirement was 3 feet but the requirement later changed to 5 feet. That building would be considered a legal non-conforming structure.</p> <p>Legal conforming uses and structures are regulated in RZC 21.04.5000. Maintenance is addressed in RZC 21.04.5000.F, Maintenance. The code says, “Ordinary and routine maintenance and repair of a legal nonconforming structure and structures containing a nonconforming use, such as painting or plumbing repair, shall be permitted as necessary to ensure the protection of general health, safety, and welfare. All legal nonconforming uses and structures are subject to all applicable property maintenance and substandard building laws.”</p> <p>Additional relevant sections are: RZC 21.04.5000.I, Alteration or Expansion of a Nonconformance. In general, this section says that the degree of nonconformity cannot be increased. It also says that legal nonconforming structures must be brought into compliance with the RZC when alteration or expansion of the structure takes place, and the following takes place within any three-year period:</p> <ul style="list-style-type: none"> a. The gross floor area of the structure is increased by 100 percent or more; or b. The costs stated on all approved building permit applications for the structure equal or exceed the value of the existing structure at the beginning of that three-year period. <p>RZC 21.04.5000.G, Abandonment of Rights to Nonconformities. In general, this section says that the right to continue a legal nonconforming structure is lost when the structure is demolished or rebuilt.</p> <p>Legal nonconforming structures can be repaired or restored in extraordinary circumstances such as following an earthquake, fire, explosion, vandalism, etc., with limitations. (RZC 21.04.5000.H, Restoration)</p> <p>Any new fence would need to be in compliance with the updated regulations.</p> <p>Retaining wall regulatory updates consolidated guidance on retaining walls from RZC 21.24 and Appendix 2 to an updated RZC 21.25. This was done to create clarity for staff and the public. RZC 21.25 includes guidance for deviation requests and regulations for retaining wall approvals.</p>	
10.	Fences	<u>Commission Discussion</u>	Opened 4.7.2026

	<p>Soni</p>	<p>CM Soni requested information on how the City measure fences and retaining wall height when there is a slope.</p> <p><u>Staff Comments</u></p> <p>For zoning code purposes, fence and wall height are measured as a vertical distance between existing grade (including slope) on the site at the base of the fence and top edge of slats or other fence material (exclusive of fence posts). Staff will be adding a note to 21.25 to ensure that those building a retaining wall follow guidance of RMC Chapter 15 Building Code for additional requirements.</p> 	<p>Closed X.XX.XX</p>
<p>11.</p>	<p>Implementation</p> <p>Soni</p>	<p><u>Commission Discussion</u></p> <p>CM Soni asked what would happen to application submitted between now and June 30, 2026, the deadline referenced in the memo.</p> <p><u>Staff Comments</u></p> <p>Applications received will be reviewed under current code until the effective date of the updated regulations. The City Council’s actions on the recommended amendments would become effective five days after the publication of a summary of the adopting ordinance.</p>	<p>Opened 4.7.2026</p> <p>Closed X.XX.XX</p>